

I hereby give notice that a hearing by commissioners will be held on:

Date: Monday 18, Tuesday 19, Wednesday 20,
Thursday 21 and Friday 22 November 2024
Time: 9.30am
Meeting room: Council Chamber
Venue: Ground floor, Auckland Town Hall
301/317 Queen Street, Auckland

PRIVATE PLAN CHANGE 94
HEARING REPORT VOLUME 3
WAIRAKA PRECINCT IN CARRINGTON ROAD,
MT ALBERT
MINISTRY OF HOUSING AND URBAN
DEVELOPMENT – HANNAH MCGREGOR

COMMISSIONERS

Chairperson Greg Hill (Chairperson)
Commissioners Gavin Lister
Councillor Chris Darby
Vicki Morrison-Shaw

Chayla Walker
KAITOHUTOHU WHAKAWĀTANGA
HEARINGS ADVISOR
Telephone: 09 890 2009 or 027 231 5937
Email: chayla.walker@aucklandcouncil.govt.nz
Website: www.aucklandcouncil.govt.nz

Note: The reports contained within this document are for consideration and should not be construed as a decision of Council. Should commissioners require further information relating to any reports, please contact the hearings advisor.

WHAT HAPPENS AT A HEARING

Te Reo Māori and Sign Language Interpretation

Any party intending to give evidence in Māori or NZ sign language should advise the hearings advisor at least ten working days before the hearing so a qualified interpreter can be arranged.

Hearing Schedule

If you would like to appear at the hearing please return the appearance form to the hearings advisor by the date requested. A schedule will be prepared approximately one week before the hearing with speaking slots for those who have returned the appearance form. If changes need to be made to the schedule the hearings advisor will advise you of the changes.

Please note: during the course of the hearing changing circumstances may mean the proposed schedule may run ahead or behind time.

Cross Examination

No cross examination by the applicant or submitters is allowed at the hearing. Only the hearing commissioners are able to ask questions of the applicant or submitters. Attendees may suggest questions to the commissioners and they will decide whether or not to ask them.

The Hearing Procedure

The usual hearing procedure is:

- **The chairperson** will introduce the commissioners and will briefly outline the hearing procedure. The Chairperson may then call upon the parties present to introduce themselves. The Chairperson is addressed as Madam Chair or Mr Chairman.
- **The applicant** will be called upon to present their case. The applicant may be represented by legal counsel or consultants and may call witnesses in support of the application. After the applicant has presented their case, members of the hearing panel may ask questions to clarify the information presented.
- **Submitters** (for and against the application) are then called upon to speak. Submitters' active participation in the hearing process is completed after the presentation of their evidence so ensure you tell the hearing panel everything you want them to know during your presentation time. Submitters may be represented by legal counsel or consultants and may call witnesses on their behalf. The hearing panel may then question each speaker.
 - Late submissions: The council officer's report will identify submissions received outside of the submission period. At the hearing, late submitters may be asked to address the panel on why their submission should be accepted. Late submitters can speak only if the hearing panel accepts the late submission.
 - Should you wish to present written evidence in support of your submission please ensure you provide the number of copies indicated in the notification letter.
- **Council Officers** will then have the opportunity to clarify their position and provide any comments based on what they have heard at the hearing.
- The applicant or their representative has the right to summarise the application and reply to matters raised by submitters. Hearing panel members may further question the applicant at this stage. The applicants reply may be provided in writing after the hearing has adjourned.
- **The chair** will outline the next steps in the process and adjourn or close the hearing.
- If adjourned the hearing panel will decide when they have enough information to make a decision and close the hearing. The hearings advisor will contact you once the hearing is closed.

Please note

- that the hearing will be audio recorded and this will be publicly available after the hearing
- catering is not provided at the hearing.

**A NOTIFIED PRIVATE PLAN CHANGE TO THE AUCKLAND UNITARY PLAN BY
MINISTRY OF HOUSING AND URBAN DEVELOPMENT – HANNAH MCGREGOR**

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Reporting officer, Peter Reaburn, Planner

Reporting on proposed Private Plan Change 94 - Wairaka Precinct in Carrington Road, Mt Albert in summary, proposes the following:

- a) Parts of the current Special Purpose - Tertiary Education Zone no longer to be occupied by Unitec are proposed to be rezoned to the adjoining Business - Mixed Use Zone.
- b) A further strip of land is to be rezoned from Special Purpose -Tertiary Education to Residential - Mixed Housing Urban, adjoining existing land with that zoning in the southern part of the precinct.
- c) A revised precinct plan and revised precinct provisions are also proposed, with the principal change sought being to allow for greater height for residential buildings.
- d) The precinct is proposed to be renamed Te Auaunga Precinct.

APPLICANT: MINISTRY OF HOUSING AND URBAN DEVELOPMENT –
HANNAH MCGREGOR

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Page 775	Jade Harris
Page 777	Rachel Neal

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Page 812	Penelope Savidan
Page 814	Bojan Jovanovic
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Page 994	Miss Claire Reri
Page 996	Mrs Audrey van Ryn for Civic Trust Auckland
Page 1000	Pamela J McFarlane
Page 1009	Rebecca Lawson
Page 1010	Brett Skeen for Waterview school
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Page 1015	Berys Spratt
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FURTHER SUBMITTERS: VOLUME 3	
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Page 52	Yolanda van den Bemd
Page 55	Tina Salehi
Page 57	Alice Nicholls for Gardens4Health, Diabetes Foundation Aotearoa
Page 60	Marguerite Pearson for Auckland Transport
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Page 201	Beverley Gay Crosby
Page 204	Judy Keats
Page 206	Karine DAVID

APPENDIX 3

Submissions and Further Submissions (continued)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Saturday, 20 April 2024 3:45:21 pm
Attachments: [Further Submission Springleigh RA Submitter 124.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Geoffrey John Beresford

Beresford Law

Level 6

20, Waterloo Quadrant

Auckland 1010

Submission number: 124

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, Issue 1 to 145

The reasons for my or our support or opposition are:

Stated in our 'further submission' attached as a file

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 20 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 124.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

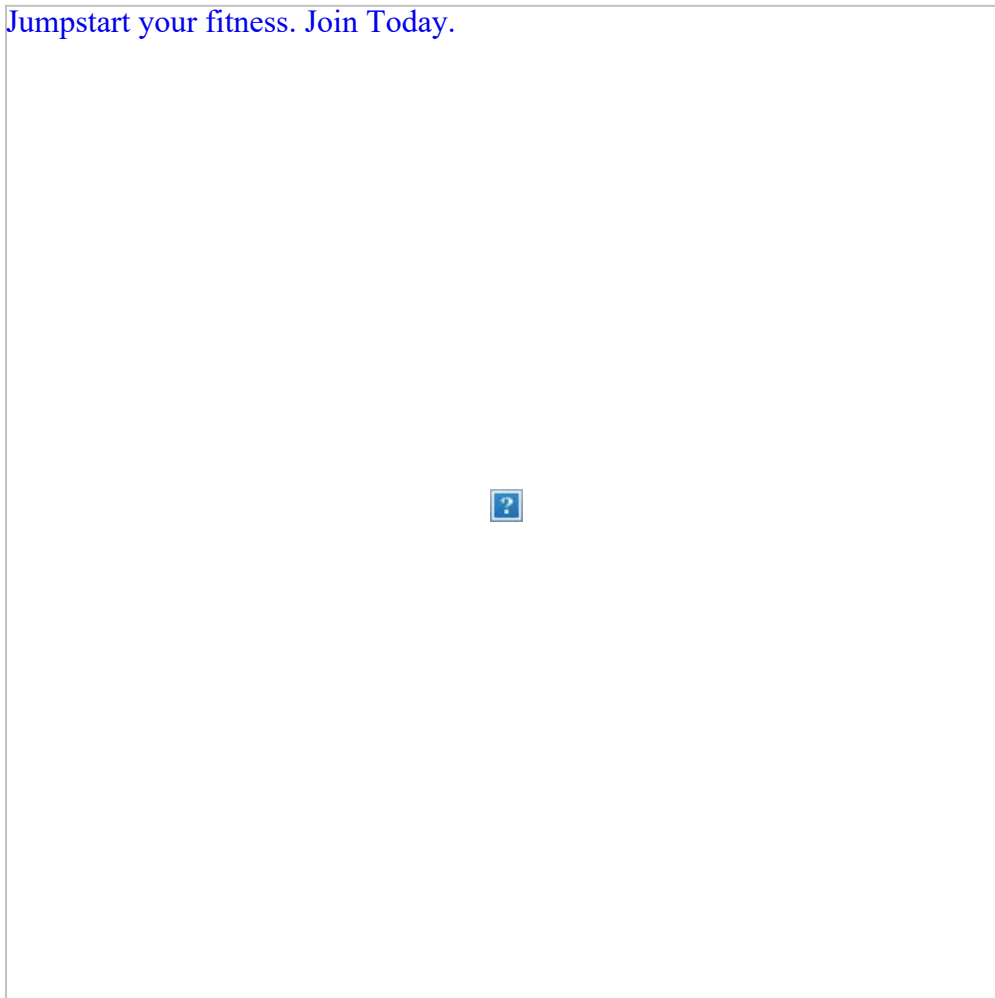
Specify upon which grounds you come within this category:

I represent a community group with major public interest in the Wairaka Precinct and the TeAuaunga Oakley Creek SEA, our public interest is documented as part of AUP IHP proceedings, previous Wairaka Precinct rezoning proposal.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991

In the Matter of Auckland Council

And

Springleigh Residents Association

c/- 12, Harbutt Ave

Mt Albert 1025

e-mail greg.storz@orcon.net.nz

Phone 09 849 2878

Further Submission on Private Plan Change 94 and Submitter 124 Geoffrey John Beresford

Decision sought: Springleigh RA supports the submission 124 in its entirety. Springleigh RA supports that Plan Change 94 is withdrawn.

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 124 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, health, safety effects, matters of s6 and s7 of RMA91.

Without limiting the generalities of that, Springleigh RA's reasons are as follows,(but not limited to):

3. An important issue is whether the applicant misconstrues or misapplies the RM91 provisions for a plan change in Plan Change94 proceedings. In addition, but not limited to, the plan change 94 request avoids requirements of Schedule 1 and Schedule 4 of RMA91. Submitter 124 outlines correctly the sustained incompetence of the Ministry of Housing and Urban Development in lodging Plan Change 94. Springleigh RA's submission provides additional explanations.
4. The requested Masterplan and amendments by Submitter 124 must be included in Plan Change 94 to fulfill RMA91 requirements.
5. Auckland Council demonstrates sustained incompetence by making inadequate cl23 requests, by failing to make a submission on PC94, the re-litigation of the decision of IHP 2015 on the Wairaka Precinct.
6. A further matter are the extreme major negative effects proposed by Plan Change 94 under RMA91 while mitigation requirements are removed. Proposed mitigation measures misconstrue the RMA91 requirements for mitigation. Springleigh RA supports the

amendments requested by Submitter94 because of the wide range of RMA91 effects addressed and the proposed mitigation of major negative effects included.

7. Economic development is not included in RMA91 provisions, and is not a purpose of RMA91. Economic development statements by HUD are anecdotal and arbitrary, for example, but not limited to in EA2 response. An 'Economic Impact Assessment' as required by RMA91 is not included in the application. 'Economic development' must not be included in Wairaka Precinct Provisions and must not justify rezoning of the Wairaka Precinct.
8. Plan Change 94 does not provide Assessments of Effects as required by RMA91 such as social, economic, cultural, health, safety, matters of s6 and s7 of RMA91. Where evidence statements are provided, they are not of the same level as evidence statements provided by Waka Kotahi, do not fulfil the direction for an evidence statement as requested by the IHP on Unitary Plan 2015.

20/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Saturday, 20 April 2024 5:45:15 pm

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Dennis Katsanos

denniskatsanos@gmail.com

Submission number: 51

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission,

The reasons for my or our support or opposition are:

refer to attached document

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 20 April 2024

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:

I represent a community group that represents the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Saturday, 20 April 2024 5:45:23 pm
Attachments: [Further Submission Springleigh RA Submitter 51.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Dennis Katsanos

denniskatsanos@gmail.com

Submission number: 51

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission,

The reasons for my or our support or opposition are:

refer to attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 20 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 51.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 51 Dennis Katsanos,
denniskatsanos@gmail.com****Decision sought: Springleigh RA supports the submission 51 in its entirety. Springleigh RA requests that Plan Change 94 is withdrawn.**

Springleigh RA reasons for our 'further submission' (but not limited to):

1. Springleigh RA is submitter 57 on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and effects of Plan Change 94 raised by Submitter 51 are particularly relevant to Plan Change 94 proceedings. Major negative (but not limited to) effects of noise, visual, economic, traffic safety, traffic management, traffic volume, stormwater, social effects on residents addressed in submission 51 are subject to s5 to s8 of RMA91. Major negative effects must be assessed and mitigation must be proposed by the applicant. Springleigh RA provides reasons in our submission.
3. Submitter 51 is correct that documentation, reports and assessments are inadequate for the plan change process. Major assessments lack sufficient evidence. CI23 requests by Auckland Council to gain further evidence are often trivial and convoluted. Auckland Council fails to make relevant CI23 requests. The plan change 94 application differs from other plan changes such as (but not limited to) Beachhaven, Riverhead etc.
4. Springleigh RA agrees with Submitter 51 that residents and the wider community have not understood the application for Plan Change. We have heard this concern often. It is in itself a major negative social impact.
5. Submitter 51 is correct that consultation leading up to the lodging of the application was inadequate. Consultation prior to the application was misleading to residents, the wider community, Albert-Eden Local Board, Sanctuary Mahi Whenua Garden, Springleigh RA, other community groups, in particular (but not limited to) prior consultation did not explain the amendments. We question this further in our own submission.
6. Effects on the visual ridge of Carrington Rd, including Penman House, are a major negative effect of proposed Plan Change 94.

7. The traffic assessment of Plan Change 94 by Stantec does not align with other traffic assessments, including traffic assessments for Carrington Rd. Stantec's assessment does not fulfil RMA91 requirements.

20/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Saturday, 20 April 2024 9:30:24 pm
Attachments: [Further Submission Springleigh RA Submitter 68.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Auckland Council

135, Albert St

Auckland 1142

Submission number: 68

Do you support or oppose the original submission? I or we oppose the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission,

The reasons for my or our support or opposition are:

refer to attachment

I or we want Auckland council to make a decision to: Disallow the whole original submission

Submission date: 20 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 68.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community group addressing matters of public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 68, Auckland Council, 135 Albert St
Auckland 1142****Decision sought: Springleigh RA opposes submission 68 its entirety. Springleigh RA requests that
Plan Change 94 is withdrawn.**

1. Springleigh RA is submitter 57 on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Springleigh RA opposes the submission 68 by Auckland Council because Auckland Council, as the consenting authority, has provided insufficient Plan Change 94 proceedings that
- 3.
4. are not consistent with RMA91 requirements.
5. The requested amendments are a major change to Plan Change 94. RMA Assessments accompanying Plan Change 94 do not fulfil RMA91 requirements as a result of this submission. The submission does not provide environmental and social evidence.
6. The community already does not understand the proposed Plan Change 94. Submission 68 makes it even harder for affected communities to grasp the effects of the proposal.
7. *'Plan Change 94 does not incorporate MDRS provisions. The present form of Plan Change 94 is inconsistent with the RMA. This will prevent the MDRS being incorporated into the precinct as required by the RMA.'* Springleigh RA raised in our submission (submitter 57) that Auckland Council is negligent in Plan Change 94 proceedings. Auckland Council failed to notify that Plan Change 94 is inconsistent with RMA.
8. The statement: *'For Plan Change 94 the relevant residential zones are:*
 - *Residential - Terrace Housing and Apartment Buildings Zone*
 - *Residential - Mixed Housing Urban Zone'* is false.
9. The residential zone adjacent to a Significant Ecological Area according to Plan Change 78 is Residential – Single House with a maximum of 35% impervious area. It is relevant to Plan Change 94 and applies along the border with SEA Oakley Creek and is subject to submission 68. Precinct provisions must be amended to ensure that all required residential zones are included in Plan Change 94 apply.

10. Table 4 of the Evaluation Report of Plan change 78 and accompanying explanations outlines why SH is the zone adjacent to the boundary of SEA. MRDS are not sufficient according to SEA-T overlay.
11. Existing boundary and setbacks with the SEA Oakley Creek are affected. They must be assessed and notified. Effects on the SEA Oakley Creek are a matter of public interest.
12. Modifications of the landscaped area is relevant to Plan Change 94 and must be publicly notified.
13. The Auckland Council *Future Development Strategy*, a requirement of NPS-UD, requests that houses along rivers and streams have rain roofs, raingardens, permeable paving among others

20/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Sunday, 21 April 2024 12:15:51 pm
Attachments: [Further Submission Springleigh RA Submitter 25.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Open Space for Future Aucklanders Inc

Beresford Law

Level 6

20, Waterloo Quadrant

Auckland 1010

Submission number: 25

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, all points

The reasons for my or our support or opposition are:
included in our attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 21 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 25.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
Springleigh RA is a community group acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 25****Open Space for Future Aucklanders Incorporated**

Decision sought: Springleigh RA supports submission 25 in its entirety. Springleigh RA supports that Plan Change 94 is withdrawn.

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 25 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, health, safety effects, matters of s6 and s7 of RMA91.
3. In particular (but not limited to) we support point 7. Submission 25 as a core RMA91 matter, and support the proposed amendments:

7. In particular, but without limiting the above reasons:

(a) The Society is concerned that the level of open space in the Precinct needs to be significantly increased to recognise that the Change:

(i) is expected to significantly increase the projected population of the Precinct, in a context where the AUP allows significant intensification of the area surrounding the Precinct, and further significant intensification of that area is proposed under Plan Change 78 to the AUP and the National Policy Statement Urban Development (NPS UD).

(ii) Would be detrimental to all of Auckland as the suburbs of Mt Albert, Point Chevalier and Waterview are already established residential suburbs and the Precinct presents the only realistic opportunity to provide sufficient open space for existing and future residents in central Auckland in light of the planned for intensification.

(b) The proposed additional dwellings and number of taller built forms is both unnecessary and premature in the context of a unique and significant brownfields site that has not been comprehensively masterplanned.

(c) The Society considers that if the Change is to proceed it requires significant amendment to mitigate the adverse effects that would be generated by the increased level intensification enabled by the Change as notified.

In addition, Springleigh RA raises the following matters (but not limited to) in support of submission 25:

1. Plan Change 78 requires: *implement qualifying matters to reduce the height and density of development required by the RMA to the extent necessary to accommodate a feature or value that means full intensification is not appropriate.*
The applicant fails to assess this requirement and to propose mitigation.
2. The term 'Open Space' is used in an arbitrary and anecdotal manner by the applicant. The term, as incorporated in Plan Change 94, solely implies a 'space' from which the sky can be viewed, and sometimes applies to an area of stormwater treatment. 'Open Space' as in H.7 of AUP is not included in the application. 'Public open space' is not proposed by the applicant. On the contrary, the applicant misappropriates areas from which the sky can be viewed in the vicinity of the Wairaka Precinct.
3. Sanctuary Mahi Whenua Garden is removed by Plan Change 94.
4. SEA Oakley Creek is not zoned 'open space AUP' as implied by the applicant. The applicant attempts to re-litigate SEA Oakley Creek.
5. Road reserve within the Wairaka Precinct is privately owned. AC gave consent for a private road without stormwater provisions.
6. Economic development, capacity building and cultural promotion are not included in the s5 to s8 of RMA91, are not defined by s3 RMA91. They are not enforceable.
7. The AC *Economic Development Action Plan* (AC EDP) supports 'economic opportunities for Māori'. However, these do not include housing intensification and preferential treatment in infrastructure provisions for HUD or Māori land owners. They are indirect actions. The applicant has not assessed B-MU zone against the provisions of the *ACEDP*.
8. Page 12 and 13 of *AC EDP* outlines the principle and gives an example on how the principle is reflected in the plan. In addition, 6.5 (p.40) of *ACEDP* ensures that infrastructure is adequately funded and financed, and requires (but not limited to) a cost-benefit analysis (environmental, social, cultural, and economic).
9. The existing building height gradation along SEA Okley must be retained, alternatively the Wairaka Precinct must be zoned Residential-SH according to Plan Change 78.
10. The proposed Tower buildings have severe major ecological, environmental and social effects.
11. Tower separation is unsafe. The proposed climate, visual, ecological, social effects are major.
12. For example (but not limited to), the required but not assessed piling and underground floors have severe negative ecological and environmental effects on Pollen Island Marine Reserve, SEA Oakley Creek, Oakley Creek Inlet, a range of reserves and a range of parks genuinely zoned 'Open Space H.7 in AUP'.
13. Residential neighbourhoods and town centres are in the zone of influence of proposed but not assessed tower buildings. The applicant must assume that the zone of influence is a minimum of 2km. Springleigh RA submission 57 provides additional (but not limited to) major negative effects and explanations.
14. The proposed Tower buildings severely affect overland flow paths identified by AC and a natural spring.

15. A stormwater management plan for proposed B-MU zone of Plan Change 94 is not provided.
16. Social, economic impact assessments, infrastructure assessments among others are not included in Plan Change 94.

21/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Tuesday, 23 April 2024 4:46:04 pm
Attachments: [Further Submission Springleigh RA Submitter 104.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Sanctuary Community Organic Garden Mahi Whenua

Trevor Crosby, treasurer

Wairaka Precinct

Submission number: Submission 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, all points

The reasons for my or our support or opposition are:

ref to attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 23 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 104.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community group acting in the public interest, long-standing involvement with Wairaka Precinct proposals

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991

In the Matter of Auckland Council

And

Springleigh Residents Association

c/- 12, Harbutt Ave

Mt Albert 1025

e-mail greg.storz@orcon.net.nz

Phone 09 849 2878

Further Submission on Private Plan Change 94 and Submitter 104, Sanctuary Mahi Whenua Garden

Decision sought: Springleigh RA supports submission 104 in its entirety. Springleigh RA supports that Plan Change 94 is withdrawn.

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 104 are relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, matters of s6 and s7 of RMA91.
3. Sanctuary Mahi Whenua Garden is a long-standing community garden of regional importance. It was designed as a 'food forest', and as such is a rare type of community garden in Aotearoa/NZ. The Garden makes a highly valuable contribution to organic gardening and innovative gardening techniques.
4. Rare plants are located within Sanctuary Mahi Whenua Garden.
5. The Sanctuary Mahi Whenua Garden is signified by a high ecological diversity, which has not been assessed by the applicant. iNaturalist website identifies some of the species' diversity of Sanctuary Mahi Whenua Garden.
6. Sanctuary Mahi Whenua Garden has a strong link to the Te Auaunga/Oakley Creek walkway.
7. Important community facility: The Garden is long-standing. It has been visited by a generation of school children. The garden is used as a teaching tool for horticultural students at Unitec. The garden allows access to gardening for diverse community users.
8. Sanctuary Mahi Whenua Garden is connected to a number of community groups.
9. Loss of Sanctuary Mahi Whenua Garden is a major loss to organic gardening in Aotearoa/NZ.

10. The applicant failed to make a hydrogeological assessment of the springs in the surrounding of Sanctuary Mahi Whenua and the springs in the vicinity of the historic Carrington Hospital.
11. The applicant does not provide the required Social AEE under RMA91. The social effects of the removal of Mahi Whenua Garden are major.
12. Sanctuary Mahi Whenua Garden is not included in the Landscape or Urban Design AEEs' which is contrary to RMA91.
13. Sanctuary Mahi Whenua Garden is archaeologically significant. The Archaeology and Historic AEEs' have not assessed Sanctuary Mahi Whenua Garden.
14. The applicant does not reveal all their evidence regarding the significance of Mahi Whenua Garden.
15. Consultation and information sessions of the applicant prior to lodging the application was misleading to community groups, residents, Albert-Eden Local Board and Councilors.

23/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Tuesday, 23 April 2024 5:46:05 pm
Attachments: [Further Submission Springleigh RA Submitter 203.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Iain Oliver

14, Rhodes Ave

Mt Albert

Auckland 1025

Submission number: submission 203

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, all points

The reasons for my or our support or opposition are:

ref to attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 23 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 203.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
Community group acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991

In the Matter of Auckland Council

And

Springleigh Residents Association

c/- 12, Harbutt Ave

Mt Albert 1025

e-mail greg.storz@orcon.net.nz

Phone 09 849 2878

Further Submission on Private Plan Change 94 and Submitter 203, Iain Oliver, 14, Rhodes Ave, Mt Albert

Decision sought: Springleigh RA supports the submission 203 in its entirety. Springleigh RA supports that Plan Change 94 is withdrawn.

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 203 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, health, safety effects, matters of s6 and s7 of RMA91.

The reasons for our 'further submission' on submission 203 are (but not limited to):

1. *Lack of clarity:* The applicant fails to provide all evidence regarding the effects on the community to the South of Wairaka Precinct. A significant part is confused about the application and does not understand AEE and CI 23 responses of the proposed plan change.
2. Consultation and information of the applicant prior to lodging the application was misleading to residents, community groups, Albert-Eden Local Board and Councilors.
3. The proposed transport and roading network are a non-complying activity. AEE of changes to the transport and roading network is not included in the application.
4. CI 23 responses show that Auckland Council makes desperate attempts to aid and enable the applicant in regards to the proposed changes to Mark Rd. Auckland Council suggests a bus facility and route on the precinct previously not included in the application. Auckland Council is not impartial in RMA91 proceedings.

5. The Traffic AEE does not address changes to the transport network on the Wairaka Precinct and in Mt Albert and Pt Chevalier. It is inconsistent with other Traffic assessments, e.g. (but not limited to) assessments prepared for Carrington Rd.
6. The Traffic AEE is insufficient in addressing traffic management, congestion. It lacks credibility and addresses traffic issues in an anecdotal manner based on outdated data.
7. Due to the failure to provide a Traffic AEE as required by RMA91, the Plan Change 94 must be declined.
8. The application re-litigates the previous plan in 2015 regarding Wairaka Precinct. Road connections, spillover parking, environmental and social matters were a matter of AUP2015 proceedings. The fact that landownership has changed does not mean that the major negative environmental and social effects on the Southend of the Wairaka Precinct can be re-litigated.
9. Springleigh RA was a 'further submitter' on Wairaka Precinct 2015, where we addressed issues of road connections in the Southend of the Wairaka Precinct, overspill parking, transport network, transport management among others. The application re-litigates the 'further submission Wairaka Precinct AUP 2015' of Springleigh RA and of the Mt Albert Residents Association (MARA).
10. The proposed road connections mean that public streets will be connected to a private road without stormwater. It raises major health and safety issues, transport network concerns and is contrary to RMA91 and LGA.

20/04/2024

Hiltrud Grüger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Wednesday, 24 April 2024 11:46:27 am
Attachments: [Further Submission Springleigh RA Submitter 94.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Nga Ringa o Te Auauanga Friends of Oakley Creek

info@oakleycreek.org.nz

Submission number: submission 94

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, all points

The reasons for my or our support or opposition are:

ref to attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 24 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 94.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

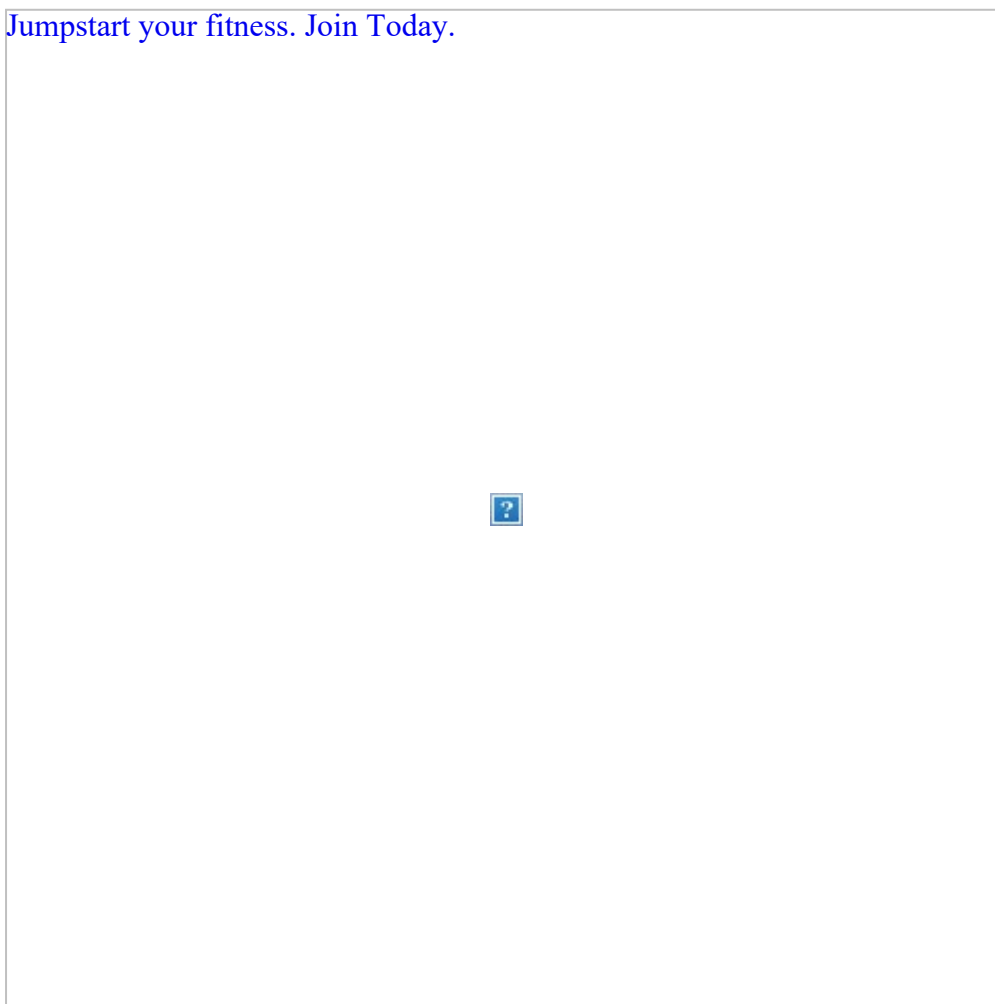
What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community group acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 94, Nga Ringa o Te Auaunga Friends of Oakley Creek****Springleigh RA conditionally supports submission 94. Springleigh opposes Plan Change 94.**

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct on AUP proceedings 2015.
2. Issues and the proposed amendments raised by Submitter 94 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, health, safety effects, matters of s6 and s7 of RMA91.

Reasons for our 'further submission' (but not limited to):

1. B-MU zone is not the permitted zone adjacent to SEA-T. Plan Change 78 directs that Residential-SH is the zone that protects the boundary of SEA-T.
2. B-MU zone proposes mixed commercial and residential use without boundary setbacks on the Wairaka Precinct.
3. The description and AEE of the proposed Plan Change 94 by the applicant is misleading and does not fulfil the requirements of AC for an AEE. Springleigh RA has lengthy explanations in our own submission.
4. The applicant must include and assess a zone of influence surrounding the Wairaka Precinct.
5. The proposed tower buildings have extra ordinary major effects on the Oakley Creek, Pollen Island Marine Reserve, surrounding residential areas, Pt Chevalier, Waitemata, because of (but not limited to) piling, wind effects, requested exemption of tower separation, traffic circulation among others that are detailed in Springleigh RA submission.
6. Plan Change 94 does not state that the towers are for residential purpose.
7. Plan Change 94 description of the towers as 'landmarks' is trivial, anecdotal and does not fulfill the requirement for an AEE, e.g. a values system is not used, mitigation is not proposed.
8. The proposed towers remove overland flow paths without mitigation.

9. A SMP for B-MU zone must be provided for the Wairaka Precinct.
10. AC gave consent for a private road without stormwater on the Wairaka Precinct.
11. There is confusion among residents and community organizations about the nature of the application which is a private plan change with private development.
12. There is confusion among submitters over the revised amendments and how they relate to the Plan Change AEE.
13. Impacts on the landscape have not been assessed, mitigation is not proposed.
14. The terms ‘Oakley Creek land’, ‘Te Auauanga land’, ‘Te Auanga valley’ (but not limited to) are not permitted in plan 94 change proceedings to be included in amendments. A zone of AUP applies always.
15. ‘To be sympathetic’ is not a term defined by RMA91, it must not be included in amendments. The term is used by the applicant to avoid the requirement for mitigation.
16. The ‘AC Economic Development Action Plan’ directs on the assessment of conomic development on the Wairaka Precinct. All statements regarding ‘economic development’ included in the AEE of Plan Change 94 are anecdotal. An Economic AEE is not included in Plan Change 94.
17. The only ‘Māori expression’ included in PC 94 is the name change of the Wairaka Precinct.
18. A Māori community, Māori economic opportunities, Māori initiatives, Māori businesses, employment for Māori (but not limited to) are not identified for the Wairaka Precinct and are not part of the amendments of Plan Change 94. They must include (but not limited to) provisions of ACEDAP:

How this principle is reflected in the plan

[Direct Indirect]

Examples of how actions directly or indirectly support economic opportunities for Māori	
Destination Tāmaki Makaurau	<ul style="list-style-type: none"> The Auckland place-brand narrative showcases Auckland’s urban Māori identity through the “place of mana” theme. Māori tourism opportunities are supported through Destination AKL 2025. The City Centre Masterplan brings mana whenua presence, Māori identity and life into the city centre and waterfront.
Local Tāmaki Makaurau	<ul style="list-style-type: none"> Mātauraunga is valued and embedded in town centre design through early and ongoing engagement with Māori communities. Mataawaka and mana whenua-led initiatives are supported in local planning. Specific programmes are delivered to support capability development of local Māori businesses.

Skilled Tāmaki Makaurau	<ul style="list-style-type: none"> System changes to improve employment outcomes for Māori are a focus, including through Māori and Pasifika Trades Training. Actions focus on increasing prosperity for Māori, including Māori-owned businesses through the work of Amotai and Whāriki. Māori businesses and Māori staff are targeted through council procurement and employment strategies.
Future Tāmaki Makaurau	<ul style="list-style-type: none"> The GridAKL network aims to increase innovation amongst Māori businesses and increase involvement of Māori communities. Māori businesses in the food & beverage sector and supply chain will be supported through the development of the food and beverage cluster.

24/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Wednesday, 24 April 2024 3:46:17 pm
Attachments: [Further Submission Springleigh RA Submitter 143.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Mt Albert Residents' Association

ecojudd@outlook.com

Submission number: submission 143

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number traffic considerations, amenity value

The reasons for my or our support or opposition are:

ref to attachment

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 24 April 2024

Supporting documents

Further Submission Springleigh RA Submitter 143.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community group acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 143, Mt Albert Residents' Association, ecojudd@outlook.com****Decision sought: Springleigh RA supports the submission 143. Springleigh RA supports that Plan Change 94 is withdrawn.**

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 134 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of long-term and large public interest as well as major negative social, cultural, health, safety effects, matters of s6 and s7 of RMA91.

Reason's for Springleigh RA's further submission

1. Traffic connections between the Wairaka Precinct and the Southern suburbs have major negative environmental effects not assessed by Plan Change 94.
2. Mt Albert Residents' Association was involved in the previous re-zoning of the Wairaka Precinct during AUP 2015. MARA was a 'further submitter' on the rezoning proposal, attended mediation and hearings, and participated in expert evidence exchange.
3. PC 94 re-litigates the 'further submission AUP 2015' of MARA, dated 22. February 2016.
4. PC 94 must assess all issues of MARA Legal Submission, 22/02/2016. PC94 must propose mitigation.
5. MARA opposed connectivity between the Springleigh Block and the balance of the Precinct.
6. MARA opposed what was termed the 'Link Road'. ... *the Link Road in its current alignment will become an attractive rat run regardless of the traffic calming measures implemented.* (35 (b) MARA Legal Submission, 22/02/2016).
7. The current road on the precinct is a private road without stormwater, and not suitable for connection with the south end suburbs.

8. MARA voiced concerns about what was termed the 'elevated woodland fronting Woodward Rd' ('the Woodland') at the time of AUP 2015. *(a) MARA considers that the Courtyard and the Woodland occupy important "gateway" locations within the Precinct and that incorporation of them into the public open space network would both preserve their distinctive amenity and signal the change in character from the existing residential areas to the more intensive Precinct. (21 (a) MARA Legal Submission, 22/02/2016).*
9. Mara assessed the visual impacts of 'The Woodland' as a major effect under RMA91. *(c) The Woodland is elevated above the Unitec buildings to the north and northwest. It will form an important interface between the consolidated Unitec development and the existing residential area to the south. MARA considers it desirable for that area to be expressly set aside from development and made available to the wider public. (21 (c) MARA Legal Submission, 22/02/2016).*

24/04/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Hiltrud Gröger
Date: Friday, 3 May 2024 9:31:12 am
Attachments: [Further Submission Springleigh RA Submitter 105.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Hiltrud Gröger

Organisation name: Springleigh Residents' Association

Full name of your agent:

Email address: greg.storz@orcon.net.nz

Contact phone number: 09 849 2878

Postal address:

12

Harbutt Ave

Mt Albert

Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Whai Rawa Ltd

Submission number: 105

Do you support or oppose the original submission? I or we oppose the submission

Specific parts of the original submission that your submission relates to:

Point number entire submission, all points

The reasons for my or our support or opposition are:

ref to attachment

I or we want Auckland council to make a decision to: Disallow the whole original submission

Submission date: 3 May 2024

Supporting documents

Further Submission Springleigh RA Submitter 105.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

No

Declaration

What is your interest in the proposal? I am the person representing a relevant aspect of the public interest

Specify upon which grounds you come within this category:
community group acting in the public interest

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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Resource Management Act 1991**In the Matter of Auckland Council****And****Springleigh Residents Association****c/- 12, Harbutt Ave****Mt Albert 1025****e-mail greg.storz@orcon.net.nz****Phone 09 849 2878****Further Submission on Private Plan Change 94 and Submitter 105, Whai Rawa Ltd.****Decision sought: Springleigh RA opposes submission 105 in its entirety. Springleigh RA supports that Plan Change 94 is withdrawn.**

1. Springleigh RA is a submitter on Plan Change 94. We act in the public interest. Springleigh RA was a 'further submitter' on the previous rezoning proposal of the Wairaka Precinct in 2015.
2. Issues and the proposed amendments raised by Submitter 124 are particularly relevant to Plan Change 94 proceedings. They address, but not limited to, matters of national importance and matters of long-term and large public interest as well as major negative ecological, social, cultural, health, safety effects, matters of s6 and s7 of RMA91.

Reasons for our 'further submission but not limited to:

A. Unprecedented effects of building heights and rezoning

Rezoning proposed by Whai Rawa Ltd in their submission requests, but not limited to, major negative effects without mitigation:

Rezoning the small area of land identified to Business Mixed Use (and subsequent amendments to Precinct Plan 1 by removing the land from Sub-Precinct C and Precinct Plan 3 by including the land in Height Area 4) will enable the purpose and principles of the Resource Management Act to be given effect by, in particular, identifying an area of land that can accommodate additional height with adverse effect

1. The proposed building heights and B-MU rezoning result in a private plan change with population densities not seen in Aotearoa/NZ before, with unparalleled major negative environmental, social, economic effects. Detailed explanation is included in Springleigh RAs' submission.
2. The requested heights have unprecedented effects on SEA Te Auaunga/Oakley Creek and include the removal of existing boundary setbacks along the SEA.
3. Plan Change 78 directs that zoning adjacent to SEA must be Residential- SH with a maximum impervious area of 35% percent.

4. Proposed building heights reflect building heights in the CBD but not in a suburban location. Plan Change 78 requires suburban zoning adjacent to SEA. The character of Pt Chevalier, Mt Albert, Waterview is changed.
5. Proposed adverse effects must be mitigated under RMA91, however, requirements for mitigation are avoided as part of PC94. The previous re-zoning decision established that the Wairaka Precinct is sufficiently large for mitigation on the site.
6. Infrastructure such as wastewater, stormwater, transport (but not limited to) is strained by the application, details of infrastructure requirements are not included in application or notification.
7. The proposed landmark- tower buildings have major negative RMA91 effects.

B. Unsubstantiated economic development claims

The Plan

Change seeks to make "amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct". Retaining these trees within the statutory regime will result in planning blight on the affected land without commensurate environmental or planning benefit given the previous consideration given in allowing their removal.

1. The amendments proposed for Plan Change 94 do not state that Maori initiatives, economic development must occur on the Wairaka Precinct.
2. 'To promote' is not a term defined by RMA91. 'To promote' cannot be enforced under RMA91.
3. An Economic AEE is not included in the application.
4. Effects on trees are a major negative effect. An arboricultural AEE is not included in the application.

Further reasons for opposing the submission are, that rezoning and building heights (but not limited to) have major negative effects (but not limited to):

- on surrounding suburbs
- on SEA Oakley Creek and Marine Reserve, NZCPS
- transport network and traffic generation
- Open space
- requires major funding from the Auckland Council for infrastructure, open space among others not assessed by the applicant and not publicly notified as part of Annual or Long-term planning.
- tower building in a suburban area without adequate assessment
- future non-notified consents of major negative effects
- directly affected communities does not understand the extend of the proposed plan change and has voiced this during the submission process
- re-litigate the 'further submission' of Springleigh RA and Ngati Whatua Orakei Wha Rawa LTD on AUP2015 proceedings regarding Wairaka Precinct
- the applicants have not disclosed all their evidence.

Whai Rawa LTD understands the extensively discussed matters of the Wairaka Precinct that were part of AUP2015 proceedings. Whai Rawa Ltd is aware that the existing building heights requested via a submission on AUP2015 already constitute substantial increases in population density and density from the previous zoning of the Wairaka

Precinct. Whai Rawa Ltd understands the existing boundary setbacks which have been in place since the decision on the Wairaka Precinct in 2016.

C Rezoning is not required to achieve proposed outcomes

The existing zoning allows the economic development of Maori and their cultural expression. Whai Rawa has failed in their responsibility to propose economic initiatives for the Wairaka Precinct.

B-MU is not subject to plan change 78, and not the preferred zoning for residential intensification. The applicant does not provide alternative options for re-zoning.

3/05/2024

Hiltrud Gröger (spokesperson for Springleigh RA)

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Yolanda van den Bemd
Date: Tuesday, 23 April 2024 8:16:01 pm

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Yolanda van den Bemd

Organisation name:

Full name of your agent:

Email address: yvdbemd@gmail.com

Contact phone number:

Postal address:

1/21 Neville St

Pt Chevalier

Auckland 1022

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Sanctuary Community Organic Garden Mahi Whenua Inc., submitted on behalf of the Society by Trevor Crosby, 40 Monaghan Ave, Mt Albert, Auckland 1025; trevorcrosby@actrix.co.nz

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number 1. 104.1

Point number 2. 104.2

Point number 3. 104.3

Point number 4. 104.4

Point number 5. 104.5

The reasons for my or our support or opposition are:

1. 104.1 Opposes a change in Precinct Name.

2. 104.2 Supports an increase in height of buildings provided it results in more useable open green space.

3. 104.3 Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private).

4. 104.4 Supports zone changes (Educational to BMU).

5. 104.5 Seeks more provision for open space and that the Sanctuary Gardens be identified

(detailed reasoning given).

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 23 April 2024

Attend a hearing

I or we wish to be heard in support of this submission: No

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:

I love the garden and all it stands for - open green space is extremely necessary to be preserved when all around there will be buildings. It makes logical and environmental good sense to keep what is already so productive. The soil is fertile and produces much food. The opportunity is there for people to get in touch with nature, for their well being and for time out from the built environment. Please keep the garden and food forest. Thank you.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Tina Salehi
Date: Sunday, 28 April 2024 11:45:24 am

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Tina Salehi

Organisation name:

Full name of your agent:

Email address: tinadelaram@gmail.com

Contact phone number: 0226575432

Postal address:

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:
Sanctuary Community Organic Garden Mahi Whenua Inc.
40 Monaghan Ave, Mt Albert, Auckland 1025

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:
Point number 104.1, 104.2, 104.3, 104.4, 104.5

The reasons for my or our support or opposition are:
I support because I am a member of the Sanctuary Community.

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 28 April 2024

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
Yes

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:
I am a member of the Sanctuary Mahi Community.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Alice Nicholls
Date: Thursday, 2 May 2024 10:31:01 am

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Alice Nicholls
Organisation name: Gardens4Health, Diabetes Foundation Aotearoa
Full name of your agent:
Email address: gardens4health@diabetesfoundationaotearoa.nz
Contact phone number: 0272562009
Postal address:
Suite 2/100 Alexander Cres
Ōtara
Auckland 2023

Submission details

This is a further submission to:

Plan change number: Plan Change 94
Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:
Sanctuary Community Organic Garden Mahi Whenua Inc., submitted on behalf of the Society by Trevor Crosby, 40 Monaghan Ave, Mt Albert, Auckland 1025; trevorcrosby@actrix.co.nz

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number 104.1
Point number 104.2
Point number 104.3
Point number 104.4
Point number 104.5

The reasons for my or our support or opposition are:

The Sanctuary garden is a taonga: a treasured site which has nurtured residents in the area since māori arrived on the site and began cultivating kai. It has withstood and rapidly recovered from Auckland's most severe recent weather events (both droughts and floods), provided kai to neighbouring families during lockdowns, and maintained the highest standards of organic practice to ensure the soil and mauri of the land is protected. Developments of any kind in the surrounding area will have a huge impact on both the land and the community that cares for it, hence protections to the gardens being made explicit in the terms of sale in 2018. Those conditions are no longer mentioned in Plan Change 94, with no mention of the significance of the māra or the protections that are mandatory for the Crown to abide by law. The kaitiaki of the site must be assured that the land will be respected, and protected, in accordance with the agreements made in the sale, and request that this be explicitly detailed in the plans for site development.

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 2 May 2024

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

Yes

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:

I manage a community garden programme on behalf of the Diabetes Foundation Aotearoa which supports community māra kai to increase access to nutrient dense, affordable, and local kai that elevates the mana and hauora of people living with chronic health conditions. Sanctuary garden is an incomparably valuable source of kai for our whānau, and so it is in my professional interest to ensure their legal protections are being honoured by the crown so that they may continue to serve our people.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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2 May 2024

Plans and Places
Auckland Council
Private Bag 92300
Auckland 1142

Email: unitaryplan@aucklandcouncil.govt.nz

Further Submission for Proposed Private Plan Change 94 – Te Auaunga / Wairaka

Please find attached Auckland Transport's further submission to the submissions lodged on Proposed Private Plan Change 94. The applicant is Ministry of Housing and Urban Development.

If you have any queries in relation to this submission, please contact me at on spatialplanning@at.govt.nz.

Yours sincerely



Marguerite Pearson
Principal Planner, Spatial Planning and Policy Advice

Further submission by Auckland Transport on Proposed Private Plan Change 94 – Te Auaunga / Wairaka

To: Auckland Council
Private Bag 92300
Auckland 1142

Further submission on: Proposed Private Plan Change 94 from the Ministry of Housing and Urban Development for 64.5ha of land located on Carrington Road in the existing Wairaka Precinct I334

From: Auckland Transport
Private Bag 92250
Auckland 1142

1. Introduction

- 1.1 Auckland Transport (**AT**) represents a relevant aspect of the public interest and also has an interest in the proposal that is greater than the interest that the general public has. AT's grounds for specifying this are that it is a Council Controlled Organisation of Auckland Council (**the Council**) and Road Controlling Authority for the Auckland region.
- 1.2 AT's legislated purpose is "*to contribute to an effective, efficient and safe Auckland land transport system in the public interest*".

2. Scope of further submission

- 2.1 The specific parts of the submissions supported or opposed, and the reasons for that support or opposition, are set out in **Attachment 1**.
- 2.2 The decisions which AT seeks from the Council in terms of allowing or disallowing submissions are also set out in **Attachment 1**.

3. Appearance at the hearing

- 3.1 Auckland Transport wishes to be heard in support of this further submission.
- 3.2 If others make a similar submission, Auckland Transport will consider presenting a joint case with them at the hearing.

Name: Auckland Transport

Signature:



Rory Power
Manager - Spatial Planning Policy Advice

Date: 2 May 2024

Contact person: Marguerite Pearson
Principal Planner, Spatial Planning and Policy Advice

Address for service: Auckland Transport
Private Bag 92250
Auckland 1142

Telephone: 021793660

Email: spatialplanning@at.govt.nz

Attachment 1

#	Submitter	Summary of submission	Support or oppose	Reasons	Decision sought
25.21(iii) 25.48	Open Space for Future Aucklanders Incorporated (the Society) joanna@beresfordlaw.co.nz	Reduce the adverse traffic effects including by: ... (iii) Locating public transport nodes centrally within Precinct Plan 1 and integrating with public transport within the precinct to encourage public transport use. Amend Policy I334.3(20) to improve the functionality of public transport network in the Precinct and surrounding areas.	Oppose	As outlined in Auckland Transport's (AT) primary submission (submission point 40.10), upgrading Carrington Road to provide more efficient public transport is preferred, to a circuitous internal bus route.	Disallow
124.2 124.40	Geoffrey John Beresford geoff@beresfordlaw.co.nz	Consider a central location for public transport within the precinct at the lowest point. Amend Policy I334.3(20), (c) and (g) to ensure public transport is appropriately provided for "central transport hub/bus node ...".	Oppose		Disallow
181.2 187.2 200.2 203.2	Marcus Cameron marcusmc74@gmail.com Gordon Horsley 8 Rhodes Ave Mt Albert Auckland 1025 Karen Oliver mrsk.oliver@gmail.com Iain Oliver iainoliver@xtra.co.nz	Clarity is sought on how a resident parking scheme will work and be enforced.	Oppose	As outlined in AT's primary submission (submission point 40.2), a resident parking scheme is not supported and will not be implemented by AT.	Disallow

#	Submitter	Summary of submission	Support or oppose	Reasons	Decision sought
220.3	Maria Cepulis handlmummy@gmail.com				
Second point of 45.3	Watercare Services Limited planchanges@water.co.nz	Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DUEs within the Te Auaunga Precinct. Shown as proposed new Rule I334.9(4) in Watercare's Attachment 1.	Support	AT generally supports these amendments as it is important for there to be clarity on the number of dwellings per application and the total number of dwellings consented, given the intention behind Rule I334.9.	Allow
25.50	Open Space for Future Aucklanders Incorporated (the Society) joanna@beresfordlaw.co.nz	Amend Policy I334.3(23). Clarify that it is not a single application for over 3,000 dwellings that triggers the ITA requirement but when an application brings the total number of dwellings above that level.	Support		Allow
25.21(ii) 25.63	Open Space for Future Aucklanders Incorporated (the Society) joanna@beresfordlaw.co.nz	(ii) Making the northern most access point to Carrington Road the main access point. Amend Standard I334.6.8 Access to reflect this.	Oppose	Multiple access points to/from the site onto Carrington Road will improve overall accessibility and connectivity. Additionally, the backbone resource consent approved the intersection locations.	Disallow
57.32	Springleigh Residents Association greg.storz@orcon.net.nz	All parking should be onsite. Amend Policy (20) by deleting clause (f) in terms of minimising overflow parking on roads occurring in the vicinity of the precinct.	Support in part		



8 Seaview Terrace
Mt Albert, Auckland 1025
Phone 09 846 9744
Email info@gladstone.school.nz
Web www.gladstone.school.nz

FURTHER SUBMISSION ON PRIVATE PLAN CHANGE 94 (WAIRAKA PRECINCT) TO THE AUCKLAND UNITARY PLAN (OPERATIVE IN PART)

Clause 8 of the First Schedule

TO: Auckland Council,
By Email: unitaryplan@aucklandcouncil.govt.nz

SUBMITTER: **GLADSTONE PRIMARY SCHOOL BOARD OF TRUSTEES (GLADSTONE PRIMARY)** at the address for service set out above.

1. Gladstone Primary is a year 0-6 primary school, located at 8 Seaview Terrace and is directly opposite land proposed to be rezoned by the Plan Change. Gladstone Primary made a submission, Submission No. 20, on Proposed Private Plan Change 94 (**Wairaka Precinct**) to the Auckland Unitary Plan Operative in Part. Accordingly, Gladstone Primary represents a relevant aspect of the public interest and is a person who has an interest in the proposal that is greater than the interest the general public has.
2. Gladstone Primary makes further submissions in opposition to, or in support of, the relief sought in the primary submissions of other Submitter as set out in **Attachment 1**.
3. Where submissions are supported or opposed, it is to the extent that it is consistent with the relief sought by Gladstone Primary in their primary submission. The specific parts of the submission supported or opposed are addressed, and the specific reasons for Gladstone Primary's position are set out in **Attachment 1**.
4. The general reasons for this further submission are:
 - (a) In the case of submissions opposed, the submissions do not promote the sustainable management of natural and physical resources and are otherwise inconsistent with the purpose and

principles of the Act; and rejecting the relief sought in the submissions would more fully serve the statutory purpose than would implementing that relief.

- (b) In the case of those submissions supported, the submissions promote the sustainable management of natural and physical resources and are consistent with the purpose and principles of the Act; and allowing the relief sought would more fully serve the statutory purpose than would disallowing that relief.
5. Gladstone Primary wishes to be heard in support of this further submission.
6. If other parties make similar submissions, Gladstone Primary would consider presenting a joint case with them at any hearing.

DATED 5/2/2024

Gladstone Primary School Board of Trustees



Dave Shadbolt
Principal

Attachment 1: Further submission details

Further Submission Details					
Details of original submission that further submission is being made on				Details of further submission	
Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition
Waterview School	226.1	Opposes	Seeks a "Special Purposes- School Zone" to facilitate a new primary school on the site.	Support	Zoning would provide certainty as to the location and provision of educational facilities in the Precinct.
Auckland Transport	40.2	Supports with amendments	AT should not fund and implement a residents only parking zone - this should be managed by the applicant. Refer to Attachment for details.	Support	Adverse effects of insufficient parking need to be internalized within the Precinct without affecting the surrounding road network and community.
	40.3		Seeks that discrepancies in the ITA traffic model be addressed through alignment with modelling for AT's Carrington Road upgrading project.	Support	Funding and delivery of adequate infrastructure needs to be co-ordinated to ensure it is in place prior to development.
	40.4		Amend the ITA to reflect agreements on intersection upgrades and expand Rule I224.9 to capture this matter.	Support	Funding and delivery of adequate infrastructure needs to be co-ordinated to ensure it is in place prior to development.
	40.5		Seeks amendments to refer to the Northwestern Shared Path in the Precinct Description and that public transport will occur on the edge of the site (Carrington Road).	Oppose	The distances and topography in the precinct mean that provision for public transport within the Precinct is required not just connections to surrounding areas.
	40.7		Amend Policy 19 'Pedestrian and cycle access, street quality and safety'. Refer to Attachment 1 for details.	Support	Improvements to these matters are required to achieve good quality outcomes.
	40.10		Supports deletion of references to an internal bus node	Oppose	The distances and topography in the Precinct mean that provision for public transport within the Precinct is required not just connections to surrounding areas.
	40.12		Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard on Carrington Road, I334.6.8(2) deletion of bus node references and I334.6.3 road run off.	Oppose	Increased set backs and reduced heights on Carrington Road required to mitigate effects on surrounding environment. Provision for public transport within the Precinct required.
Ministry of Education	230.1	Seeks Amendments	Amend Objective 3 on the basis that the development needs to be supported by education facilities (not just tertiary education facilities).	Support	Provision for educational facilities is required to achieve the objectives of the NPS UD.

From: [Craig McGarr](#)
To: [Maninder Kaur-Mehta \(Manisha\)](#)
Subject: RE: PC 94 (Private): Wairaka Precinct: Further Submissions (Health New Zealand)
Date: Wednesday, 8 May 2024 11:19:58 am
Attachments: [PC94 Health New Zealand Further Submission PC94 Attachment 1 \(corrected\).pdf](#)

Thanks Manisha,

With ref to the attached table, and the submissions:

- Submission 38 doesn't have a sub number . The Councils mark up has 'numbers' for the reasons, rather than the submission point
- Submission 57 I have referenced the Council's sub number for the first item, and the submitters ref for the second – as Council has not given a number to that.

For completeness, please find an amended table to correct an error on page 12, in respect of the further submission item for Submitter 124. This relates to submission point 124.13, which should have shown the decision requested by the submitter as underlined, not ~~strikethrough~~. The amended table addresses this.

Regards,

Craig McGarr

BENTLEY & Co

Resource Management Consultants

Level 12, 23 Customs Street East, Auckland CBD
PO Box 4492, Shortland Street, Auckland 1140

Mobile: 021 741418

From: Maninder Kaur-Mehta (Manisha) <Maninder.Kaur-Mehta@aucklandcouncil.govt.nz>
Sent: Tuesday, May 7, 2024 3:40 PM
To: Craig McGarr <cmcgarr@bentley.co.nz>
Subject: RE: PC 94 (Private): Wairaka Precinct: Further Submissions (Health New Zealand)

You don't often get email from maninder.kaur-mehta@aucklandcouncil.govt.nz. [Learn why this is important](#)

Kia ora Craig

Thank you for making a submission on behalf of Health New Zealand.

Can you please specify the submission points you are supporting\opposing for submission No. 38 & submission No. 57.

Thanks

OPEN SPACE FOR FUTURE AUCKLANDERS INCORPORATED (Submission No. 25)						
Submitter's reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8 (b)		Significantly increase the amount of public open space proposed in the Precinct, require a minimum area of public open space, and improve that public open space so that it better enables a well-functioning urban environment and meets the needs of all future residents of the Precinct and the surrounding urban environments	25.2	<p>It is unclear whether the intention of this submission is to require open space to be provided within the Te Whatu Ora land holdings at 3A, 81A, and 119A Carrington Road.</p> <p>As outlined in its submission on PC94 (#65) Te Whatu Ora support the manner in which open space is currently proposed to be provided for within the Precinct.</p> <p>The Council's decision on PC75 has confirmed that no open space is required to be provided on the Te Whatu Ora landholdings and Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (12)	I334.2(7A)	Add the following Objective: The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs	25.29	As set out in relation to submission point 25.2 above.	disallow	

8 (f)		Provide for a variety of open space typologies that enable active and passive recreation and identify the locations for these types of open space uses in Precinct Plan 1.	25.6	As set out in relation to submission point 25.2 above.	disallow	
Schedule 1 (84)	Zoning map	Zone land for open space in accordance with the open space requirements in the precinct provisions and in the locations shown on Precinct Plan 1 (as sought to be amended by the Society).	25.74	<p>No plan is provided to show the location of open space sought by the submission, and it is therefore unclear whether open space is sought to be provided within the Te Whatu Ora land holdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including that no open space is required to be provided on the Te Whatu Ora landholdings.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (88)	I334.10.4 Precinct Plan 4	Insert a new Precinct Plan 4 to show the required width and corridor cross sections of indicative roading and walking corridors to ensure that sufficient space is provided for vehicles, pedestrians, cyclists, landscaping and stormwater management	25.75	<p>No plan is provided to show the location of the roading and walking corridors referenced in the submission. It is unclear whether the intention of this submission is to extend the requirement to provide walking corridors to any future development of the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including that walking corridors are not required to be provided for any</p>	disallow	

				development of the Te Whatu Ora land holdings. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
8 (g)		Provide for comprehensive master-planning for the Precinct that identifies the locations of buildings and community residential, commercial, retail, educational, or other activities to be undertaken within and outside of buildings prior to resource consents for new buildings being granted.	25.7	It is unclear whether the intention of this submission is to extend the requirement for comprehensive master-planning to the future development of the Te Whatu Ora landholdings. In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (7)	I334.1. Precinct Description	Amend Precinct Description: To reduce the potential of avoid new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan 1 and relevant policies precinct requires land owners to develop in accordance with a comprehensive master plan that is in accordance with the precinct provisions and precinct plans 1-3. This method provides for integrated development of the area and ensures high quality outcomes are achieved.	25.24	As no plans have been provided showing the extent of change sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. A requirement for comprehensive master-planning at a Precinct level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (9)	I334.2(2)	Amend Objective: Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further</u>	25.26	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which	disallow	

		<u>resource consents for residential development or new buildings being granted.</u>		are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements.		
Schedule 1 (43)	I334.3(28)	Amend Policy: Encourage <u>Require</u> built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis <u>including the requirement to have a comprehensive master plan approved prior the grant of resource consent for residential dwellings</u>	25.52	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.	disallow	
Schedule 1 (49)	I334.4.1 (A21CA)	Insert new activity: <u>New buildings prior to a resource consent application for a comprehensive whole of precinct land use and built form master plan being approved – non complying activity</u>	25.55	Table I334.4.1 is proposed to be amended by PC75. Until PC75 is made operative, this proposed activity would apply to the Te Whatu Ora land holdings. Such an outcome is inappropriate and unnecessary – as is any corresponding amendment to Table I334.4.4, which is to be included by PC75. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.	disallow	
8(o)		Reduce height limits throughout the Precinct and increase distances between buildings to maintain outlooks within and through the Precinct	25.11	As no plans have been provided showing the areas where a reduction in height limits is sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that	disallow	

				<p>would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Schedule 1 (3)	I334.1. Precinct Description	<p>Amend precinct description: These include the following:</p> <p>....</p> <ul style="list-style-type: none"> • <u>Amenity enhancing views at street level which connect with Owairaka / Mt Albert, the Waitemata Harbour and Waitakere Ranges.</u> 	25.24	<p>These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.</p> <p>It is also unclear what rules, standards, or criteria are proposed to achieve this outcome.</p>	disallow	
Schedule 1 (76)	I334.8.1. Matters of discretion	<p>Amend as follows:</p> <p>New buildings which comply with Standard I334.6.4 Height:</p> <p>...</p> <p>(b) Building form and character:</p> <p>(i) whether building design and layout achieves:</p> <p>...</p>	25.68	<p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the matters of discretion and assessment criteria established for the</p>	disallow	

		<p><u>(ba) adequate separation between buildings and the avoidance of large horizontal extents in building form.</u></p> <p><u>(bb) avoidance of blank walls and long building frontages to the greatest extent possible.</u></p> <p>(c) articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage <u>minimise</u> the extent of large blank and/or flat walls and/or façades;</p> <p>(d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape;</p> <p>(e) a high quality, clear and coherent design concept that <u>utilises a palette of durable materials to express the building form that expresses a consistent colour palette across the entire building that is complementary to the design concept of surrounding buildings;</u></p> <p>...</p> <p>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design <u>to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the precinct;</u></p> <p>...</p> <p>(x) buildings are designed to minimise shading onto other properties external to the precinct and to minimise shading of open space (including the public realm of the road reserve);</p>		Te Whatu Ora site, which have not been appealed.		
8(r)		Restrict site coverage to provide greater landscaped areas and space between buildings	25.12	As no plans have been provided showing the areas where a restriction in site coverage is sought, it is unclear whether	disallow	

				<p>this amendment would have implications for the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council’s Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed. There is no coverage standard applying to the Te Whatu Ora land holdings, and any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Schedule 1 (66)	I334.6.5 landscaping	<p>Amend as follows:</p> <p><u>(1) At least 20 per cent of a site within the precinct must be landscaped,</u></p> <p><u>(2) A range of appropriate plant species (including species that reach mature heights equal or greater to the heights of proposed buildings and fast growing species that can quickly mitigate the adverse visual effects of buildings)</u></p>	25.60	<p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council’s Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p>	disallow	

8(w)		Increase the area of land required to be soft landscaped on sites in the Precinct	25.17	<p>As no plans have been provided showing the areas where an increase in soft landscaping is sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (78)	1334.8.1. Matters of discretion	<p>Amend as follows;</p> <p>(1A)(h) Landscape:</p> <p><u>(i) A minimum of 20 percent of each site is to be landscaped to landscaping is provided</u> to contribute to the achievement of quality amenity that is integrated with the built environment.</p> <p><u>Additional</u> landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways <u>provided that 20 percent of the site landscaping</u> includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas.</p>	25.68	<p>A matter of discretion does not need to repeat the precinct standard.</p> <p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the matters of discretion and assessment criteria established for the Te Whatu Ora site, which have not been appealed.</p>	disallow	

8 (x)		Increase the distances required between buildings to provide view shafts through the Precinct	25.17	Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.	disallow	
8(y)		Provide for exemplary quality urban design and landscaping within the Precinct	25.18	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements.	disallow	
Schedule 1 (13)	1334.2(10)(a)	Amend Objective: An integrated urban environment is created, which: Incorporates high <u>exemplary</u> quality built form and <u>urban</u> design;	25.30			
Schedule 1 (29)	1334.3.(13)	Amend Policy: Require new buildings to be designed in a manner that provides for a high <u>promotes and achieves an exemplary</u> standard of amenity, recognizes <u>enhances</u> landscape values and, where appropriate, enhances the streetscape and gateway <u>locations</u> of the precinct and <u>surrounding streets</u> .	25.40			
Schedule 1 (30)	1334.3.(14)	Amend Policy: Require proposals for <u>all</u> new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent the scheduled heritage buildings and/or the significant ecological area of Te Auaunga <u>within the precinct</u> to provide appropriate native landscaping and <u>to be sympathetic and provide</u> contemporary and high-exemplary quality design, which enhances the precinct's built form and natural landscape.	25.41			
Schedule 1 (32)	334.3.(14AA)	Amend Policy: Require proposals for new high <u>rise</u> buildings adjacent to the former Oakley	25.43			

		Hospital scheduled historic heritage building to provide sympathetic contemporary and high exemplary quality design which enhances the precinct's built form.				
8 (bb) (ii), (iv), (vi)		(ii) Making the northern most access point to Carrington Road the main access point to the Precinct. (iv) retaining the existing indicative walking connections and amending Precinct Plan 1 to provide for additional indicative walking connections through the Precinct; (vi) restricting dwelling and occupancy numbers in the Precinct until the Carrington Road upgrade is completed the Woodward Road railway level crossing is replaced by a grade separated crossing.	25.21	The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). Walking connections are established and determined. It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75.	disallow	
8 (dd)		Provide that the removal of identified trees, removal of identified character buildings, and new buildings above height limits are noncomplying activities requiring public notification.	25.23	It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A. Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be applied to the te Whatu Ora landholdings. Any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75. The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is	disallow	

				no basis to revisit these recently uncontested provisions. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
Schedule 1 (6)		Proposed amendments to Precinct description: These measures will could include the following: ... • <u>Restricting dwelling and occupancy numbers until the Carrington Road upgrade is completed.</u> • <u>Restricting dwelling and occupancy numbers in the precinct until the Woodward Road railway level crossing is replaced by a grade separated crossing.</u>	25.24	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements. The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75.	disallow	
Geoffrey John Beresford (Submission No. 124						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8(a)		Comprehensive master-planning for the Precinct that identifies the locations of	124.1	It is unclear whether the intention of this submission is to extend the requirement	disallow	

		buildings and the community, residential, commercial, retail or other activities to be undertaken within buildings, or externally to buildings, prior to any resource consents for residential dwellings being granted.		for comprehensive master-planning to the future development of the Te Whatu Ora landholdings. In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.		
Schedule 1 (23)	I334.1. Precinct Description	Amend as follows: To reduce the potential of avoid new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan and relevant policies <u>Precinct Plan requires land owners to develop in accordance with a comprehensive master plan that is in accordance with the Precinct Plan provisions and Precinct Plans 1-4.</u> This method provides for integrated development of the area and ensures high quality outcomes are achieved.	124.11	As no plans have been provided showing the extent of change sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. A requirement for comprehensive master-planning at a Precinct level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (25)	I334.2 (2)	Amend Objective: Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further resource consent for new building being granted.</u>	124.13	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements	disallow	
8(b)		For all work under any resource consents granted prior to the completion of master	124.1	The proposed amendment would be inconsistent with the presumption that	disallow	

		planning to be suspended pending the completion of the required master planning.		<p>legislation does not have retrospective effect.</p> <p>In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.</p>		
Schedule 1 (79)	Table I334.4.1(A21CA)	New buildings prior to a resource consent application for a comprehensive whole of precinct land use and built form master plan being approved	124.48	<p>Table I334.4.1 is proposed to be amended by PC75. Until PC75 is made operative, this proposed activity would apply to the Te Whatu Ora land holdings. Such an outcome is inappropriate and unnecessary – as is any corresponding amendment to Table I334.4.4, which is to be included by PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (60)	I334.3.(15AA)	Add new Policy: Provide at least 25 ha of open space (public) in addition to the open space (private) required by policy I334.3.(15A)	124.36	<p>There is no rationale for this figure.</p> <p>It is unclear whether the intention of this submission is to require open space to be provided within the Te Whatu Ora landholdings.</p> <p>The Council's decision on PC75 has confirmed that no open space is required to be provided on the Te Whatu Ora landholdings and Te Whatu Ora opposes any changes to the Wairaka Precinct</p>	disallow	

				provisions that would undermine the Council's Decision on PC75. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
Schedule 1 (11)	I334.1. Precinct Description	Amend: There are also particular attributes of the Precinct, Wairaka which contribute to the amenity of the Precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the Precinct. These include the following: ... • <u>Amenity enhancing views at street level which connect the Precinct with Mt Albert / Owairaka, the Waitamata Harbour, and the Waitakere Ranges;</u> ...	124.11	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements. It is also unclear what rules, standards, or criteria are proposed to achieve this outcome.	disallow	
Schedule 1 (30)	I334.2 (7B)	New Objective: To manage the urban forest on public and private land within the Precinct so as to give effect to Auckland's Urban Ngahere (Forest) Strategy and achieve a tree canopy of 30% within the Precinct	124.18	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.		
Schedule 1 (31)	I334.2 (10)(a)	Amend objective: An integrated urban environment is created, which: Incorporates high exemplary quality built form and urban design;	124.19	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any	disallow	

				amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.	
Schedule 1 (33)	I334.2 (10)(d)	Amend objective: Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment <u>including the built form and character of the surrounding residential environment.</u> ,	124.19	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.	disallow
Schedule 1 (67)	I334.3.(22)	Amend policy: Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times <u>and make undergrounding of the Woodward Road rail crossing a trigger point for development</u>	124.41	The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). Walking connections are established and determined. It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75	disallow
Schedule 1 (114)	I334.8.1. (1A)(b)(i)(f) Matters of discretion	Amend: <u>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the Precinct;</u>	124.61	The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the matters of discretion and assessment criteria established for the	disallow

				Te Whatu Ora site, which have not been appealed.	
8(d)		Restrict site coverage to provide greater landscaped areas and space for tall trees between buildings	124.7	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed. There is no coverage standard applying to the Te Whatu Ora land holdings, and any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow
8(e)		Retain and extend existing tree protection provisions and increase the area of land required to be soft landscaped on sites in the Precinct.	124.8	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A.</p> <p>Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be</p>	disallow

				<p>applied to the te Whatu Ora landholdings. Any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is no basis to revisit these recently uncontested provisions.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
8 (f)		Provide that the removal of identified trees, removal of identified character buildings and building above height limits are noncomplying activities requiring public notification.	124.9	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council’s Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A.</p> <p>Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be applied to the te Whatu Ora landholdings. Any such provision would</p>	disallow	

				<p>be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is no basis to revisit these recently uncontested provisions.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Jennifer Diane Goldsack (Submission No. 38)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
	1334.5	<p>The submitter opposes the following provision: Buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of he</p>	38	This matter is out of scope	disallow	

		Resource Management Act 1991. the				
Springleigh Residents Association (submission No. 57)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8. The 'Mason Clinic' and Plan Change 75 are separate from PC94		8.2 The 'agreements' between HUD and 'Mason Clinic' have not been notified. It is impossible for community submitters to determine whether they have relevance to RMA91 proceedings. AC must proceed with cl23 requests regarding 'agreements', that cannot be understood from the single cl23 request. 8.3 The 'Mason Clinic' does not pre-mediate the outcome of RMA91 proceedings of PC94, as HUD implies. PC75 relates to different, specialized zoning with different environmental, social, economic effects with less magnitude as PC94.	57.8	The agreements between HUD and Te Whatu Ora are not relevant to the determination of PC94. PC75 does pre determine the outcome of PC94. The provisions of PC75 are settled except for a single matter, and PC94 does, and should not derogate from the provisions determined through PC75. PC94 specifically and appropriately excludes the Mason Clinic land – as being outside of the scope of PC94.	disallow	
22. The 'Amendments requested' are contrary to general planning report and AEE (page 55)	I334.5	The submitter seeks to delete the following provisions: (1) An application for resource consent for a controlled activity listed in Tables I334.4.1, and I334.4.3, and I334.4.4 Activity table above will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.		These matters are out of scope, as they relate to Sub-precinct A and Table I334.4	disallow	

		1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m ² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991				
Watercare Services Limited (Submission No. 45)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
2.32		<p>Amendment to require a bulk water supply and wastewater infrastructure capacity assessment where development beyond the previously modelled yield of 4000 DUEs is proposed.</p> <ul style="list-style-type: none"> - Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DUEs within the Te Auaunga Precinct. - Amendments to the associated matters of discretion and assessment criteria to support the Restricted Discretionary Activity status. - Inclusion of new objective and policies to support the Restricted Discretionary Activity status. 	45.3	<p>There are already sufficient provisions contained in the Precinct Provisions and in particular in the provisions which apply to the development of land within Sub-precinct A (as amended by PC75), to require consideration of the sufficiency of infrastructure to service future development.</p> <p>The triggers (and related requirement to maintain a schedule), together with the amendments to the objectives, policies, assessment matters and criteria proposed are therefore not considered necessary.</p>	disallow	

				<p>The capacity analysis proposed is based on a DUE, and has the potential to implicate the forecast development of the Mason Clinic that is enabled by PC75. If this requirement is to be retained any such forecasting should be inclusive of the development enabled within the Mason Clinic as a starting point (i.e the Mason Clinic development needs to be included within the modelled yield), and the Precinct provisions should make clear that the future development of the Mason Clinic is not required to undertake a capacity assessment as it has already been accounted for in the modelled yield.</p>		



3 May 2024

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RE: Pland Change 94 (Private): Wairaka Precinct Further Submissions

Statement of Position

Health New Zealand Te Whatu Ora – Waitematā (Te Whatu Ora)

Health New Zealand Te Whatu Ora – Waitematā (Te Whatu Ora) is responsible for the public health needs of the North Shore, Waitākere and Rodney health wards, and its jurisdiction extends to the northern boundary of the Auckland Region. Te Whatu Ora operates two hospitals at Waitākere and North Shore, together with the Mason Clinic Regional Forensic Psychiatric Services facility (Mason Clinic), a Child Rehabilitation Service and Respite Care at the Wilson Home in Takapuna, and several smaller clinics and facilities throughout their jurisdiction.

Te Whatu Ora owns and operates the Mason Clinic facility, which is located at 3A, 81A, and 119A Carrington Road, with a combined land area of 6.7794ha. This land is located within the Auckland Unitary Plan (Operative in Part) (AUP) Wairaka Precinct in Mount Albert.

The Mason Clinic is a forensic psychiatric healthcare facility, which provides a range of mental health services and includes custodial and secure care, together with accessory and supporting services.

The Mason Clinic was established in 1992, when existing forensic psychiatric services moved from Carrington and Kingseat hospitals. The Mason Clinic is a forensic psychiatric healthcare facility, which provides a range of services, including assessment, acute treatment, rehabilitation and custodial care for users with particular needs and requirements, including users who are admitted to the Mason Clinic under the jurisdiction of several statutes for ongoing secure care (such as users under remand).

The Mason Clinic also comprises a range of accessory activities and supporting services, including facilities for hosting rehabilitation support groups, supporting healthcare services for users, tribunal hearings, education services for nursing and healthcare students, and physical spaces for visitors to spend time with users. Outdoor recreation is a component of the

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services provided, and several of the buildings on the site are integrated with external courtyards and recreation areas.

The Mason Clinic services the populations of the four Northern Region District Health Boards (Northland, Waitematā, Auckland and Counties Manukau) which collectively have a population of some 1.9 million people. The Mason Clinic also services populations from other District Health Boards within the North Island.

Plan Change 75

In September 2023 Te Whatu Ora were granted approval for a private plan change 75 (PC75)) to rezone 3A and 119A Carrington Road from Business – Mixed Use to Special Purpose – Healthcare Facility and Hospital, and amend the provisions and plans in the Wairaka Precinct, (including the provisions of Sub-precinct A) in order to provide for the future expansion of the Mason Clinic.

The Council's Decision on PC75 is subject to a single appeal to the Environment Court by Ministry of Housing and Urban Development (MHUD) in relation to a discrete issue concerning the introduction by the Council's Decision of provisions that require a minimum area of open space to be provided across the entire Precinct. The MHUD appeal supports the remainder of the amendments to the Wairaka Precinct provisions contained in the Council's Decision on PC75 being treated as operative while MHUD's appeal is determined, in accordance with section 86F of the Resource Management Act 1991.

Plan Change 94

Proposed Plan Change 94 (PC94), proposed by MHUD to the AUP relates to six key elements:

- (a) Rezoning of land acquired by MHUD from Unitec from 'Special Purpose: Tertiary Education' to Business-Mixed Use (BMU) with the land primarily intended for residential development, but enabling a mix of ancillary activities to create an integrated community.
- (b) Proposed amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct.
- (c) Identification of areas within the precinct where additional height can be accommodated. This will enable the precinct to deliver a higher yield than might otherwise occur in the underlying zone, therefore contributing to the Council's growth strategy, as well as more variety in urban form.
- (d) In areas where higher buildings are allowed, additional development controls around wind, separation of buildings, and the maximum dimension of floor plates are introduced.
- (e) Detailed design criteria to ensure all buildings, and particularly the higher buildings, achieve a high quality of design and functionality.
- (f) Proposed amendments to the precinct provisions to equitably redistribute retail provision within the precinct (excluding Sub-Precinct A – the Mason Clinic) due to

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the redistribution of land from Special Purpose: Tertiary Education to zoning that enables housing development. The same overall retail cap is maintained.¹

Importantly, PC94 does not seek changes to Sub-precinct A: The Mason Clinic, which is subject to PC75.² Attachment 2 to the plan change request confirms:

The Council is currently processing Private Plan Change 75. This relates to the Mason Clinic in sub precinct A of the current Wairaka Precinct. The provisions relating to Private Plan Change 75 are out of scope of this plan change.

Once Private Plan Change 75 is finally made operative, the Te Auaunga Precinct provisions will be updated to incorporate that decision. The decision on submissions to Plan Change 75 was made by Independent Hearing Commissioners on 19 September 2023. At the time of notification of this Plan Change, the appeal period on Plan Change 75 had not yet expired.

To assist in understanding how the Plan Change 75 decision version integrates with this Plan Change this composite draft of the Plan Change has been prepared. It is intended as an aid to understanding the impact of the two plan changes.

Te Whatu Ora made a submission on PC94 (Submission number 65) to ensure that the changes proposed for the land beyond the Mason Clinic (Sub-precinct A) were consistent with, and did not undermine, those approved under PC75.

There are several submissions to PC94 which relate to matters and Precinct provisions which have the potential to adversely affect the function, operation, and future use and development of the Mason Clinic. To the extent that they relate to or implicate the Te Whatu Ora (Mason Clinic) land holdings and its current and future use and development, these submissions are out of scope of PC94.

Further Submissions

This is a further submission on behalf of Te Whatu Ora on the following submissions lodged on PC94:

- Open Space for Future Aucklanders (Submission 25).
- Jennifer Diane Goldsack (Submission 38)
- Watercare (Submission 45),
- Springleigh Residents Association (Submission 57),
- Geoffrey John Beresford (Submission 124),

Te Whatu Ora opposes these submissions to the extent that they are inconsistent with or undermine the Precinct provisions that relate to/implicate the Te Whatu Ora (Mason Clinic) land holdings and its current and future use and development, including the approved PC75

¹ Wairaka Precinct: Plan Change Request to Auckland Unitary Plan (including a request to change the precinct name to Te Auaunga) Planning Report including section 32 assessment: Section 6

² Ibid: Section 7 OUT OF SCOPE OF THIS PLAN CHANGE REQUEST

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provisions. The specific further submission(s) of Te Whatu Ora, including the relief sought, is set out in Attachment 1.

Te Whatu Ora has an interest in the proposal that is greater than the interest that the general public has.

Te Whatu Ora wishes to be heard in support of its further submissions.

Yours faithfully,
BENTLEY & CO. LTD



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OPEN SPACE FOR FUTURE AUCKLANDERS INCORPORATED (Submission No. 25)						
Submitter's reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8 (b)		Significantly increase the amount of public open space proposed in the Precinct, require a minimum area of public open space, and improve that public open space so that it better enables a well-functioning urban environment and meets the needs of all future residents of the Precinct and the surrounding urban environments	25.2	<p>It is unclear whether the intention of this submission is to require open space to be provided within the Te Whatu Ora land holdings at 3A, 81A, and 119A Carrington Road.</p> <p>As outlined in its submission on PC94 (#65) Te Whatu Ora support the manner in which open space is currently proposed to be provided for within the Precinct.</p> <p>The Council's decision on PC75 has confirmed that no open space is required to be provided on the Te Whatu Ora landholdings and Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (12)	I334.2(7A)	Add the following Objective: The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs	25.29	As set out in relation to submission point 25.2 above.	disallow	

8 (f)		Provide for a variety of open space typologies that enable active and passive recreation and identify the locations for these types of open space uses in Precinct Plan 1.	25.6	As set out in relation to submission point 25.2 above.	disallow	
Schedule 1 (84)	Zoning map	Zone land for open space in accordance with the open space requirements in the precinct provisions and in the locations shown on Precinct Plan 1 (as sought to be amended by the Society).	25.74	<p>No plan is provided to show the location of open space sought by the submission, and it is therefore unclear whether open space is sought to be provided within the Te Whatu Ora land holdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including that no open space is required to be provided on the Te Whatu Ora landholdings.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (88)	I334.10.4 Precinct Plan 4	Insert a new Precinct Plan 4 to show the required width and corridor cross sections of indicative roading and walking corridors to ensure that sufficient space is provided for vehicles, pedestrians, cyclists, landscaping and stormwater management	25.75	<p>No plan is provided to show the location of the roading and walking corridors referenced in the submission. It is unclear whether the intention of this submission is to extend the requirement to provide walking corridors to any future development of the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including that walking corridors are not required to be provided for any</p>	disallow	

				development of the Te Whatu Ora land holdings. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
8 (g)		Provide for comprehensive master-planning for the Precinct that identifies the locations of buildings and community residential, commercial, retail, educational, or other activities to be undertaken within and outside of buildings prior to resource consents for new buildings being granted.	25.7	It is unclear whether the intention of this submission is to extend the requirement for comprehensive master-planning to the future development of the Te Whatu Ora landholdings. In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (7)	I334.1. Precinct Description	Amend Precinct Description: To reduce the potential of avoid new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan 1 and relevant policies <u>precinct requires land owners to develop in accordance with a comprehensive master plan that is in accordance with the precinct provisions and precinct plans 1-3.</u> This method provides for integrated development of the area and ensures high quality outcomes are achieved.	25.24	As no plans have been provided showing the extent of change sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. A requirement for comprehensive master-planning at a Precinct level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (9)	I334.2(2)	Amend Objective: Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further</u>	25.26	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which	disallow	

		<u>resource consents for residential development or new buildings being granted.</u>		are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements.		
Schedule 1 (43)	I334.3(28)	Amend Policy: Encourage <u>Require</u> built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis <u>including the requirement to have a comprehensive master plan approved prior the grant of resource consent for residential dwellings</u>	25.52	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.	disallow	
Schedule 1 (49)	I334.4.1 (A21CA)	Insert new activity: <u>New buildings prior to a resource consent application for a comprehensive whole of precinct land use and built form master plan being approved – non complying activity</u>	25.55	Table I334.4.1 is proposed to be amended by PC75. Until PC75 is made operative, this proposed activity would apply to the Te Whatu Ora land holdings. Such an outcome is inappropriate and unnecessary – as is any corresponding amendment to Table I334.4.4, which is to be included by PC75. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.	disallow	
8(o)		Reduce height limits throughout the Precinct and increase distances between buildings to maintain outlooks within and through the Precinct	25.11	As no plans have been provided showing the areas where a reduction in height limits is sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that	disallow	

				<p>would undermine the Council’s Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Schedule 1 (3)	I334.1. Precinct Description	<p>Amend precinct description: These include the following:</p> <p>....</p> <ul style="list-style-type: none"> • <u>Amenity enhancing views at street level which connect with Owhairaka / Mt Albert, the Waitemata Harbour and Waitakere Ranges.</u> 	25.24	<p>These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.</p> <p>It is also unclear what rules, standards, or criteria are proposed to achieve this outcome.</p>	disallow	
Schedule 1 (76)	I334.8.1. Matters of discretion	<p>Amend as follows:</p> <p>New buildings which comply with Standard I334.6.4 Height:</p> <p>...</p> <p>(b) Building form and character:</p> <p>(i) whether building design and layout achieves:</p> <p>...</p>	25.68	<p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council’s Decision on PC75, including the matters of discretion and assessment criteria established for the</p>	disallow	

		<p><u>(ba) adequate separation between buildings and the avoidance of large horizontal extents in building form.</u></p> <p><u>(bb) avoidance of blank walls and long building frontages to the greatest extent possible.</u></p> <p>(c) articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage <u>minimise</u> the extent of large blank and/or flat walls and/or façades;</p> <p>(d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape;</p> <p>(e) a high quality, clear and coherent design concept <u>that</u> utilises a palette of durable materials to express the building form that expresses a consistent colour palletete across the entire building that is complementary to the design concept of surrounding buildings;</p> <p>...</p> <p>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design <u>to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the precinct;</u></p> <p>...</p> <p>(x) buildings are designed to minmise shading onto other properties external to the precinct and to minimise shading of open space (including the public realm of the road reserve).</p>		Te Whatu Ora site, which have not been appealed.		
8(r)		Restrict site coverage to provide greater landscaped areas and space between buildings	25.12	As no plans have been provided showing the areas where a restriction in site coverage is sought, it is unclear whether	disallow	

				<p>this amendment would have implications for the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed. There is no coverage standard applying to the Te Whatu Ora land holdings, and any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Schedule 1 (66)	I334.6.5 landscaping	<p>Amend as follows:</p> <p><u>(1) At least 20 per cent of a site within the precinct must be landscaped.</u></p> <p><u>(2) A range of appropriate plant species (including species that reach mature heights equal or greater to the heights of proposed buildings and fast growing species that can quickly mitigate the adverse visual effects of buildings)</u></p>	25.60	<p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p>	disallow	

8(w)		Increase the area of land required to be soft landscaped on sites in the Precinct	25.17	<p>As no plans have been provided showing the areas where an increase in soft landscaping is sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
Schedule 1 (78)	I334.8.1. Matters of discretion	<p>Amend as follows; (1A)(h) Landscape: (i) A minimum of 20 percent of each site is to be landscaped to landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. <u>Additional</u> landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways <u>provided that 20 percent of the site landscaping</u> includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas.</p>	25.68	<p>A matter of discretion does not need to repeat the precinct standard.</p> <p>The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed.</p> <p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the matters of discretion and assessment criteria established for the Te Whatu Ora site, which have not been appealed.</p>	disallow	

8 (x)		Increase the distances required between buildings to provide view shafts through the Precinct	25.17	Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.	disallow
8(y)		Provide for exemplary quality urban design and landscaping within the Precinct	25.18	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements.	disallow
Schedule 1 (13)	I334.2(10)(a)	Amend Objective: An integrated urban environment is created, which: Incorporates high exemplary quality built form and urban design;	25.30		
Schedule 1 (29)	I334.3.(13)	Amend Policy: Require new buildings to be designed in a manner that provides for a high promotes and achieves an exemplary standard of amenity, recognizes enhances landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct and surrounding streets.	25.40		
Schedule 1 (30)	I334.3.(14)	Amend Policy: Require proposals for all new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent the scheduled heritage buildings and/or the significant ecological area of Te Auaunga within the precinct to provide appropriate native landscaping and to be sympathetic and provide contemporary and high-exemplary quality design, which enhances the precinct's built form and natural landscape.	25.41		
Schedule 1 (32)	334.3.(14AA)	Amend Policy: Require proposals for new high rise buildings adjacent to the former Oakley	25.43		

		Hospital scheduled historic heritage building to provide sympathetic contemporary and high exemplary quality design which enhances the precinct's built form.				
8 (bb) (ii), (iv), (vi)		(ii) Making the northern most access point to Carrington Road the main access point to the Precinct. (iv) retaining the existing indicative walking connections and amending Precinct Plan 1 to provide for additional indicative walking connections through the Precinct; (vi) restricting dwelling and occupancy numbers in the Precinct until the Carrington Road upgrade is completed the Woodward Road railway level crossing is replaced by a grade separated crossing.	25.21	The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). Walking connections are established and determined. It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75.	disallow	
8 (dd)		Provide that the removal of identified trees, removal of identified character buildings, and new buildings above height limits are noncomplying activities requiring public notification.	25.23	It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A. Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be applied to the te Whatu Ora landholdings. Any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75. The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is	disallow	

				no basis to revisit these recently uncontested provisions. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
Schedule 1 (6)		Proposed amendments to Precinct description: These measures will could include the following: ... •Restricting dwelling and occupancy numbers until the Carrington Road upgrade is completed. •Restricting dwelling and occupancy numbers in the precinct until the Woodward Road railway level crossing is replaced by a grade separated crossing.	25.24	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements. The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75.	disallow	
Geoffrey John Beresford (Submission No. 124)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8(a)		Comprehensive master-planning for the Precinct that identifies the locations of	124.1	It is unclear whether the intention of this submission is to extend the requirement	disallow	

		buildings and the community, residential, commercial, retail or other activities to be undertaken within buildings, or externally to buildings, prior to any resource consents for residential dwellings being granted.		for comprehensive master-planning to the future development of the Te Whatu Ora landholdings. In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.		
Schedule 1 (23)	I334.1. Precinct Description	Amend as follows: To reduce the potential of avoid new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan and relevant policies <u>Precinct Plan requires land owners to develop in accordance with a comprehensive master plan that is in accordance with the Precinct Plan provisions and Precinct Plans 1-4.</u> This method provides for integrated development of the area and ensures high quality outcomes are achieved.	124.11	As no plans have been provided showing the extent of change sought, it is unclear whether this amendment would have implications for the Te Whatu Ora landholdings. A requirement for comprehensive master-planning at a Precinct level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.	disallow	
Schedule 1 (25)	I334.2 (2)	Amend Objective: Comprehensive planning and integrated development of all sites within the precinct is achieved prior to further resource consent for new building being granted.	124.13	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional and operational requirements	diisallow	
8(b)		For all work under any resource consents granted prior to the completion of master	124.1	The proposed amendment would be inconsistent with the presumption that	disallow	

Commented [SG1]: Should this be underlined rather than struck through?

		planning to be suspended pending the completion of the required master planning.		legislation does not have retrospective effect. In any event a requirement for comprehensive master-planning at a Precinct-level is considered inappropriate, given the diversity of ownership across the precinct, and the functional and operational requirements of Te Whatu Ora, which are provided for by PC75.		
Schedule 1 (79)	Table I334.4.1(A21CA)	New buildings prior to a resource consent application for a comprehensive whole of precinct land use and built form master plan being approved	124.48	Table I334.4.1 is proposed to be amended by PC75. Until PC75 is made operative, this proposed activity would apply to the Te Whatu Ora land holdings. Such an outcome is inappropriate and unnecessary – as is any corresponding amendment to Table I334.4.4, which is to be included by PC75. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.	disallow	
Schedule 1 (60)	I334.3.(15AA)	Add new Policy: Provide at least 25 ha of open space (public) in addition to the open space (private) required by policy I334.3.(15A)	124.36	There is no rationale for this figure. It is unclear whether the intention of this submission is to require open space to be provided within the Te Whatu Ora landholdings. The Council's decision on PC75 has confirmed that no open space is required to be provided on the Te Whatu Ora landholdings and Te Whatu Ora opposes any changes to the Wairaka Precinct	disallow	

				provisions that would undermine the Council's Decision on PC75. To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.		
Schedule 1 (11)	I334.1. Precinct Description	Amend: There are also particular attributes of the Precinct, Wairaka which contribute to the amenity of the Precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the Precinct. These include the following: ... • <u>Amenity enhancing views at street level which connect the Precinct with Mt Albert / Owairaka, the Waitamata Harbour, and the Waitakere Ranges;</u> ...	124.11	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements. It is also unclear what rules, standards, or criteria are proposed to achieve this outcome.	disallow	
Schedule 1 (30)	I334.2 (7B)	New Objective: To manage the urban forest on public and private land within the Precinct so as to give effect to Auckland's Urban Ngahere (Forest) Strategy and achieve a tree canopy of 30% within the Precinct	124.18	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.		
Schedule 1 (31)	I334.2 (10)(a)	Amend objective: An integrated urban environment is created, which: Incorporates high exemplary quality built form and urban design;	124.19	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any	disallow	

				amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.		
Schedule 1 (33)	I334.2 (10)(d)	Amend objective: Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment <u>including the built form and character of the surrounding residential environment.</u> ,	124.19	These proposed changes affect all new development in the Precinct, including the development of the Te Whatu Ora land holdings – the provisions for which are settled through PC75. Any amendments to the Precinct description, objectives or policies need to distinguish the respective sub-precincts, which have different characteristics and functional requirements.	disallow	
Schedule 1 (67)	I334.3.(22)	Amend policy: Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times <u>and make undergrounding of the Woodward Road rail crossing a trigger point for development</u>	124.41	The access arrangements to the Precinct are the subject of a comprehensive traffic study, which takes into account the various users (existing and proposed). Walking connections are established and determined. It is not reasonable to restrict occupancy of the Te Whatu Ora land holdings pending future roading improvements. This has been confirmed by PC75	disallow	
Schedule 1 (114)	I334.8.1. (1A)(b)(i)(f) Matters of discretion	Amend: <u>(g) rooftop mechanical plant or other equipment is screened or integrated in the building design to ensure that it cannot be seen from other buildings including the tallest buildings enabled in the Precinct;</u>	124.61	The proposed amendment would have implications for the future development of the Te Whatu Ora landholdings and is opposed. Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the matters of discretion and assessment criteria established for the	disallow	

				Te Whatu Ora site, which have not been appealed.		
8(d)		Restrict site coverage to provide greater landscaped areas and space for tall trees between buildings	124.7	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed. There is no coverage standard applying to the Te Whatu Ora land holdings, and any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>	disallow	
8(e)		Retain and extend existing tree protection provisions and increase the area of land required to be soft landscaped on sites in the Precinct.	124.8	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A.</p> <p>Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be</p>	disallow	

				<p>applied to the te Whatu Ora landholdings. Any such provision would be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is no basis to revisit these recently uncontested provisions.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
8 (f)		Provide that the removal of identified trees, removal of identified character buildings and building above height limits are noncomplying activities requiring public notification.	124.9	<p>Te Whatu Ora opposes any changes to the Wairaka Precinct provisions that would undermine the Council's Decision on PC75, including the bulk and location standards established for the Te Whatu Ora site by that plan change, which have not been appealed.</p> <p>It is unclear whether the intention of this submission is to extend the relief sought to sub-precinct A.</p> <p>Other than the notable trees identified in the Precinct, it is unreasonable to require further vegetation/tree protection to be applied to the te Whatu Ora landholdings. Any such provision would</p>	disallow	

				<p>be inconsistent with the functional and operational requirements for the future use and development of the site, and the uncontested provisions confirmed by PC75.</p> <p>The height, bulk and location standards for the Te Whatu Ora landholdings, and the corresponding activity standards have been determined by PC75. There is no basis to revisit these recently uncontested provisions.</p> <p>To the extent that the submission seeks changes to any specific provisions governing the use of land in sub-precinct A, it is out of scope for this plan change.</p>		
Jennifer Diane Goldsack (Submission No. 38)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
	1334.5	The submitter opposes the following provision: Buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m ² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of he	38	This matter is out of scope	disallow	

		Resource Management Act 1991.				
		the				
Springleigh Residents Association (submission No. 57)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
8. The 'Mason Clinic' and Plan Change 75 are separate from PC94		8.2 The 'agreements' between HUD and 'Mason Clinic' have not been notified. It is impossible for community submitters to determine whether they have relevance to RMA91 proceedings. AC must proceed with cl23 requests regarding 'agreements', that cannot be understood from the single cl23 request. 8.3 The 'Mason Clinic' does not pre-mediate the outcome of RMA91 proceedings of PC94, as HUD implies. PC75 relates to different, specialized zoning with different environmental, social, economic effects with less magnitude as PC94.	57.8	The agreements between HUD and Te Whatu Ora are not relevant to the determination of PC94. PC75 does pre determine the outcome of PC94. The provisions of PC75 are settled except for a single matter, and PC94 does, and should not derogate from the provisions determined through PC75. PC94 specifically and appropriately excludes the Mason Clinic land – as being outside of the scope of PC94.	disallow	
22. The 'Amendments requested' are contrary to general planning report and AEE (page 55)	I334.5	The submitter seeks to delete the following provisions: (1) An application for resource consent for a controlled activity listed in Tables I334.4.1, and I334.4.3, and I334.4.4 Activity table above will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.		These matters are out of scope, as they relate to Sub-precinct A and Table I334.4	disallow	

		1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m ² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991				
Watercare Services Limited (Submission No. 45)						
Submitters reference	Provision	Decision requested	Council Reference	Te Whatu Ora reason for submission	Te Whatu Ora decision sought	
2.32		Amendment to require a bulk water supply and wastewater infrastructure capacity assessment where development beyond the previously modelled yield of 4000 DUEs is proposed. - Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DUEs within the Te Auaunga Precinct. - Amendments to the associated matters of discretion and assessment criteria to support the Restricted Discretionary Activity status. - Inclusion of new objective and policies to support the Restricted Discretionary Activity status.	45.3	There are already sufficient provisions contained in the Precinct Provisions and in particular in the provisions which apply to the development of land within Sub-precinct A (as amended by PC75), to require consideration of the sufficiency of infrastructure to service future development. The triggers (and related requirement to maintain a schedule), together with the amendments to the objectives, policies, assessment matters and criteria proposed are therefore not considered necessary.	disallow	

				<p>The capacity analysis proposed is based on a DUE, and has the potential to implicate the forecast development of the Mason Clinic that is enabled by PC75. If this requirement is to be retained any such forecasting should be inclusive of the development enabled within the Mason Clinic as a starting point (i.e the Mason Clinic development needs to be included within the modelled yield), and the Precinct provisions should make clear that the future development of the Mason Clinic is not required to undertake a capacity assessment as it has already been accounted for in the modelled yield.</p>		

Before you fill out the attached submission form, you should know:

You need to include your full name, an email address, or an alternative postal address for your submission to be valid. Also provide a contact phone number so we can contact you for hearing schedules (where requested).

By taking part in this public submission process your submission will be made public. The information requested on this form is required by the Resource Management Act 1991 as any further submission supporting or opposing this submission is required to be forwarded to you as well as Auckland Council. Your name, address, telephone number, email address, signature (if applicable) and the content of your submission will be made publicly available in Auckland Council documents and on our website. These details are collected to better inform the public about all consents which have been issued through the Council.

Please note that your submission (or part of your submission) may be struck out if the authority is satisfied that at least one of the following applies to the submission (or part of the submission):

- It is frivolous or vexatious.
- It discloses no reasonable or relevant case.
- It would be an abuse of the hearing process to allow the submission (or the part) to be taken further.
- It contains offensive language.
- It is supported only by material that purports to be independent expert evidence, but has been prepared by a person who is not independent or who does not have sufficient specialised knowledge or skill to give expert advice on the matter.

Further Submission in support of, or opposition to, a notified proposed plan change or variation

Clause 8 of Schedule 1, Resource Management Act 1991
FORM 6



Send your submission to unitaryplan@aucklandcouncil.govt.nz or post to :

Attn: Planning Technician
Auckland Council
Level 16, 135 Albert Street
Private Bag 92300
Auckland 1142

For office use only
Further Submission No:
Receipt Date:

Further Submitter details

Full Name or Name of Agent (if applicable)

Mr/Mrs/Miss/Ms(Full Name)

DR NELS BARTON

Organisation Name (if further submission is made on behalf of Organisation)

THE TREE COUNCIL

Address for service of Further Submitter

PO BOX 60203, TITIRANGI, AUCKLAND 0642

Telephone:

021 213 7779

Email:

info@thetrecouncil.org.nz

Contact Person: (Name and designation, if applicable)

Scope of Further Submission

This is a further submission in support of (or opposition to) a submission on the following proposed plan change / variation:

Plan Change/Variation Number

PC 94 (Private)

Plan Change/Variation Name

Wairaka Precinct

I support : Oppose (tick one) the submission of:

(Original Submitters Name and Address)

(Please identify the specific parts of the original submission)

Submission Number

Point-Number

MULTIPLE - SEE ATTACHED SPREADSHEET

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The reasons for my support / opposition are:

SEE ATTACHED SPREADSHEET

(continue on a separate sheet if necessary)

I seek that:

the whole :

SEE ATTACHED

or part (describe precisely which part) _____

of the original submission be allowed

disallowed

I wish to be heard in support of my submission

I do not wish to be heard in support of my submission

If others make a similar submission, I will consider presenting a joint case with them at a hearing

Signature of Further Submitter
(or person authorised to sign on behalf of further submitter)

3/5/2024
Date

PLEASE COMPLETE THE FOLLOWING SECTION

Please tick one

I am a person representing a relevant aspect of the public interest. (Specify upon what grounds you come within this category)

I am a person who has an interest in the proposal that is greater than the interest that the general public has. (Specify on what grounds you come within this category)

THE TMBB COUNCIL IS AN ADVOCACY GROUP
FOR THE PROTECTION OF TMBBS SINCE 1986

Notes to person making submission:

A copy of your further submission must be served on the original submitter within 5 working days after it is served on the local authority

If you are making a submission to the Environmental Protection Authority, you should use Form 16C.

Sub #	Sub Point	Submitter Name	Address for Service	Summary of Decisions Requested	TTC Supports or Opposes this point	TTC Reason / comment / explanation / further submission point
1	1.1	Natalie Blackwell	nataliejsmall@gmail.com	Opposes higher housing along the southern boundary adjoining Raetihi Crescent and surrounds. Seeks to retain two storey building height with 5m setback along southern boundary adjoining	Neither support nor oppose	
2	2.1	Leon Lu	glulu@hotmail.com	Opposes development that may compromise future use for education	Support	
3	3.1	Clement Richer	clement.richer@gmail.com	Seeks a master plan	Support	
4	4.1	Michael Thomas Browne	mtjbro@xtra.co.nz	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Support	
5	5.1	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the	Support	
5	5.2	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
5	5.3	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	Opposes the change of precinct name.	Neither support nor oppose	
5	5.4	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
5	5.5	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	Supports zone change from educational to Business - Mixed Use.	Support	
5	5.6	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	Inferred - seeks provision of more open space as number of dwellings increases over time from 4,00-4,500 dwellings to up to 6,000 dwellings.	Support	
5	5.7	Trevor Keith Crosby	trevorcrosby@actrix.co.nz	Inferred Seeks protection of Sanctuary Gardens	Support	
6	6.1	Jennifer Ward	jennifer.m.ward@me.com	Opposes the change of Precinct Name	Neither support nor oppose	
6	6.2	Jennifer Ward	jennifer.m.ward@me.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
6	6.3	Jennifer Ward	jennifer.m.ward@me.com	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Support	
6	6.4	Jennifer Ward	jennifer.m.ward@me.com	[Inferred] Seeks greater provision for open space	Support	
6	6.5	Jennifer Ward	jennifer.m.ward@me.com	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
7	7.1	Beverley Gay Crosby	bevccrosby@actrix.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
7	7.2	Beverley Gay Crosby	bevccrosby@actrix.co.nz	Seeks a master plan	Support	
8	8.1	Louise Tu'u	talofa@weshouldpractice.com	Opposes due to effects including on peace and quiet and property values	Neither support nor oppose	
9	9.1	Tina Salehi	tinadelaram@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
10	10.1	Samuel John Stewart	stewart1000@gmail.com	Additional housing intensification is required in Auckland.	Support	
11	11.1	Vivek B	viv_batra@hotmail.com	Opposes the change of Precinct Name	Neither support nor oppose	
11	11.2	Vivek B	viv_batra@hotmail.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
11	11.3	Vivek B	viv_batra@hotmail.com	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Support	
11	11.4	Vivek B	viv_batra@hotmail.com	Seeks more provision for open space	Support	
11	11.5	Vivek B	viv_batra@hotmail.com	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
12	12.1	Te Akitai Waiohua Investment Trust	invest@teakitai.com	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohua	Support	
12	12.2	Te Akitai Waiohua Investment Trust	invest@teakitai.com	Supports the precinct name change	Neither support nor oppose	
12	12.3	Te Akitai Waiohua Investment Trust	invest@teakitai.com	Supports the proposed zoning and precinct provisions	Support	
13	13.1	Emma Chapman	emmachapman40@gmail.com	Opposes the change of Precinct Name	Neither support nor oppose	
13	13.2	Emma Chapman	emmachapman40@gmail.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
13	13.3	Emma Chapman	emmachapman40@gmail.com	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Support	
13	13.4	Emma Chapman	emmachapman40@gmail.com	Seeks more provision for open space	Support	
13	13.5	Emma Chapman	emmachapman40@gmail.com	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
14	14.1	Anna Radford	anna@radford.co.nz	Seeks a master plan	Support	
14	14.2	Anna Radford	anna@radford.co.nz	Opposes the change of Precinct Name	Neither support nor oppose	
14	14.3	Anna Radford	anna@radford.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
15	15.1	NZ Notable Trees Trust	notabletrees@rmzih.org.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	

Sub #	Sub Point	Submitter Name	Address for Service	Summary of Decisions Requested	TTC Supports or Opposes this point	TTC Reason / comment / explanation / further submission point
15	15.2	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
15	15.3	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
15	15.4	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
15	15.5	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
15	15.6	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Provide a detailed landscape plan for the Central Open Space.	Support	
15	15.7	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
15	15.8	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
15	15.9	NZ Notable Trees Trust	notabletrees@mzih.org.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
15	15.10	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
15	15.11	NZ Notable Trees Trust	notabletrees@mzih.org.nz	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
15	15.12	NZ Notable Trees Trust	notabletrees@mzih.org.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
16	16.1	Kerry Stuart Francis	kfrancis49@gmail.com	Seeks a master plan	Support	
16	16.2	Kerry Stuart Francis	kfrancis49@gmail.com	Seeks review and update to environmental and infrastructure responses to climate change and the weather events of 2023.	Support	
16	16.3	Kerry Stuart Francis	kfrancis49@gmail.com	[Inferred] Seeks greater provision for open space and protection of Sanctuary Gardens	Support	
16	16.4	Kerry Stuart Francis	kfrancis49@gmail.com	Seeks greater provision for open space and amenity to offset increases in height and population, enabled by the plan change	Support	
16	16.5	Kerry Stuart Francis	kfrancis49@gmail.com	Opposes the change of Precinct Name	Support	
17	17.1	Te Akitai Waiohū Waka Taua Incorporated	akitai.waka.taua@gmail.com	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohū	Support	
17	17.2	Te Akitai Waiohū Waka Taua Incorporated	akitai.waka.taua@gmail.com	Supports the precinct name change	Neither support nor oppose	
17	17.3	Te Akitai Waiohū Waka Taua Incorporated	akitai.waka.taua@gmail.com	Supports the proposed zoning and provisions	Neither support nor oppose	
18	18.1	School of Architecture, Unitec Te Pukenga	swake@unitec.ac.nz	Opposes due to the lack of a masterplan or relevant information with sufficient information on trees and tree protection, key features of site, location of open space, protection of the sanctuary gardens, and preservation of the landscape context of Building 58.	Support	
18	18.2	School of Architecture, Unitec Te Pukenga	swake@unitec.ac.nz	Opposes due to effects on existing trees and requests consideration of tree protection measures	Support	
18	18.3	School of Architecture, Unitec Te Pukenga	swake@unitec.ac.nz	[Inferred] Seeks greater provision for open space	Support	
18	18.4	School of Architecture, Unitec Te Pukenga	swake@unitec.ac.nz	Opposes due to effects on the character and context of Building 48. Seeks retention of this building and continued accessibility to the community and the School of Architecture.	Support	
18	18.5	School of Architecture, Unitec Te Pukenga	swake@unitec.ac.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
19	19.1	Tom Ang	tomang@orcon.net.nz	Opposes the change of Precinct Name	Neither support nor oppose	
19	19.2	Tom Ang	tomang@orcon.net.nz	Seeks a master plan	Support	
19	19.3	Tom Ang	tomang@orcon.net.nz	Seeks more provision for open space	Support	
19	19.4	Tom Ang	tomang@orcon.net.nz	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
19	19.5	Tom Ang	tomang@orcon.net.nz	Seeks to retain Sanctuary Gardens	Support	

Sub #	Sub Point	Submitter Name	Address for Service	Summary of Decisions Requested	TTC Supports or Opposes this point	TTC Reason / comment / explanation / further submission point
20	20.1	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Seeks that greater provision be made for education facilities	Support	
20	20.2	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Opposes due to effects on sufficient cycle and pedestrian access to the school, including during construction	Neither support nor oppose	
20	20.3	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Opposes due to effects on traffic safety on the roading network	Neither support nor oppose	
20	20.4	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Seeks more provision for open space including close to and suitable for school use which is zoned for Open Space.	Support	
20	20.5	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Seeks lower height and greater setbacks due to effects on privacy, dominance and shading	Support	
20	20.6	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Seeks a master plan that will give context to educational facilities	Support	
20	20.7	Gladstone Primary School Board of Trustees (Gladstone Primary)	daves@gladstone.school.nz	Seeks that Gladstone Primary be an affected party on future applications along Carrington Road	Support	
21	21.1	Ann Hatherly	a.hatherly@xtra.co.nz	Seeks greater provision for open space due to the increased building height enabled by the plan change	Support	
21	21.2	Ann Hatherly	a.hatherly@xtra.co.nz	Seeks clarity on the overall intensity of development via a master plan and services	Support	
21	21.3	Ann Hatherly	a.hatherly@xtra.co.nz	[Inferred] Seeks greater clarity about the placement and use of open space and protection of the Sanctuary Gardens	Support	
22	22.1	Wendy Gray	wendzgray@orcon.net.nz	Opposes the change of Precinct Name.	Neither support nor oppose	
22	22.2	Wendy Gray	wendzgray@orcon.net.nz	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
22	22.3	Wendy Gray	wendzgray@orcon.net.nz	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
22	22.4	Wendy Gray	wendzgray@orcon.net.nz	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops. [Inferred] request for native biodiversity associated with rock outcrops to be re-evaluated given the presence of native lichen species on rock outcrops.	Support	
22	22.5	Wendy Gray	wendzgray@orcon.net.nz	Retain trees and provide mitigation planting. Provide replanting plans that address the climate change and carbon issues caused by the removal and mulching of the Unitec arboretum.	Support	
22	22.6	Wendy Gray	wendzgray@orcon.net.nz	Restrict the building of apartments [household units] to 4000.	Neither support nor oppose	
23	23.1	Moe Richardson	moerichardson63@gmail.com	Oppose the change of Precinct Name	Neither support nor oppose	
23	23.2	Moe Richardson	moerichardson63@gmail.com	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
24	24.1	Fire and Emergency New Zealand	Nola.Smart@beca.com	Seeks sufficient provision for infrastructure, in particular water supply for fire-fighting	Support	
24	24.2	Fire and Emergency New Zealand	Nola.Smart@beca.com	Seeks to amend I334.9 Special Information Requirements to include reference to suitable emergency access for future development.	Support	
25	25.1	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Retain Policy I334.3 (15A) requiring a minimum amount [at least 7.1 ha] of private open space.	Support	
25	25.2	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Significantly increase the amount of and improve the public open space proposed in the Precinct, so that it better enables a well-functioning urban environment and meets the needs of all future residents of the Precinct and the surrounding urban environments.	Support	
25	25.3	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Avoid the adverse effect of dominance of buildings on open space.	Support	

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25	25.4	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Ensure adequate separation of buildings, to avoid adverse effects on public open space, including on the public realm of road reserves, within and adjoining the Precinct.	Support	
25	25.5	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Secure the provision of open space by rezoning additional land for open space, and amending Precinct Plan 1.	Support	
25	25.6	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide for a variety of open space typologies that enable active and passive recreation and identify the locations for these types of open space uses in Precinct Plan 1.	Support	
25	25.7	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide a masterplan to identify buildings and activities, including clarification of the future use of Taylor's Laundry site	Support	
25	25.8	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide for a gradation of building heights with lower building heights along Carrington Road and taller building heights in the topographically lower parts of the Precinct, so that buildings better	Neither support nor oppose	
25	25.9	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Reduce or retain the existing height limit along Carrington Road and also increase the width of height limited area.	Neither support nor oppose	
25	25.10	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Increase and permanently maintain the no build setbacks along Carrington Road and increase the width of the building setback along the boundary of the precinct with Carrington Road.	Neither support nor oppose	
25	25.11	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Reduce height limits throughout the precinct (including 2, 3 4 and 5) and increase distances between buildings to maintain outlooks within the precinct and through the precinct. Delete Height Area 1 in its entirety or reduce the number and height of tall buildings.	Neither support nor oppose	
25	25.12	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Restrict site coverage to provide greater landscaped areas and space between buildings.	Support	
25	25.13	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Retain and strengthen existing tree protection provisions.	Support	
25	25.14	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Retain all notable trees in Precinct Plan 2	Support	
25	25.15	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide for the retention of additional mature vegetation in the Precinct to mitigate adverse visual and stormwater effects of more intense development .	Support	
25	25.16	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Include additional trees in Precinct Plan 2, particularly all mature trees in the following parts of the Precinct: (i) the area between the Squash Court and the Gateway 4 Accessway around Building 054 (ii) The Oak and Magnolia Trees lining the Gate 4 Accessway (iii) The flat areas surrounding Building 054 (Penman House) and sloped area behind it (iv) The Unitec Memorial Garden (v) the terraced area along the Woodward Road boundary of the precinct. Refer Schedule 2 for more details.	Support	
25	25.17	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Increase the area of land to be soft landscaped on sites.	Support	
25	25.18	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide for exemplary quality urban design and landscaping within the Precinct.	Support	
25	25.19	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Adaptively reuse prominent character buildings on the site, in particular Building 055 (Penman House) and Building 054.	Support	
25	25.20	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Require an assessment of air quality effects of taller buildings locating in proximity to the existing Taylor's laundry facility stacks and include any necessary restrictions on new building occupancy	Support	

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25	25.21	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Reduce the adverse traffic effects including by: (i) retaining the proposed indicative roading connections in the south of the precinct (ii) making the northern most access point to Carrington Road the main access point (iii) locating public transport centrally within Precinct Plan 1 (iv) retain existing indicative walking connections and amending Precinct Plan 1 to provide for additional indicative walking connections (v) upgrade the indicative walking path to retain wider (tree lined network connections from the southern major access point (Unitec Gate 4) (vi) restrict dwelling and occupancy numbers until the Carrington Road upgrade is completed, the Woodward Road railway crossing is replaced by a grade separated crossing.	Support	
25	25.22	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Precinct Plan 1 to include a small scale community and retail centre located in the central part of Precinct	Support	
25	25.23	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide that the removal of identified trees, removal of identified character buildings, and new buildings above height limits are non-complying activities requiring public notification.	Support	
25	25.24	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.1 Precinct Description. Refer to Schedule 1, points 1-7 for details.		
25	25.25	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2 (1) as follows: <i>The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for open space, growth, change and diversification of activities that provide a high level of amenity within the Precinct and the surrounding area. Refer to Schedule 1, point</i>		
25	25.26	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2 (2) as follows: <i>Comprehensive planning and integrated development of all sites within the precinct is achieved prior to further resource consents for residential development or new buildings being granted.</i>		
25	25.27	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2(3) as follows: <i>A mix of residential, business, tertiary education...is provided which maximises the efficient and effective use of land and provides for a variety of terraced housing and low to mid rise apartments built form typologies.</i>		
25	25.28	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2(6) as follows: <i>Identified heritage values are retained through the adaptation of the scheduled buildings and identified character buildings, and retention of identified trees...are recognised, protected and enhanced in the precinct.</i>	Support	
25	25.29	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Add a new objective I334.2(7A) as follows: <i>The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.</i>	Support	
25	25.30	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2(10) in relation to creating an integrated urban environment. Refer to Schedule 1, points 31 - 35		
25	25.31	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2(11) as follows: <i>Provide for retail, food and beverage, and commercial services, and community activities in identified locations as shown on Precinct Plan 1 - (as sought to be amended by the Society) - to serve local demand...</i>		
25	25.32	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Delete Objective I334.2(12) relating to Māori economic outcomes.		
25	25.33	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Objective I334.2(13) as follows: <i>Provide for graduated heights with increased heights only in the topographically lower parts of the precinct in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct, and create 'landmark' buildings in the north-western part of the precinct.</i>	Neither support nor oppose	
25	25.34	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 20 for details.	Support	
25	25.35	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(4) relating to the provision of activities. Refer to Schedule 1, points 21 - 24		
25	25.36	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(6) as follows: Encourage a mix of residential lifestyles and variety of housing typologies to cater for a diverse and high density residential community at Te Auaunga.		

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25	25.37	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(7) as follows: <u>Provide for a mix of residential and business activities which will enable development of an intensive residential core to a well-functioning urban environment</u>		
25	25.38	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Add a new policy I334.3 (10A) to manage subdivision and development. Refer to Schedule 1 point 27 for details		
25	25.39	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(11) as follows: Encourage <u>Require</u> the retention and adaption of the heritage and character buildings, and elements identified in the precinct.		
25	25.40	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I 334.3(13) to strengthen landscaping and urban design considerations for new buildings, structures and infrastructure or additions to buildings. Refer to Schedule 1, point 29 for details.	Support	
25	25.41	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(14) widen the application of landscaping and design considerations across the entire precinct. Refer to Schedule 1, point 30 for details	Support	
25	25.42	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(14A) to address the amenity of the existing community . Refer to Schedule 1, point 31 for details.	Support	
25	25.43	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(14AA) to guide proposals for all new buildings adjacent to the scheduled Hospital building. Refer to Schedule 1, point 32 for details		
25	25.44	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(14B) to limit taller buildings to the central part of the precinct only. Refer to Schedule 1, point 33 for details	Neither support nor oppose	
25	25.45	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 34 for details	Support	
25	25.46	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Add a new policy I334.3(15AA) to give effect to the amendments sought to Policy I334.3(15A). Refer to Schedule 1, point 36 for details.		
25	25.47	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(18) to improve the amenity of the precinct and functionality of pedestrian and cycle linkages. Refer to Schedule 1, point 37 for details	Support	
25	25.48	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(20) to strengthen mitigation of adverse traffic effects and to provide certainty of the timing of development and infrastructure delivery. Refer to Schedule 1, point 40 for details	Support	
25	25.49	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(22) to manage roading connections including to local streets to the south. Refer to Schedule 1, point 40 for details	Support	
25	25.50	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(23) to clarify the number of dwellings that trigger an Integrated Transport Assessment. Refer to Schedule 1, point 41 for details	Support	
25	25.51	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(27) as follows: <u>Manage potential adverse effects from buildings at the precinct boundary by:</u> <u>(a) Establishing a 5m yard.</u> <u>(c) Require graduated building heights and locate higher buildings <u>only in topographically low areas</u> and away from the precinct boundaries.</u> <u>(d) <u>Set back buildings from Carrington Road and provide for reduced height along the Carrington Road frontage</u> .</u>	Neither support nor oppose	
25	25.52	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(28) to require provision of a masterplan prior to the granting of consents for residential dwellings. Refer to Schedule 1, point 43 for details	Support	
25	25.53	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(29) to provide community activities within the precinct to minimise vehicle trips. Refer to Schedule 1, point 44 for details	Support	

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25	25.54	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3 (30A) as follows; <i>Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.</i>	Support	
25	25.55	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.4 Activity Tables, Refer to Schedule 1 points 47 - 61 for details		
25	25.56	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Delete Notification I334.5 (1B) to remove provisions for restricted discretionary activities		
25	25.57	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Notification I334.5(2) to reinsert reference to policy [I334.3] 15A		
25	25.58	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6 to retain interpretation of the standards. Refer to Schedule 1, point 64		
25	25.59	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6.4 Height in respect of heights on Carrington Road. Refer to Schedule 1, point 65		
25	25.60	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6. 5 Landscaping. Refer to Schedule 1, point 66		
25	25.61	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6.6 Precinct boundary setback to retain Carrington Road setback. Refer to Schedule 1, point 67		
25	25.62	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6.7 Tree Protection and Table I334.6.7. 1 Identified Trees. Refer to Schedule 1, points 68 and 69.	Support	
25	25.63	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6.8 Access. Refer to Schedule 1, point 70		
25	25.64	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6 10 Building to building set back. Refer to Schedule 1, point 71		
25	25.65	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6. 11 Maximum Tower Dimension Refer to Schedule 1, points 72 and 73 for details		
25	25.66	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Standard I334.6.13 Carrington Road Boundary setback. Refer to Schedule 1, point 74 for details.		
25	25.67	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.7.2 (2) Assessment criteria as follows: <i>Subdivision</i> (a) <i>the extent to which subdivision boundaries align...</i> (c) <i>The effect of the site design, size, shape, contour, and location, including the effects on existing buildings, and the ability to provide adequate manoeuvring areas, and outdoor living space and spaciousness between buildings in the precinct.</i> (d) The adequate provision of ...	Support	
25	25.68	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.8.1 (1A) Matters of discretion for New buildings which comply with Standard I334.6.4 Height. Refer to Schedule 1, points 76-79 for details		
25	25.69	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.8.1(1B) Matters of discretion for Buildings within the Height Areas identified on Precinct Plan 3 ... 72m. Refer to Schedule 1, point 80 for details		
25	25.70	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.8.1(4) Matters for Discretion for Any development not other listed in Tables I334.4.1, I334.4.3, and I334.4.4 that is generally in accordance with the precinct plan. Refer to Schedule 1, points 81 for details		

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25	25.71	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.8.1(5) Matters for Discretion for Any development and/or subdivision that does not comply with Standards... application. Refer to Schedule 1, point 82 for details		
25	25.72	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend 1334.8.2 Assessment criteria by reinstating clauses (1)(a) to (f) for retail (including food and beverage) activities, deleting clause (1B) for buildings in the height areas identified on precinct plan 3 and to add new criteria for parking buildings and structures. Refer to Schedule 1, point 83		
25	25.73	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.9 Special Information Requirements regarding requirements for planting specifications. Refer to Schedule 1, point 84 for details		
25	25.74	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Zoning Map to zone land for open space	Support	
25	25.75	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend I334.10.1 Precinct Plan 1 to secure open space and maintain amenity within the precinct and surrounding areas. Refer to Schedule 1, point 86 for details.	Support	
25	25.76	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Provide additional southern open space. Refer to Schedule 3 for details.	Support	
25	25.77	Open Space for Future Aucklanders Incorporated (the Society)	joanna@beresfordlaw.co.nz	Amend Policy I334.3(30A) to reinsert a reference to Policy I4432.3(15A). Refer to Schedule 1, point 46 for details.		
26	26.1	Karen Edney	karene@adhb.govt.nz	Seeks that more mature trees be retained	Support	
27	27.1	blair thorpe	blair_thorpe@hotmail.com	Seeks that trees be retained and those removed be replaced	Support	
28	28.1	Geoffrey William John Hinds	geowill4@gmail.com	Supports creating additional affordable housing in Auckland	Support	
28	28.2	Geoffrey William John Hinds	geowill4@gmail.com	Retain and protect as many trees as possible.	Support	
29	29.1	Carolyn Walker	cw.aklnz@gmail.com	Opposes the change of Precinct Name	Neither support nor oppose	
29	29.2	Carolyn Walker	cw.aklnz@gmail.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
29	29.3	Carolyn Walker	cw.aklnz@gmail.com	Seeks more provision for open space	Support	
29	29.4	Carolyn Walker	cw.aklnz@gmail.com	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
29	29.5	Carolyn Walker	cw.aklnz@gmail.com	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
30	30.1	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
30	30.2	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further details.	Support	
30	30.3	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
30	30.4	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
30	30.5	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
30	30.6	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Provide a detailed landscape plan for the Central Open Space.	Support	
30	30.7	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
30	30.8	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
30	30.9	Diana Dolensky	diana.dolensky@absoluteit.co.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	

Sub #	Sub Point	Submitter Name	Address for Service	Summary of Decisions Requested	TTC Supports or Opposes this point	TTC Reason / comment / explanation / further submission point
30	30.10	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
30	30.11	Diana Dolensky	diana.dolensky@absoluteit.co.nz	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
30	30.12	Diana Dolensky	diana.dolensky@absoluteit.co.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
31	31.1	Rebekah Phillips	rphillips@royalroad.school.nz	Seeks more provision for open space	Support	
31	31.2	Rebekah Phillips	rphillips@royalroad.school.nz	Seeks a master plan	Support	
31	31.3	Rebekah Phillips	rphillips@royalroad.school.nz	Opposes the change of Precinct Name	Neither support nor oppose	
32	32.1	Ngati Awa, Te Tawera Hapu	iramoko.marae@gmail.com	Opposes the change of Precinct Name - comprehensive reasoning given	Neither support nor oppose	
32	32.2	Ngati Awa, Te Tawera Hapu	iramoko.marae@gmail.com	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
33	33.1	Tāne Feary	taneofthewoods@gmail.com	Opposes due to effects on that the proposal is lacking in climate resilience design	Support	
33	33.2	Tāne Feary	taneofthewoods@gmail.com	Seeks additional tree protection and associated greenspace and biodiversity planning	Support	
34	34.1	Coral Anne Atkins	ccatkinsnz@gmail.com	Seeks additional tree protection, including on the Knoll	Support	
34	34.2	Coral Anne Atkins	ccatkinsnz@gmail.com	Seeks to retain the Knoll	Support	
35	35.1	Jenny Pullar	jenny@jennypullar.co.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
35	35.2	Jenny Pullar	jenny@jennypullar.co.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
35	35.3	Jenny Pullar	jenny@jennypullar.co.nz	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
35	35.4	Jenny Pullar	jenny@jennypullar.co.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
35	35.5	Jenny Pullar	jenny@jennypullar.co.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
35	35.6	Jenny Pullar	jenny@jennypullar.co.nz	Provide a detailed landscape plan for the Central Open Space.	Support	
35	35.7	Jenny Pullar	jenny@jennypullar.co.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
35	35.8	Jenny Pullar	jenny@jennypullar.co.nz	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
35	35.9	Jenny Pullar	jenny@jennypullar.co.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
35	35.10	Jenny Pullar	jenny@jennypullar.co.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
35	35.11	Jenny Pullar	jenny@jennypullar.co.nz	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
35	35.12	Jenny Pullar	jenny@jennypullar.co.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
36	36.1	Deborah Yates-Forlong	deborahayates@gmail.com	Opposes the change of Precinct Name	Neither support nor oppose	
36	36.2	Deborah Yates-Forlong	deborahayates@gmail.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
36	36.3	Deborah Yates-Forlong	deborahayates@gmail.com	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Support	
36	36.4	Deborah Yates-Forlong	deborahayates@gmail.com	Seeks more provision for open space and protection of the Sanctuary Gardens	Support	
36	36.5	Deborah Yates-Forlong	deborahayates@gmail.com	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	
37	37.1	Rohan MacMahon	rohmac@yahoo.com	Opposes the change of Precinct Name	Neither support nor oppose	
37	37.2	Rohan MacMahon	rohmac@yahoo.com	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Support	
37	37.3	Rohan MacMahon	rohmac@yahoo.com	Seeks more provision for open space	Support	

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37	37.4	Rohan MacMahon	rohmac@yahoo.com	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the	Support	
37	37.5	Rohan MacMahon	rohmac@yahoo.com	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
38	38.1	Jennifer Diane Goldsack	nomadsathome@xtra.co.nz	[Inferred] opposes due to urban design effects	Support	
38	38.2	Jennifer Diane Goldsack	nomadsathome@xtra.co.nz	Opposes proposed building heights of 35-72m	Neither support nor oppose	
39	39.1	Margaret Evans	mevans@unitec.ac.nz	Seeks confirmation that Unitec open space not be included in total open space	Support	
40	40.1	Auckland Transport	marquerite.pearson@at.govt.nz	Generally supports the plan change including the increased residential yield and changes to the	Neither support nor oppose	
40	40.2	Auckland Transport	marquerite.pearson@at.govt.nz	AT should not fund and implement a residents only parking zone - this should be managed by the applicant. Refer to Attachment for details.	Neither support nor oppose	
40	40.3	Auckland Transport	marquerite.pearson@at.govt.nz	Seeks that discrepancies in the ITA traffic model be addressed through alignment with modelling	Support	
40	40.4	Auckland Transport	marquerite.pearson@at.govt.nz	Amend the ITA to reflect agreements on intersection upgrades and expand Rule I224.9 to capture this matter.	Neither support nor oppose	
			marquerite.pearson@at.govt.nz	Seeks amendments to refer to the Northwestern Shared Path in the Precinct Description and that public transport will occur on the edge of the site (Carrington Road). Refer to Attachment 1 for details.	Neither support nor oppose	
40	40.5	Auckland Transport	marquerite.pearson@at.govt.nz	Supports proposed precinct objectives and policies except for Policy 19.	Neither support nor oppose	
40	40.6	Auckland Transport	marquerite.pearson@at.govt.nz	Amend Policy 19 'Pedestrian and cycle access, street quality and safety'. Refer to Attachment 1	Neither support nor oppose	
40	40.7	Auckland Transport	marquerite.pearson@at.govt.nz	Retain amendments to Rule I334.9 [Special information requirements (and for avoidance of doubt, the Transport Policies) as proposed.	Neither support nor oppose	
40	40.8	Auckland Transport	marquerite.pearson@at.govt.nz	Retain amendments as proposed to precinct plan 1 in particular the realigned Northwestern shared path.	Neither support nor oppose	
40	40.9	Auckland Transport	marquerite.pearson@at.govt.nz	Supports deletion of references to an internal bus node	Neither support nor oppose	
40	40.10	Auckland Transport	marquerite.pearson@at.govt.nz	Supports proposed amendments to I334. 4 Activity Tables	Neither support nor oppose	
40	40.11	Auckland Transport	marquerite.pearson@at.govt.nz	Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard	Neither support nor oppose	
40	40.12	Auckland Transport	marquerite.pearson@at.govt.nz	Add a new standard requiring two bicycle parks per dwelling. Refer to Attachment 1 for	Neither support nor oppose	
40	40.13	Auckland Transport	marquerite.pearson@at.govt.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
41	41.1	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
41	41.2	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
41	41.3	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
41	41.4	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
41	41.5	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Provide a detailed landscape plan for the Central Open Space.	Support	
41	41.6	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
41	41.7	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
41	41.8	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
41	41.9	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
41	41.10	Dr Christine Joan Perkins	ciperkins@xtra.co.nz	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
41	41.11	Dr Christine Joan Perkins	ciperkins@xtra.co.nz			

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41	41.12	Dr Christine Joan Perkins	cjperkins@xtra.co.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
42	42.1	Garden Design Society of New Zealand	pcliffin@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
42	42.2	Garden Design Society of New Zealand	pcliffin@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
42	42.3	Garden Design Society of New Zealand	pcliffin@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
42	42.4	Garden Design Society of New Zealand	pcliffin@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
42	42.5	Garden Design Society of New Zealand	pcliffin@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
42	42.6	Garden Design Society of New Zealand	pcliffin@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
42	42.7	Garden Design Society of New Zealand	pcliffin@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
42	42.8	Garden Design Society of New Zealand	pcliffin@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
42	42.9	Garden Design Society of New Zealand	pcliffin@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
42	42.10	Garden Design Society of New Zealand	pcliffin@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
42	42.11	Garden Design Society of New Zealand	pcliffin@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
42	42.12	Garden Design Society of New Zealand	pcliffin@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
43	43.1	Yolanda van den Bemd	yvdbemd@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
43	43.2	Yolanda van den Bemd	yvdbemd@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
43	43.3	Yolanda van den Bemd	yvdbemd@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
43	43.4	Yolanda van den Bemd	yvdbemd@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
43	43.5	Yolanda van den Bemd	yvdbemd@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
43	43.6	Yolanda van den Bemd	yvdbemd@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
43	43.7	Yolanda van den Bemd	yvdbemd@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
43	43.8	Yolanda van den Bemd	yvdbemd@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
43	43.9	Yolanda van den Bemd	yvdbemd@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
43	43.10	Yolanda van den Bemd	yvdbemd@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	

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43	43.11	Yolanda van den Bemd	yvdbemd@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
43	43.12	Yolanda van den Bemd	yvdbemd@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
44	44.1	Leonard Matthews	onelen@hotmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
44	44.2	Leonard Matthews	onelen@hotmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
44	44.3	Leonard Matthews	onelen@hotmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
44	44.4	Leonard Matthews	onelen@hotmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
44	44.5	Leonard Matthews	onelen@hotmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
44	44.6	Leonard Matthews	onelen@hotmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
44	44.7	Leonard Matthews	onelen@hotmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
44	44.8	Leonard Matthews	onelen@hotmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
44	44.9	Leonard Matthews	onelen@hotmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
44	44.10	Leonard Matthews	onelen@hotmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
44	44.11	Leonard Matthews	onelen@hotmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
44	44.12	Leonard Matthews	onelen@hotmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
45	45.1	Watercare Services Limited	planchanges@water.co.nz	Seeks clarification about ultimate development yield to understand what wastewater and water supply needs will be required	Support	
45	45.2	Watercare Services Limited	planchanges@water.co.nz	Seeks a decision that ensures water and wastewater and servicing requirements will be adequately met	Support	
45	45.3	Watercare Services Limited	planchanges@water.co.nz	Seeks the following amendments to the Precinct provisions (as set out in Attachment 1 to the submission): <ul style="list-style-type: none"> •Amendment to require a bulk water supply and wastewater infrastructure capacity assessment where development beyond the previously modelled yield of 4000 DUEs is proposed. •Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DU Es within the Te Auaunga Precinct. •Amendments to the associated matters of discretion and assessment criteria to support the Restricted Discretionary Activity status. •Inclusion of new objective and policies to support the Restricted Discretionary Activity status. 	Neither support nor oppose	
46	46.1	Tina Dean	tina_dean@xtra.co.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
46	46.2	Tina Dean	tina_dean@xtra.co.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
46	46.3	Tina Dean	tina_dean@xtra.co.nz	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	

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46	46.4	Tina Dean	tina_dean@xtra.co.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
46	46.5	Tina Dean	tina_dean@xtra.co.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
46	46.6	Tina Dean	tina_dean@xtra.co.nz	Provide a detailed landscape plan for the Central Open Space.	Support	
46	46.7	Tina Dean	tina_dean@xtra.co.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
46	46.8	Tina Dean	tina_dean@xtra.co.nz	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
46	46.9	Tina Dean	tina_dean@xtra.co.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
46	46.10	Tina Dean	tina_dean@xtra.co.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
46	46.11	Tina Dean	tina_dean@xtra.co.nz	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
46	46.12	Tina Dean	tina_dean@xtra.co.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
47	47.1	Margie Proposch	margie.proposch@gmail.com	Seeks trees be protected	Support	
48	48.1	Alison Burt	alisonmayburt@gmail.com	Seeks trees be protected	Support	
48	48.2	Alison Burt	alisonmayburt@gmail.com	Seeks that the Knoll be retained by Unitec to ensure the protection of trees. Refer to submission	Support	
48	48.3	Alison Burt	alisonmayburt@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
49	49.1	Phillippa Wilkie	pgwilkie@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
50	50.1	Gordon Wickham Ikin	gordon@ikin.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
51	51.1	Dennis Katsanos	denniskatsanos@gmail.com	Opposes zoning change to Business -Mixed Business	Neither support nor oppose	
51	51.2	Dennis Katsanos	denniskatsanos@gmail.com	Seeks that Penman House be preserved	Support	
51	51.3	Dennis Katsanos	denniskatsanos@gmail.com	Opposes due to traffic effects on Woodward Road and Carrington Road	Neither support nor oppose	
51	51.4	Dennis Katsanos	denniskatsanos@gmail.com	Opposes due to inadequate infrastructure	Neither support nor oppose	
52	52.1	Sue Shearer	sueshearer57@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
52	52.2	Sue Shearer	sueshearer57@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
52	52.3	Sue Shearer	sueshearer57@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
52	52.4	Sue Shearer	sueshearer57@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
52	52.5	Sue Shearer	sueshearer57@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
52	52.6	Sue Shearer	sueshearer57@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
52	52.7	Sue Shearer	sueshearer57@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	Support	
52	52.8	Sue Shearer	sueshearer57@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
52	52.9	Sue Shearer	sueshearer57@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
52	52.10	Sue Shearer	sueshearer57@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
52	52.11	Sue Shearer	sueshearer57@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	

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52	52.12	Sue Shearer	sueshearer57@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
53	53.1	Greta van der Star	gretavanderstar@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
54	54.1	Kate Battersby	katefbattersby@icloud.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
55	55.1	Kate Lowe	katelowe.nz@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
56	56.1	Fiona Lascelles	f.m.lascelles@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
		Springleigh Residents Association		Provide improved, detailed and accessible information (including a table of activities and activity status, and a marked up topographical map) to the community to ensure all effects of the	Support	
57	57.1		greg.storz@orcon.net.nz			
57	57.2	Springleigh Residents Association	greg.storz@orcon.net.nz	Proposed rezoning must be heard by the Environment Court.	Neither support nor oppose	
		Springleigh Residents Association		Prepare an evidence statement that includes presentations, written material and minutes of meetings between the applicant and the Albert-Eden local board and councillors on the rezoning proposal. Request the Albert-Eden local board and councillors present evidence on boundary setbacks, Oakley Creek Significant Ecological Area, Marine Significant Ecological Area,	Neither support nor oppose	
57	57.3		greg.storz@orcon.net.nz	transport, open space, social and ecological effects. Refer to submission for further detail.		
57	57.4	Springleigh Residents Association	greg.storz@orcon.net.nz	Provide a report on the public consultation by HUD, Auckland Council and iwi that summarises community issues. Consultation material to be included in the application.	Neither support nor oppose	
57	57.5	Springleigh Residents Association	greg.storz@orcon.net.nz	Request for alternatives to the proposed rezoning be considered and evaluated in order to avoid	Neither support nor oppose	
57	57.6	Springleigh Residents Association	greg.storz@orcon.net.nz	Assess the environmental and social effects on the Oakley Creek and Marine Significant Ecological Areas.	Support	
				Assess the visual effects of the proposed tower including area of potential impact, selection of viewpoints, seasonal representation and varied weather, diurnal representation, cumulative effects and alternative sites. Further expert assessments including proposed activities and activity status for tower buildings. Oppose the plan change request on the basis that the proposed tower buildings remove AUP zoning provisions. Precinct provisions to be amended to fully mitigate the negative effects of tower buildings. Refer to submission for further detail.	Neither support nor oppose	
57	57.7	Springleigh Residents Association	greg.storz@orcon.net.nz			
57	57.8	Springleigh Residents Association	greg.storz@orcon.net.nz	Seek that the 'agreements' between the Ministry of Housing and Urban Development and the Mason Clinic are requested by Auckland Council.	Neither support nor oppose	
57	57.9	Springleigh Residents Association	greg.storz@orcon.net.nz	Identify all resource management issues.	Neither support nor oppose	
		Springleigh Residents Association		Identify and incorporate Māori values, objectives and tikanga practices considered in the application into the decision and included in the precinct provisions. Refer to submission for further detail.	Neither support nor oppose	
57	57.10		greg.storz@orcon.net.nz			
		Springleigh Residents Association		Landscape and visual assessments are to follow Auckland Council guidelines and Waka Kotahi standards for Landscape and Visual Assessment in the Assessment of Environmental Effects. [Inferred] Provide a clear description of any mitigation measures relating to landscape and visual effects. Refer to submission for details.	Support	
57	57.11		greg.storz@orcon.net.nz			
57	57.12	Springleigh Residents Association	greg.storz@orcon.net.nz	Request further technical/expert assessments of landscape and visual effects as part of Assessment of Environmental Effects. Refer to submission for details.	Support	
		Springleigh Residents Association		Request for more detailed visual assessment to include additional viewing points and photo simulations, cross-sections of existing and future landscapes, an independent visual and landscape assessment for evidence exchange, a technical assessment of adverse effects on the Oakley Creek and Marine Significant Ecological Areas, and the consideration of avoidance options for adverse landscape effects. Refer to submission for further detail.	Support	
57	57.13		greg.storz@orcon.net.nz			
		Springleigh Residents Association		Provide further ecological assessment including zone of influence and ecological context for Oakley Creek and Marine Significant Ecological Areas, the wetland in the vicinity of the former Oakley Hospital, and site investigations. Refer to submission for details.	Support	
57	57.14		greg.storz@orcon.net.nz			
		Springleigh Residents Association		Ensure the ecological assessment fulfils the requirements of s104 and s30 of the RMA, and includes sufficient information for community submitters to engage with, an independent ecological assessment for evidence exchange, native bat detection within the precinct, and the wetland/spring in the north-west of the precinct is assessed by a hydrological engineer and ecologist. Refer to submission for further detail.	Support	
57	57.15		greg.storz@orcon.net.nz			

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57	57.16	Springleigh Residents Association	greg.storz@orcon.net.nz	Ensure the Urban Design Assessment of Environmental Effects adequately identifies issues of urban design, and informs an urban design process with clearly stated principles, and with full information provided. An independent urban design assessment to be prepared for evidence exchange including the Oakley Creek and Marine Significant Ecological Areas, 'gateway', and 'landmark' requirements.	Support	
57	57.17	Springleigh Residents Association	greg.storz@orcon.net.nz	Prepare an independent historic heritage assessment including whether the proposed tower buildings are compatible with the heritage of the precinct. Request a values system to be used to assess the tower proposal. Refer to submission page 45 for further detail.	Neither support nor oppose	
57	57.18	Springleigh Residents Association	greg.storz@orcon.net.nz	Establish open space values in order to assess alternatives. Prepare an independent open space assessment. Refer to submission for further detail.	Support	
57	57.19	Springleigh Residents Association	greg.storz@orcon.net.nz	Provide additional information regarding accidental archaeological discovery mitigation of stone	Support	
57	57.20	Springleigh Residents Association	greg.storz@orcon.net.nz	Prepare a new Stormwater Management Plan and flood hazard management plan to be notified prior to the hearing. Stormwater design to be addressed prior to the hearing.	Support	
57	57.21	Springleigh Residents Association	greg.storz@orcon.net.nz	Oppose the plan change request due to the [inferred] deficient Te Auaunga Precinct 2023 Transport Assessment. Refer to page 50 of the submission for further detail.	Neither support nor oppose	
57	57.22	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.1 Precinct Description: Refer to pages 52 and 53 of the submission for details.	Neither support nor oppose	
57	57.23	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Objective (6) by deleting reference to Māori sites of significance on Oakley Creek Te Auaunga land. [Inferred]. Refer to page 53 of the submission for details.	Support	
57	57.24	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed Objective (13) relating to increased building heights. Refer to page 53 of the submission for details.	Neither support nor oppose	
57	57.25	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy 6 by deleting reference to 'high density' typologies. Refer to page 53 of the submission for details.	Neither support nor oppose	
57	57.26	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy 7 to remove reference to 'an intensive residential core' from the description of the	Neither support nor oppose	
57	57.27	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete Policy (10) relating to subdivision and development in respect of the creek and marine environments. Refer to page 53 of the submission for details.	Support	
57	57.28	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy (14) by deleting reference to the requirement for new buildings, structures and infrastructure, or additions to provide appropriate native landscaping. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.29	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed Policy: '(14A) relating to the provision for taller buildings in the north western part of the precinct. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.30	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed Policy: '(14AA) relating to the relationship of the taller buildings adjacent to the former Oakley Hospital scheduled historic heritage building. Refer to page 54 of the submission	Neither support nor oppose	
57	57.31	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed Policy (14B) providing for additional height in the central and northern parts of the precinct. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.32	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy (20) by deleting clause (f) in terms of minimising overflow parking on roads occurring in the vicinity of the precinct	Neither support nor oppose	
57	57.33	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy (23) by removing requirements for the Intergrated Transport Assessment to be based on gross floor areas and replaced with references to number of dwellings. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.34	Springleigh Residents Association	greg.storz@orcon.net.nz	Replace Policy (26) to update zone names in respect of avoiding direct access to specific streets. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.35	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy (27) by deleting clause (b) in relation to setback from the land fronting Oakley Creek. Refer to page 54 of the submission for details.	Neither support nor oppose	
57	57.36	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend Policy (27) as follows: Manage potential adverse amenity effects from buildings at the precinct boundary by: (a)... (c) Require graduated building heights and locate higher buildings away from the precinct boundary boundaries that adjoin the Mixed Housing Suburban residential areas to the south of the precinct.	Neither support nor oppose	
57	57.37	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed Policy (30A) relating to the adaptive re-use of the existing buildings with historic	Neither support nor oppose	

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57	57.38	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete Policy (39) providing for a broad range of residential activities adjacent to the Oakley CreekTe Auaunga and residential neighbourhoods to the south of the precinct.	Neither support nor oppose	
57	57.39	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete Policy (40) relating to buildings providing passive surveillance of the public lands within Oakley CreekTe Auaunga Valley.' Refer to page 54 o the submission for details.	Support	
57	57.40	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.4 [Activity Tables] by adding to the end the following statment 'Sub-precinct C': 'The zoning, Auckland-wide and overlay policies apply in the SEA Oakley Creek / Te Auaunga and Oakley Creek Inlet Marine- SEA'	Support	
57	57.41	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete I334.5 (1) Notification, relating to controlled activities. Refer to page 55 of the submission	Support	
57	57.42	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete I334.5 (1A) Notification relating to new buildings in Sub Precinct A. Refer to page 55 of the precinct for details.	Support	
57	57.43	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete I334.5 (1B) Notification relating to restricted discretionary activities that comply with the I334.6.4 height standard. Refer to page 56 of the submission for details.	Support	
57	57.44	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed change to I334.6 Standards (introductory statement) which lists exemptions from standards for activities in the Businsss - Mixed Use zone. Refer to page 56 of the submission for details.	Support	
57	57.45	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.6.3: '(1) Stormwater to clarify that a new stormwater management plan must be prepared. Refer to page 56 of the submission for details.'	Support	
57	57.46	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.6.3 Stormwater by adding a requirement that <u>all subdivision and development of the land must include stormwater design consistent with AC Future Development Strategy.'</u>	Support	
57	57.47	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete I334.6.4 (1) Height in its entirety.	Support	
57	57.48	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.6.6 Precinct boundary set back by deleting clauses(2) and (3) [Inferred] Refer to page 56 and 57 of submission for details.	Neither support nor oppose	
57	57.49	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed new standard I334.6.10. Building to building set back.	Neither support nor oppose	
57	57.50	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed new standard I334.6.12. Wind.	Neither support nor oppose	
57	57.51	Springleigh Residents Association	greg.storz@orcon.net.nz	Delete proposed new standard I334.6.13. Sub-precinct A Northern Boundary setback.	Neither support nor oppose	
57	57.52	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend proposed changes to I334.7.1 Matter of control [and inferred I334.7.2 Assessment criteria] (Assessment - controlled activities) relating to subdivision, new buildings and stormwater. Refer to page 57 and 58 of the submission.	Neither support nor oppose	
57	57.53	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.8.1. Matters of discretion (Assessment - restricted discretionary activities) by deleting proposed changes relating to retail, new buildings that comply with Standard I334.6.4 Height, parking buildings,road connections. Retain references to Policy I334.3.(15A) Open Space and Policy I334.6.5 Landscaping. Refer to page 58 of the submission for details.	Neither support nor oppose	
57	57.54	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.8.2. Assessment criteria:relating to retail developments, new buildings that comply with Standard I334.6.4 height, buildings within the Height Areas identified on precinct plan 3, road connections, development not otherwise listed in activity tables, and developmnt that does not comply with Standard I334.6.14(3) Boundary setback in respect of buildings within Sub- precinct A or Standard I334.6.10 Height in relation to boundary. Refer to pages 58 and 59 of the submission for details.	Neither support nor oppose	
57	57.55	Springleigh Residents Association	greg.storz@orcon.net.nz	Amend I334.9 Special information requirements relating to Intergrated Transport Assessments, and stormwater management plans, and applications for development. Refer to page 59 of the submission for details.	Neither support nor oppose	
58	58.1	Greer Rasmussen	greerjuul@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
59	59.1	Linda Hill	thehillsinwhiti@gmail.com	[Inferred] Seeks that there be no loss of trees.	Support	
59	59.2	Linda Hill	thehillsinwhiti@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
60	60.1	Susan Jane Ewen	susanewen@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
61	61.1	Chris Calvert	chrismcalvert@xtra.co.nz	Opposes the change of Precinct Name	Neither support nor oppose	
61	61.2	Chris Calvert	chrismcalvert@xtra.co.nz	[Inferred] Seeks greater provision for open space as a result of the higher population enabled by	Support	
61	61.3	Chris Calvert	chrismcalvert@xtra.co.nz	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	

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62	62.1	Judy Keats	judykeats.patternmaker@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
62	62.2	Judy Keats	judykeats.patternmaker@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
62	62.3	Judy Keats	judykeats.patternmaker@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
62	62.4	Judy Keats	judykeats.patternmaker@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
62	62.5	Judy Keats	judykeats.patternmaker@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
62	62.6	Judy Keats	judykeats.patternmaker@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
62	62.7	Judy Keats	judykeats.patternmaker@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
62	62.8	Judy Keats	judykeats.patternmaker@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
62	62.9	Judy Keats	judykeats.patternmaker@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
62	62.10	Judy Keats	judykeats.patternmaker@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
62	62.11	Judy Keats	judykeats.patternmaker@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
62	62.12	Judy Keats	judykeats.patternmaker@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
63	63.1	The Ngāti Tamaoho Settlement Trust	karleen@tamaoho.maori.nz	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāti Tamaoho.	Support	
63	63.2	The Ngāti Tamaoho Settlement Trust	karleen@tamaoho.maori.nz	Supports the precinct name change	Neither support nor oppose	
63	63.3	The Ngāti Tamaoho Settlement Trust	karleen@tamaoho.maori.nz	Supports proposed zoning and provisions	Neither support nor oppose	
64	64.1	Kim Shephard-Tjirn	kimshepthorn@hotmail.co.uk	Seeks identification / protection of the Sanctuary Gardens	Support	
65	65.1	Te Whatu Ora Health New Zealand Waitemata	cmcgarr@bentley.co.nz	Seeks, to ensure consistency in respect of the application of the Precinct provisions: •Addition of a new rule A33A to Table 1334.4.1 - buildings or additions to buildings not complying with 1334.6.13 (as a non-complying activity), •Deletion of proposed (landscaping) standard 1334.6.16.	Oppose	The Tree Council opposes the deletion of the proposed (landscaping) standard 1334.6.16 1334.6.16. Landscaping (1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions.
66	66.1	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	leon.wijohn@tarapounamu.com	Seeks that the Precinct Name be Wai O Raka (comprehensive reasoning given)	Neither support nor oppose	
66	66.2	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	leon.wijohn@tarapounamu.com	Surplus tertiary education land can be developed for residential activity	Neither support nor oppose	
66	66.3	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	leon.wijohn@tarapounamu.com	Supports the proposed zoning and provisions	Neither support nor oppose	
67	67.1	Waiohua Tamaki Ropu (Waiohua)	ashlev@astudio.net.nz	Opportunity for development of land will achieve cultural, social and economic objectives for Waiohua.	support	
67	67.2	Waiohua Tamaki Ropu (Waiohua)	ashlev@astudio.net.nz	Supports the Precinct Name change	Neither support nor oppose	
67	67.3	Waiohua Tamaki Ropu (Waiohua)	ashlev@astudio.net.nz	Supports the proposed zoning and provisions	Neither support nor oppose	

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68	68.1	Auckland Council	unitaryplan@aucklandcouncil.govt.nz	Seeks amendments to incorporate the Medium Density Housing Standards (MDRS) in the Residential - Terrace Housing and Apartment Buildings Zone and the Residential -Mixed Housing Urban Zone, taking account of the relevant Qualifying Matters	Oppose	The Tree Council opposes the introduction of the Medium Density Residential Standards into this development. The new Government have directed councils that these MDRS are now optional, not required under the RMA. Council's PC78 is currently on hold and will only be applied to the City Centre Zone. This precinct lies outside this zone. It is highly likely that Auckland Council will decide not to apply MDRS to zones outside the city centre. Therefore this submission by Auckland Council is out of date and no longer correct.
69	69.1	Te Whenua Haa Ora GP Limited	aidan@bankside.co.nz	Amend the Precinct provisions (including assessment criteria) to provide more specific detail as to the assumptions in the Integrated Traffic Assessment that are to be reviewed and assessed once the threshold of 3,000 dwellings is met. Refer to paragraph 12 for details.	Neither support nor oppose	
69	69.2	Te Whenua Haa Ora GP Limited	aidan@bankside.co.nz	Amend the Precinct provisions to ensure that the traffic-reducing mitigation measure of a "strict car parking constraint" for residential dwellings in the Precinct (of an average of 0.7 spaces per unit, across the Precinct as a whole) is delivered;	Neither support nor oppose	
69	69.3	Te Whenua Haa Ora GP Limited	aidan@bankside.co.nz	Amend the Precinct provisions to ensure that: i. the Carrington Road I Gate 1 intersection will be signalised once 600 dwellings have been delivered; ii. the Carrington Road I Gate 3 intersection will be signalised once a trigger threshold of 1,500 dwellings has been reached, to provide permeability and an additional safe exit location for the Precinct, rather than sole reliance on Gates 1 and 4 as the only signalised intersections.	Neither support nor oppose	
70	70.1	Paula Glen Norman	pgnorman@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
70	70.2	Paula Glen Norman	pgnorman@xtra.co.nz	Seeks adequate infrastructure	Support	
71	71.1	Angela Moon	angela_moon@me.com	Opposes due to inadequate infrastructure and services	Neither support nor oppose	
72	72.1	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks restoration and enhancement of biodiversity / ecology - including springs and daylighting. Use of setbacks and other responses detailed in the submission.	Support	
72	72.2	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks more mature trees retained, protected and integrated into the development.	Support	
72	72.3	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks a master plan prepared in consultation with the community	Support	
72	72.4	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Retain I 334.9 Special Information Requirements - Stormwater Management or amendments to ensure appropriate management of stormwater	Support	
72	72.5	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks protection of native fauna, especially birds, from the impacts of tall buildings	Support	
72	72.6	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks controls on pets	Support	
72	72.7	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
72	72.8	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Opposes the Precinct Name change	Neither support nor oppose	
72	72.9	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Seeks that the notable trees around Building 48 remain as part of the Unitec campus and a covenant required to ensure all trees are retained in perpetuity	Support	
72	72.10	St Lukes Environmental Protection Society Inc (STEPS)	elizabeth.walker@xtra.co.nz	Supports change of zoning from Business; Mixed Use and Residential Mixed Housing Urban to allow for greater use of the land and development of more housing	Neither support nor oppose	
73	73.1	Malcolm Wong	malcolmwong8@gmail.com	Opposes due to inadequate infrastructure (including open space)	Neither support nor oppose	
74	74.1	Melina Ubeda Browne	melinaubedabrowne@icloud.com	Seeks identification / protection of the Sanctuary Gardens	Support	
75	75.1	Pia Jaaskelainen	piacomms@gmail.com	[Inferred] Seeks adequate infrastructure including schools.	Neither support nor oppose	
76	76.1	Kirsten Millen	kirst.millen@gmail.com	Opposes due to proposed height and density	Neither support nor oppose	
76	76.2	Kirsten Millen	kirst.millen@gmail.com	Opposes due to there being no space for schools	Neither support nor oppose	
77	77.1	Lucianne Holt	lucianneholt@hotmail.com	Opposes due to a massive change from current plan	Neither support nor oppose	
77	77.2	Lucianne Holt	lucianneholt@hotmail.com	Opposes due to no plans for an additional school	Neither support nor oppose	
77	77.3	Lucianne Holt	lucianneholt@hotmail.com	Opposes due to Sanctuary Gardens not being protected	Support	
78	78.1	Toni Farrow	toni_farrow@hotmail.com	[Inferred] provide adequate infrastructure and schools	Neither support nor oppose	
79	79.1	The Tree Council	info@thetreecouncil.org.nz	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	N/A	
79	79.2	The Tree Council	info@thetreecouncil.org.nz	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	N/A	

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				Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone these areas as Open Space.	N/A	
79	79.3	The Tree Council	info@thetreecouncil.org.nz		N/A	
79	79.4	The Tree Council	info@thetreecouncil.org.nz	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	N/A	
79	79.5	The Tree Council	info@thetreecouncil.org.nz	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	N/A	
79	79.6	The Tree Council	info@thetreecouncil.org.nz	Provide a detailed landscape plan for the Central Open Space.	N/A	
79	79.7	The Tree Council	info@thetreecouncil.org.nz	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi	N/A	
				Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	N/A	
79	79.8	The Tree Council	info@thetreecouncil.org.nz		N/A	
79	79.9	The Tree Council	info@thetreecouncil.org.nz	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	N/A	
79	79.10	The Tree Council	info@thetreecouncil.org.nz	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	N/A	
				Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	N/A	
79	79.11	The Tree Council	info@thetreecouncil.org.nz		N/A	
79	79.12	The Tree Council	info@thetreecouncil.org.nz	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	N/A	
80	80.1	Annabel Firth	annabel.firth@gmail.com	Identify provision for schools	Neither support nor oppose	
81	81.1	Rosemary McGlynn	mcglynn_family@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
81	81.2	Rosemary McGlynn	mcglynn_family@xtra.co.nz	Opposes due to inadequate infrastructure	Neither support nor oppose	
82	82.1	Rachel Simpson	rachel_simpson@xtra.co.nz	Opposes due to proposed building height and density	Neither support nor oppose	
82	82.2	Rachel Simpson	rachel_simpson@xtra.co.nz	Opposes due to inadequate infrastructure	Neither support nor oppose	
83	83.1	Joanna Waddington	joanna.waddington@xtra.co.nz	Opposes due to the need for community services	Neither support nor oppose	
83	83.2	Joanna Waddington	joanna.waddington@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
84	84.1	Roberta Schmulian	robertaschmulian@gmail.com	Opposes due to insufficient provision for schools	Neither support nor oppose	
84	84.2	Roberta Schmulian	robertaschmulian@gmail.com	Opposes due to the need for more provision of open space	Support	
84	84.3	Roberta Schmulian	robertaschmulian@gmail.com	Opposes due to the need for identification / protection of the Sanctuary Gardens	Support	
85	85.1	Sarah Bailey	dr.sarahbailey@gmail.com	Opposes due to the need for identification / protection of the Sanctuary Gardens	Support	
85	85.2	Sarah Bailey	dr.sarahbailey@gmail.com	Opposes due to inadequate community infrastructure, including open space, schools	Neither support nor oppose	
85	85.3	Sarah Bailey	dr.sarahbailey@gmail.com	Opposes due to traffic effects	Neither support nor oppose	
86	86.1	Danielle Chew	dell_rouse@yahoo.com	Add schools facilities	Neither support nor oppose	
86	86.2	Danielle Chew	dell_rouse@yahoo.com	Provide a greater setback from Oakley Creek and address potential flooding	Support	
86	86.3	Danielle Chew	dell_rouse@yahoo.com	Seeks more provision for open space	Support	
86	86.4	Danielle Chew	dell_rouse@yahoo.com	Rezone correctly - Business Mixed used but largely plan for houses	Neither support nor oppose	
87	87.1	Sophie Bostwick	sophiejo1974@gmail.com	Seeks more provision for open space	Support	
87	87.2	Sophie Bostwick	sophiejo1974@gmail.com	Opposes due to local schools being near capacity	Neither support nor oppose	
87	87.3	Sophie Bostwick	sophiejo1974@gmail.com	Opposes due to concerns about building design	Neither support nor oppose	
88	88.1	Dan Blanchon	danblanchon@hotmail.com	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the	Neither support nor oppose	
88	88.2	Dan Blanchon	danblanchon@hotmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
88	88.3	Dan Blanchon	danblanchon@hotmail.com	Decrease in buildings and increase in quality green spaces (including trees)	Support	
89	89.1	Helen Fitness	hello@helen-fitness.com	Opposes due to inadequate parking	Neither support nor oppose	
89	89.2	Helen Fitness	hello@helen-fitness.com	Opposes due to loss of trees	Support	
89	89.3	Helen Fitness	hello@helen-fitness.com	Opposes due to no schools planned	Neither support nor oppose	
90	90.1	Simone Connell	sconnell@mags.school.nz	Opposes due to insufficient provision for open space	Support	
91	91.1	Lesley Mitchell	lesleychristinemitchell@gmail.com	Opposes due to the Sanctuary Gardens not being identified / protected	Support	
92	92.1	Karen Burge	karen@goodthing.co.nz	[Inferred] Seeks that housing intensity be reduced	Support	
92	92.2	Karen Burge	karen@goodthing.co.nz	Build a primary school	Neither support nor oppose	
92	92.3	Karen Burge	karen@goodthing.co.nz	Retain mature trees	Support	

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92	92.4	Karen Burge	karen@goodthing.co.nz	[Inferred] Seeks protection of Sanctuary Gardens and provision of more open space generally, including close to creek	Support	
93	93.1	Weicheng Huang	Qsquare123@gmail.com	Opposes due to the change being 'too [crowded]	Neither support nor oppose	
94	94.1	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Oppose proposed name change	Neither support nor oppose	
94	94.2	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend I334.1 Precinct Description to identify where setbacks will be used and to include Te Ao Māori principles. Supports proposed paragraphs relating to managing interfaces (para. 3), open space (para. 4) and Māori capacity building and development (para 7). Refer to pages 3 & 4 of the submission for details.	Neither support nor oppose	
94	94.3	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Provide a visionary and detailed masterplan	Support	
94	94.4	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend Objective I334.2(6) by correctly describing the precinct area as the 'Wairaka Precinct land'. Refer to page 4 of the submission for details.	Neither support nor oppose	
94	94.5	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend Objective I334.2(12) to include the protection of the whenua/environmental/ecological capacity from a Te Ao Māori perspective. See pages 4 and 5 for details.	Neither support nor oppose	
94	94.6	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Support greater intensification provided buildings do not tower over Significant Ecological Areas	Support	
94	94.7	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend Policy I334.3(14) that in relation to built form and character, proposals should be sympathetic to the surrounding landscape. Refer to page 6 of the submission for details.	Support	
94	94.8	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Specify in the precinct the amount of open space including what proportions are to remain private and public open space.	Support	
94	94.9	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Ensure the amount of open space provides for the number of people who will live and work in the	Support	
94	94.10	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Clearly identify how open space will be used.	Support	
94	94.11	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Land that serves as utility e.g. stormwater ponds, should not be included as open space.	Neither support nor oppose	
94	94.12	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend Policy I334.3(27)(c) be amended as follows: 'Manage potential adverse effects from buildings at the precinct boundary by: (a) Establishing... (c) Require graduated heights... that adjoin Mixed Housing Suburban residential areas to the south of the precinct, and the significant ecological areas (SEAs) both within the precinct and in Te Auaunga (the valley)'	Neither support nor oppose	
94	94.13	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Support Policy I334.3(28) Integrated Development	Support	
94	94.14	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend Policy I334.3(40) by removing reference to passive surveillance from buildings of public land within Te Auaunga Valley.	Neither support nor oppose	
94	94.15	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Amend I334.9 Special Information Requirements Stormwater to retain requirements for Stormwater Management Plans or an amended version included to ensure management guidelines and protection of the receiving environments.	Support	
94	94.16	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Protect natural heritage - awa aquifers, puna/springs and geological features such as basalt outcrops.	Support	
94	94.17	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Provide a pest management plan and provide associated precinct policy	Support	
94	94.18	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Provide public parking areas, including bicycle racks, for access to Te Auaunga (the Valley).	Support	
94	94.19	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Protect Significant Ecological Areas within the precinct and on Te Auaunga (the valley) by applying setbacks	Support	
94	94.20	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Investigate the source of the two springs and undertake further daylighting.	Neither support nor oppose	
94	94.21	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Inferred - protect and enhance the Sanctuary Gardens	Support	
94	94.22	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	info@oakleycreek.org.nz	Provide for the Te Ao Māori perspective, including by further planting of native bush/ingahere	Support	
95	95.1	Sonny Rahman	s_rs@hotmail.co.uk	Opposes high rise buildings	Neither support nor oppose	
95	95.2	Sonny Rahman	s_rs@hotmail.co.uk	Opposes Mark Road being a high traffic area	Neither support nor oppose	
96	96.1	Karine David	kdavid014@yahoo.fr	Seeks that there be no change in Precinct Name	Neither support nor oppose	

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96	96.2	Karine David	kdavid014@yahoo.fr	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Neither support nor oppose	
96	96.3	Karine David	kdavid014@yahoo.fr	Seeks clarity on the overall intensity of development via a master plan	Support	
96	96.4	Karine David	kdavid014@yahoo.fr	Seeks more provision for open space	Support	
96	96.5	Karine David	kdavid014@yahoo.fr	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Neither support nor oppose	
97	97.1	Sara Remnerth	remnerth.sara@gmail.com	[Inferred] Seeks adequate provision for infrastructure, schools and other facilities	Neither support nor oppose	
97	97.2	Sara Remnerth	remnerth.sara@gmail.com	Develop a smaller part of the area, with lower building heights and with more green areas.	Support	
98	98.1	Talia Browne Goodger	taliagoodger@hotmail.com	Opposes due to inadequate provision for open space and that the Sanctuary Gardens is not identified	Support	
99	99.1	Renee Mathews	reneecatmat@gmail.com	Seeks that adequate provision be made for schools	Neither support nor oppose	
99	99.2	Renee Mathews	reneecatmat@gmail.com	Seeks that there be no culling of large trees	Support	
99	99.3	Renee Mathews	reneecatmat@gmail.com	Seeks that flooding be addressed	Support	
100	100.1	Evelyn McNamara	evelyn@ema-architects.com	Opposes due to effects on amenity and quality	Support	
100	100.2	Evelyn McNamara	evelyn@ema-architects.com	Provide a school	Neither support nor oppose	
100	100.3	Evelyn McNamara	evelyn@ema-architects.com	Provide more open space	Support	
100	100.4	Evelyn McNamara	evelyn@ema-architects.com	Opposes due to effects on clogged roads	Neither support nor oppose	
101	101.1	Donna Schofield	donnaandco@gmail.com	Opposes due to higher density than originally planned and impacts on infrastructure and surrounding areas	Neither support nor oppose	
101	101.2	Donna Schofield	donnaandco@gmail.com	Seeks more provision for open space	Support	
101	101.3	Donna Schofield	donnaandco@gmail.com	Provide a school onsite for ages 5 to 18.	Neither support nor oppose	
101	101.4	Donna Schofield	donnaandco@gmail.com	Retain Sanctuary Gardens as a community garden	Support	
102	102.1	Haidee Stairmand	haideestar@me.com	Seeks protection of mature trees	Support	
103	103.1	Alice van der Wende	alicevanderwende@gmail.co	Opposes due to effects of homes and population increase with no additional resources	Neither support nor oppose	
104	104.1	Sanctuary Community Organic Garden Mahi Whenua Inc.	trevorcrosby@actrix.co.nz	Opposes a change in Precinct Name	Neither support nor oppose	
104	104.2	Sanctuary Community Organic Garden Mahi Whenua Inc.	trevorcrosby@actrix.co.nz	Supports an increase in height of buildings provided it results in more useable open green space.	Neither support nor oppose	
104	104.3	Sanctuary Community Organic Garden Mahi Whenua Inc.	trevorcrosby@actrix.co.nz	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	
104	104.4	Sanctuary Community Organic Garden Mahi Whenua Inc.	trevorcrosby@actrix.co.nz	Supports zone changes.	Neither support nor oppose	
104	104.5	Sanctuary Community Organic Garden Mahi Whenua Inc.	trevorcrosby@actrix.co.nz	Seeks more provision for open space and that the Sanctuary Gardens be identified (detailed reasoning given)	Support	
105	105.1	Ngati Whatua Orakei Whai Rawa Limited	neild@ngatiwhatuorakei.com	Seeks to approve the plan change subject to rezoning the small area of land identified to Business Mixed Use (and subsequent amendments to Precinct Plan 1) by removing the land from Sub-Precinct C and Precinct Plan 3 by including the land in Height Area 4) ,identifying an area of land that can accommodate additional height with adverse effect. Refer to Map 1	Neither support nor oppose	
105	105.2	Ngati Whatua Orakei Whai Rawa Limited	neild@ngatiwhatuorakei.com	Seeks to approve the plan change subject to removal of Trees 39, 40 and 41 from the schedule and Precinct Plan 2	Oppose	The tree Council seeks that all scheduled trees are retained
106	106.1	Elizabeth Johnson	ella.a.joh@gmail.com	Seeks more provision for open space to retain mature forest and trees and that the Sanctuary Gardens be identified	Support	
107	107.1	Xenia Marcroft	xmarcroft@gmail.com	Opposes due to open space not being retained	Support	
107	107.2	Xenia Marcroft	xmarcroft@gmail.com	Opposes due to not enough infrastructure and services including schools and medical centres	Neither support nor oppose	
107	107.3	Xenia Marcroft	xmarcroft@gmail.com	Opposes due to traffic congestion	Neither support nor oppose	
108	108.1	Emma John	mrsemmajohn@gmail.com	Opposes due to increase in crime	Neither support nor oppose	
108	108.2	Emma John	mrsemmajohn@gmail.com	Opposes due to effects on schools	Neither support nor oppose	
108	108.3	Emma John	mrsemmajohn@gmail.com	Opposes due to increased traffic congestion	Neither support nor oppose	
109	109.1	Liz Sertsou	lizsertsou@yahoo.co.nz	Opposes due to lack of infrastructure	Neither support nor oppose	
109	109.2	Liz Sertsou	lizsertsou@yahoo.co.nz	Opposes due to effects on schools	Neither support nor oppose	
109	109.3	Liz Sertsou	lizsertsou@yahoo.co.nz	[Inferred] Seeks more open space due to population increase enabled by the plan change.	Support	
110	110.1	Kerry Palmer	Kerrypalmer789@gmail.com	Opposes due to traffic	Neither support nor oppose	
110	110.2	Kerry Palmer	Kerrypalmer789@gmail.com	Opposes due to infrastructure won't cope	Neither support nor oppose	
111	111.1	Bobby Willcox	bobby.willcox@gmail.com	Opposes due to effects on schools	Neither support nor oppose	
111	111.2	Bobby Willcox	bobby.willcox@gmail.com	Opposes due to effects on traffic	Neither support nor oppose	
111	111.3	Bobby Willcox	bobby.willcox@gmail.com	Opposes due to effects on drainage and infrastructure	Neither support nor oppose	

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112	112.1	Ockham Group Limited	jethro@baseplan.co.nz	Supports plan change and increases in building height.	Neither support nor oppose	
112	112.2	Ockham Group Limited	jethro@baseplan.co.nz	Seeks increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Neither support nor oppose	
113	113.1	Greta Yardley	gretayardley@gmail.com	Plan to develop Pt Chevalier for a positive community experience, including a library to build a positive/desirable community experience before intensifying with housing.	Support	
113	113.2	Greta Yardley	gretayardley@gmail.com	Include a school	Neither support nor oppose	
113	113.3	Greta Yardley	gretayardley@gmail.com	Provide more green space	Support	
113	113.4	Greta Yardley	gretayardley@gmail.com	Reduce the building height to a maximum of 5 stories.	Neither support nor oppose	
114	114.1	Jessica Tucker	jessneale@gmail.com	Opposes due to effects on schools	Neither support nor oppose	
114	114.2	Jessica Tucker	jessneale@gmail.com	Opposes due to insufficient doctors	Neither support nor oppose	
114	114.3	Jessica Tucker	jessneale@gmail.com	Opposes due to effects on traffic	Neither support nor oppose	
114	114.4	Jessica Tucker	jessneale@gmail.com	Opposes due to effects on the wastewater system	Neither support nor oppose	
114	114.5	Jessica Tucker	jessneale@gmail.com	Seeks more provision for open space	Support	
115	115.1	Christopher Casey	chriscaseyphysio@gmail.com	Seeks heritage protection, including of buildings 6 and 28	Support	
115	115.2	Christopher Casey	chriscaseyphysio@gmail.com	Seeks provision for open space be maximised	Support	
115	115.3	Christopher Casey	chriscaseyphysio@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
115	115.4	Christopher Casey	chriscaseyphysio@gmail.com	Seeks that maximum heights be declined	Neither support nor oppose	
115	115.5	Christopher Casey	chriscaseyphysio@gmail.com	Seeks protection of trees	Support	
115	115.6	Christopher Casey	chriscaseyphysio@gmail.com	Seeks protection of natural ecology	Support	
116	116.1	Jo Kleiner	jo8kleiner@gmail.com	Opposes due to lack of schools	Neither support nor oppose	
116	116.2	Jo Kleiner	jo8kleiner@gmail.com	Opposes due to lack of facilities and road infrastructure	Neither support nor oppose	
116	116.3	Jo Kleiner	jo8kleiner@gmail.com	Seeks more provision for open space	Support	
116	116.4	Jo Kleiner	jo8kleiner@gmail.com	Opposes due to lack of public transport and carparks	Neither support nor oppose	
117	117.1	Warren McQuoid	design2detail@outlook.com	Opposes due to effects on that schools can't cope	Neither support nor oppose	
117	117.2	Warren McQuoid	design2detail@outlook.com	Opposes due to effects on that traffic	Neither support nor oppose	
117	117.3	Warren McQuoid	design2detail@outlook.com	Opposes due to no infrastructure	Neither support nor oppose	
118	118.1	Campbell Hodgetts	chodgetts@gmail.com	Hold development heights at lower levels as previously approved, including maintaining height restriction on and around Carrington Road frontage at 18m	Neither support nor oppose	
118	118.2	Campbell Hodgetts	chodgetts@gmail.com	Opposes due to pressure on infrastructure, roads, services	Neither support nor oppose	
118	118.3	Campbell Hodgetts	chodgetts@gmail.com	Opposes due to local schools being ill-equipped to deal with influx of new students	Neither support nor oppose	
119	119.1	Natalie Munro	nchwatson@gmail.com	Seeks more provision for open space	Support	The Tree Council agrees that the plan change should ensure greater areas of protected open space
119	119.2	Natalie Munro	nchwatson@gmail.com	Opposes due to effects on natural beauty	Support	The Tree Council agrees that the plan change as proposed will result in a negative impacts on the adjacent natural ecology
119	119.3	Natalie Munro	nchwatson@gmail.com	Opposes due to effects on capacity of schools	Neither support nor oppose	
119	119.4	Natalie Munro	nchwatson@gmail.com	Opposes the Business-Mixed Use Zone as having inappropriate design controls	Neither support nor oppose	
119	119.5	Natalie Munro	nchwatson@gmail.com	Opposes due to inadequate infrastructure, facilities and services	Neither support nor oppose	
120	120.1	Marutūāhu Rōpū	jethro@baseplan.co.nz	Supports plan change and increases in building height.	Neither support nor oppose	
120	120.2	Marutūāhu Rōpū	jethro@baseplan.co.nz	Seeks additional increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Oppose	The Tree Council considers that any additional increases in height standards beyond those proposed in the Plan Change would result in greater scale and visual bulk imposed on the landscape. The current Plan Change does not retain adequate mature large trees which could soften and mitigate such negative visual impacts
121	121.1	Claire Sutton	claire.n.sutton@gmail.com	Opposes due to roads, schools and infrastructure can't cope	Neither support nor oppose	
122	122.1	Christina Miskimmons	write2chris@yahoo.com	Opposes due to no plans as infrastructure, schools can't cope.	Neither support nor oppose	
123	123.1	Julia Halpin	juliahlpin29@gmail.com	Opposes due to effects on that infrastructure can't cope, schools at capacity, need to protect green spaces, increase in crime	Support	The Tree Council supports the protection of existing green spaces within the area of the Plan Change
124	124.1	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Provide a comprehensive masterplan prior to any resource consents for residential buildings being granted.	Neither support nor oppose	
124	124.2	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Consider a central location for public transport within the precinct at the lowest point, the provision of a 'bow road' for private vehicle trips through the precinct and construction of a rail spur connecting to the Western Line at Mt Albert ,	Neither support nor oppose	
124	124.3	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Assess traffic and other infrastructural constraints to place a hard limit on the proposed number of dwellings	Neither support nor oppose	

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124	124.4	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Significantly increase the amount of public open space proposed in the Precinct up to a level appropriate for the number of people living in and around the precinct.	Support	The Tree Council supports the increase in designated open space within the Precinct
124	124.5	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Significant changes are required to address the disasters waiting to happen along the Carrington Road Frontage and in regard to the extraordinarily tall and dominant buildings that the Change	Neither support nor oppose	
124	124.6	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Reduced height limits and increased distances between buildings are required.	Neither support nor oppose	
124	124.7	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Restrict site coverage to provide greater landscaped areas an space for tall trees between buildings.	Support	
124	124.8	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Retain and extend existing tree protection provisions and increase the area of land required to be soft landscaped within the precinct.	Support	
124	124.9	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Removal of identified trees, removal of identified character buildings and buildings above height	Support	
124	124.10	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Retain the names 'Wairaka precinct' and 'Oakley Creek' and amend precinct provisions accordingly.	Neither support nor oppose	
124	124.11	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.1 Precinct Description. Refer to Schedule 1, points 3-23 for details.	Neither support nor oppose	
124	124.12	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Objective I334.2 (1) as follows: <i>The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for open space , growth, change and diversification of activities that provide a high level of amenity within the Precinct and the surrounding area</i> . Refer to Schedule 1 point 26	Support	
124	124.13	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Objective I334.2 (2) as follows: <i>Comprehensive planning and integrated development of all sites within the precinct is achieved prior to further resource consents for residential development or new buildings being granted.</i>	Neither support nor oppose	
124	124.14	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Objective I334.2(3) as follows: <i>A mix of residential, business, tertiary education...is provided which maximises the efficient and effective use of land and provides for a variety of terraced housing and low to mid rise apartments built form typologies</i> .	Neither support nor oppose	
124	124.15	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Objective I334.2(5) regarding the commercial laundry. Refer to Schedule 1, point 27 for details	Neither support nor oppose	
124	124.16	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Objective I334.2(6) as follows : <i>Identified heritage values are retained through the adaptation of the scheduled buildings and identified character buildings and retention of identified trees...are recognised, protected and enhanced in the precinct.</i>	Support	
124	124.17	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Add a new objective I334.2(7A) as follows: <i>The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.</i>	Support	
124	124.18	Geoffrey John Beresford		Add new Objective I334.2(7B) relating to urban forests. Refer to Schedule 1, point 30 for	Support	
124	124.19	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Objective 1334.2(10)(e) and (f) to clarify reference to existing communities and to remove reference to Māori cultural promotion and economic development. Refer to Schedule 1, submission point 34 for details.	Neither support nor oppose	
124	124.20	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Objective I334.2(12) relating to Māori economic outcomes.	Neither support nor oppose	
124	124.21	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Objective I334.2(13) relating to Height Area 1. Refer to Schedule 1, point 37 for details	Neither support nor oppose	
124	124.22	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 38 for details.	Support	
124	124.23	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(4) relating to the provision of activities. Refer to Schedule 1, points 39-44	Neither support nor oppose	
124	124.24	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(6) as follows: Encourage a mix of residential lifestyles and a <u>variety</u> of housing typologies to cater for a diverse residential community at Te Auaunga.	Neither support nor oppose	
124	124.25	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(7) as follows: <i>Provide for a mix of residential and business activities which will enable development of a residential core well-functioning urban environment within the Precinct</i>	Neither support nor oppose	
124	124.26	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(8) to remove the word 'of' . Refer to Schedule 1, point 48 for details	Neither support nor oppose	
124	124.27	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Add a new policy I334.3 (10A) to manage subdivision and development. Refer to Schedule 1 point 49 for details	Neither support nor oppose	
124	124.28	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(11) as follows: Encourage <i>Require the retention and adaption of the heritage and character buildings, and elements identified in the precinct.</i>	Neither support nor oppose	
124	124.29	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I 334.3(13) to strengthen the standard of amenity for new building from high to exemplary. Refer to Schedule 1, point 51 for details.	Neither support nor oppose	

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124	124.30	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(14) widen the application of landscaping and design considerations to apply across the entire precinct. Refer to Schedule 1, point 30 for details	Support	
124	124.31	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Policy I334.3(14A) relating the provision of taller buildings in the north-west par of the precinct.	Neither support nor oppose	
124	124.32	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Policy I334.3(14AA) relating to proposals for new buildings adjacent to the scheduled Hospital building.	Neither support nor oppose	
124	124.33	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Policy I334.3(14B) limiting taller buildings to the central part of the precinct only.	Neither support nor oppose	
124	124.34	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 56-58 for	Support	
124	124.35	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Add a new Policy I334.3.(15A) to add at least 7.1 ha of key open space (private) within the precinct. Refer to Schedule 1, point 59 for details.	Support	
124	124.36	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Add a new Policy I334.3(15AA) to give effect to the amendments sought to Policy I334.3(15A). Refer to Schedule 1, point 36 for details.	Neither support nor oppose	
124	124.37	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3.(16) to include walkways to provide better connectivity. Refer to Schedule 1, point 61 for details.	Neither support nor oppose	
124	124.38	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(17)as follows: <i>Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and places within the precinct.</i>	Support	
124	124.39	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(18) to improve the amenity of the precinct and functionality of pedestrian and cycle linkages. Refer to Schedule 1, point 63 for details	Support	
124	124.40	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(20) to ensure public transport is appropriately provided for. Refer to Schedule 1, point 64 -66 for details	Neither support nor oppose	
124	124.41	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(22) making undergrounding of the Woodward Road rail crossing a trigger for development and managing roading connections including local streets to the south. Refer to	Neither support nor oppose	
124	124.42	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(23) to clarify the number of dwellings that trigger an Integrated Transport Assessment. Refer to Schedule 1, point 69 for details	Neither support nor oppose	
124	124.43	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(27) in relation to managing potential adverse effects from buildings at the precinct boundary. Refer to Schedule 1, points 71-73 for details	Neither support nor oppose	
124	124.44	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(28) to require provision of a masterplan prior to the granting of consents for residential dwellings. Refer to Schedule 1, point 74 for details	Neither support nor oppose	
124	124.45	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(29) to provide for community activities within the precinct to minimise vehicle trips. Refer to Schedule 1, point 45 for details	Neither support nor oppose	
124	124.46	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3 (30A) as follows: <i>Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.</i>	Neither support nor oppose	
124	124.47	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Policy I334.3(30A) to reinsert a reference to Policy I4432.3(15A). Refer to Schedule 1, point 77 for details.	Neither support nor oppose	
124	124.48	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.4 Activity Tables, Refer to Schedule 1 points 78 - 95 for details	Neither support nor oppose	
124	124.49	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Notification I334.5 (1B) to remove provisions for restricted discretionary activities	Neither support nor oppose	
124	124.50	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.5 (2) Notification to reinsert reference to Standard I344.5(1A). Refer to Schedule 1,	Neither support nor oppose	
124	124.51	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6 to retain interpretation of the standards. Refer to Schedule 1, point 98 for details	Neither support nor oppose	
124	124.52	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6.4 Height Refer to Schedule 1, point 99 for details	Neither support nor oppose	
124	124.53	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6. 5 Landscaping. Refer to Schedule 1, point 100 for details	Neither support nor oppose	
124	124.54	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6.6 Precinct boundary setback to retain Carrington Road setback. Refer to Schedule 1, point 101 for details	Neither support nor oppose	
124	124.55	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6.7 Tree Protection . Refer to Schedule 1, points 102 for details	Support	
124	124.56	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6.8 Access. Refer to Schedule 1, point 103 for details	Neither support nor oppose	
124	124.57	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Standard I334.6 10 Building to building set back. Refer to Schedule 1, point 104 for details	Neither support nor oppose	
124	124.58	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete Standards I334.6.11.1 Maximum Tower Dimensions and I334.6.11.2 Wind. Refer to Schedule 1, point 105 for details	Neither support nor oppose	

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124	124.59	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.7.1(2) Matters of control [Controlled Activities] Subdivision, Refer to Schedule 1, point 106 for details	Neither support nor oppose	
124	124.60	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.7.2.2(a) Assessment criteria [Controlled Activities] to retain reference to Policy 15A and expand the criteria relating to site requirements. Refer to Schedule 1, point 107 and 108 for details	Neither support nor oppose	
124	124.61	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.8.1 (1A) . Matters of Discretion [Restricted discretionary activities]- New buildings which comply with Standard I334.6.4 Height. Refer to Schedule 1, points 109-126 for details	Neither support nor oppose	
124	124.62	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete I334.8.1 (1B). Matters of Discretion [Restricted discretionary activities] - Buildings within the height areas identified on Precinct Plan 3 that exceed the height specified. Refer to Schedule 1, point 127 for details	Neither support nor oppose	
124	124.63	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend 1334.8.1(2) Matters of discretion [Restricted discretionary activities] - Parking Buildings.	Neither support nor oppose	
124	124.64	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.8.1(4) Matters for Discretion [Restricted Discretionary activities] - Development not other listed in Tables I334.4.1, I334.4.3, I 334.4.4 that is generally in accordance with the	Neither support nor oppose	
124	124.65	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.8.1(5) Matters for Discretion [Restricted Discretionary activities] Development and/or subdivision that does not comply with standards... Refer to Schedule 1, points 132-	Neither support nor oppose	
124	124.66	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend 1334.8.2.(1) Assessment criteria [Restricted discretionary activities] by reinstating clauses (a) to (f) for retail (including food and beverage) activities. Refer to Schedule 1, point 136	Neither support nor oppose	
124	124.67	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete I334.8.2 (1B) Assessment criteria [Restricted discretionary activities]- Buildings within the height areas identified on Precinct Plan 3 that exceed the height specified. Refer to Schedule 1, point 137 for details	Neither support nor oppose	
124	124.68	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete I334.8.2 Assessment criteria [Restricted discretionary activities]- multiple unspecified deletions. Refer to Schedule 1, point 138 for details	Neither support nor oppose	
124	124.69	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Delete I334.8.(1A) Assessment criteria [Restricted discretionary activities] New buildings under I334.4.1(A21C) that comply with Standard I334.6.4 Height. Refer to Schedule 1, point 139 for details	Neither support nor oppose	
124	124.70	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.8.4 Assessment criteria [Restricted discretionary activities] for Any development not otherwise listed in Tables I334.4.1, I334.4.3 and I 334.44. Refer to Schedule 1, points 140-143	Neither support nor oppose	
124	124.71	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend I334.9(3) (b) Special Information Requirements to include planting specifications. Refer to Schedule 1, point 144 for details	Neither support nor oppose	
124	124.72	Geoffrey John Beresford	geoff@beresfordlaw.co.nz	Amend Zoning Map to zone land to give effect to the amendments.	Neither support nor oppose	
125	125.1	Helen Gilligan-Reid	helenofrovris@hotmail.com	[Inferred] Seeks more open space	Support	
125	125.2	Helen Gilligan-Reid	helenofrovris@hotmail.com	Opposes due to more high rise buildings too close to Oakley Creek	Neither support nor oppose	
126	126.1	Portia Lawre	portialawrence@signature.co	Opposes due to public utilities being constrained	Neither support nor oppose	
126	126.2	Portia Lawre	portialawrence@signature.co	Seeks more provision for open space	Support	
126	126.3	Portia Lawre	portialawrence@signature.co	Opposes due to effects on the capacity of schools	Neither support nor oppose	
126	126.4	Portia Lawre	portialawrence@signature.co	Opposes the Business-Mixed Use zoning due to poorer outcomes for residents	Neither support nor oppose	
126	126.5	Portia Lawre	portialawrence@signature.co	Opposes due to effects on traffic safety and parking	Neither support nor oppose	
126	126.6	Portia Lawre	portialawrence@signature.co	Opposes a change in Precinct Name	Neither support nor oppose	
127	127.1	Colin Robert Symonds	im.c.snz@gmail.com	Opposes due to impact on services, no consultation with service providers	Neither support nor oppose	
128	128.1	Judy Dale	79 Huia Road Pt Chevalier Auckland 1022	Opposes due to effects on schools, infrastructure, traffic, open space	Support	
129	129.1	Paul Tudor	ptudor@tonkintaylor.co.nz	[Inferred] Seeks more open space and protection of Sanctuary Gardens	Support	
129	129.2	Paul Tudor	ptudor@tonkintaylor.co.nz	Seeks to retain mature trees	Support	
130	130.1	Carol Gunn	manager@grevlynnfarmersma	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
131	131.1	Katrina Smith	katian23@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
132	132.1	Kate Rensen	katerensen@xtra.co.nz	Opposes due to effects of density and building heights	Neither support nor oppose	
132	132.2	Kate Rensen	katerensen@xtra.co.nz	[Inferred] Seeks more open space and seeks a greater Te Auaunga-Oakley Creek building set back	Support	
132	132.3	Kate Rensen	katerensen@xtra.co.nz	Opposes due to no land zoned for schools	Neither support nor oppose	
132	132.4	Kate Rensen	katerensen@xtra.co.nz	Opposes the Business-Mixed Use zoning due to poorer outcomes	Neither support nor oppose	
132	132.5	Kate Rensen	katerensen@xtra.co.nz	Opposes due to effects of traffic on Mark Road	Neither support nor oppose	

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132	132.6	Kate Rensen	katerensen@xtra.co.nz	More planning and consultation by developers and council is required	Neither support nor oppose	
133	133.1	Samantha Smith	samlewis6@gmail.com	Opposes due to no allocation for schools	Neither support nor oppose	
133	133.2	Samantha Smith	samlewis6@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
133	133.3	Samantha Smith	samlewis6@gmail.com	No provisions for facilities or services such as medical, community and social support	Neither support nor oppose	
134	134.1	Jennifer Gibbs	jenandtim@mac.com	Seeks the protection of green space	Support	
134	134.2	Jennifer Gibbs	jenandtim@mac.com	Seeks no extension to building heights of tower blocks	Neither support nor oppose	
135	135.1	Ronald Philip Tapply	lapron@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
135	135.2	Ronald Philip Tapply	lapron@xtra.co.nz	Opposes due to more parking required	Neither support nor oppose	
135	135.3	Ronald Philip Tapply	lapron@xtra.co.nz	Seeks that the areas be residential	Neither support nor oppose	
135	135.4	Ronald Philip Tapply	lapron@xtra.co.nz	Provision for a school needs to be considered	Neither support nor oppose	
135	135.5	Ronald Philip Tapply	lapron@xtra.co.nz	Seeks more provision for open space	Support	
135	135.6	Ronald Philip Tapply	lapron@xtra.co.nz	Opposes due to the need for height restrictions	Neither support nor oppose	
136	136.1	Jade Harris	jadesharris@gmail.com	Seeks that Mark Road not be opened	Neither support nor oppose	
137	137.1	Rachel Neal	rachsimspon74@gmail.com	Opposes due to effects on schools, infrastructure, traffic	Neither support nor oppose	
138	138.1	Penelope Hansen	pghansen48@gmail.com	Support development of site for families in need of housing	Neither support nor oppose	
				Development to be guided by a masterplan, working around notable trees and the 1000 remaining trees on the site. Seeks to identify trees, using qualified arborists, and protect trees including covenants and notable tree listings.	Support	
138	138.2	Penelope Hansen	pghansen48@gmail.com			
138	138.3	Penelope Hansen	pghansen48@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
139	139.1	Ann McShane	cushlam4@gmail.com	Seeks more provision for open space and that the Sanctuary Gardens be identified	Support	
140	140.1	Bryce Long	brycelong@gmail.com	Opposes due to the effects of density and building heights	Neither support nor oppose	
140	140.2	Bryce Long	brycelong@gmail.com	Seeks more provision for open space	Support	
140	140.3	Bryce Long	brycelong@gmail.com	Opposes due to no land zoned for schools	Neither support nor oppose	
140	140.4	Bryce Long	brycelong@gmail.com	Opposes the Business-Mixed Use Zone	Neither support nor oppose	
140	140.5	Bryce Long	brycelong@gmail.com	Opposes the connection to Mark Road	Neither support nor oppose	
141	141.1	Sarah Harris	sarah.harris997@gmail.com	Opposes due to there being no provision for at least a primary school	Neither support nor oppose	
141	141.2	Sarah Harris	sarah.harris997@gmail.com	Opposes due to the loss of mature trees and effects on flooding	Support	
141	141.3	Sarah Harris	sarah.harris997@gmail.com	Seeks that the creek needs to be protected against pollution	Support	
142	142.1	Ngāi Tai ki Tāmaki	Lynette@ngaitaitamaki.iwi.nz AND	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāi	Neither support nor oppose	
142	142.2	Ngāi Tai ki Tāmaki	Lynette@ngaitaitamaki.iwi.nz AND	Supports the Precinct Name change	Neither support nor oppose	
142	142.3	Ngāi Tai ki Tāmaki	Lynette@ngaitaitamaki.iwi.nz AND	Supports the proposed zoning and provisions	Neither support nor oppose	
143	143.1	Mt Albert Residents Association	ecoludd@outlook.com	Seeks no through road into southern suburbs from northern part of the precinct	Neither support nor oppose	
144	144.1	Timothy James Gibbs	gibbs.t@mac.com	Opposes minimising open space	Support	
144	144.2	Timothy James Gibbs	gibbs.t@mac.com	Opposes due to the proposed building heights being disproportionate	Neither support nor oppose	
145	145.1	Tim Buchanan	timothyandrewbuchanan@gmail.com	Lower overall density to support less impacts on the environment and wider catchment	Neither support nor oppose	
146	146.1	Doris Fryer	dorant@xtra.co.nz	Opposes due to no planning, services or infrastructure to support the project including schools	Neither support nor oppose	
146	146.2	Doris Fryer	dorant@xtra.co.nz	Opposes due to insufficient parking	Neither support nor oppose	
146	146.3	Doris Fryer	dorant@xtra.co.nz	Opposes due to effects on safety and security	Neither support nor oppose	
147	147.1	Alice Wong	alicewong172@gmail.com	Opposes due to there being no school zone	Neither support nor oppose	
147	147.2	Alice Wong	alicewong172@gmail.com	Seeks three stories maximum building height	Neither support nor oppose	
148	148.1	Marnie Patten	marniecox@gmail.com	Supports plan to build more houses for Aucklanders	Neither support nor oppose	
148	148.2	Marnie Patten	marniecox@gmail.com	Seeks more provision for green space	Support	
148	148.3	Marnie Patten	marniecox@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
148	148.4	Marnie Patten	marniecox@gmail.com	Seeks to retain mature trees	Support	
148	148.5	Marnie Patten	marniecox@gmail.com	New school required	Neither support nor oppose	
149	149.1	Scott Whitten	scottwhitten@rocketmail.com	Opposes heights along southern boundary including daylight and shading, including on 13 and 24 Rhodes Ave	Neither support nor oppose	
150	150.1	Patricia Allen	trishallengz@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
151	151.1	Aktive	simon.tattersfield@aktive.org	Seeks provision made for sports fields	Neither support nor oppose	
152	152.1	Penelope Savidan	penelope.savidan@gmail.com	Seeks more provision for open space	Support	
153	153.1	Bojan Jovanovic	bojan.jovanovic.nz@icloud.com	Seeks clarification that roading will not be connected to roads to the south allowing rat running	Neither support nor oppose	
154	154.1	Helen Ruth Scott	helenruthscott@hotmail.com	Opposes due to effects on services, infrastructure, schools, open space and traffic	Neither support nor oppose	
155	155.1	Josephine Williams	jowilliams111@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	

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155	155.2	Josephine Williams	jowilliams111@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
155	155.3	Josephine Williams	jowilliams111@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
155	155.4	Josephine Williams	jowilliams111@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
155	155.5	Josephine Williams	jowilliams111@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Support	
155	155.6	Josephine Williams	jowilliams111@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
155	155.7	Josephine Williams	jowilliams111@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Neither support nor oppose	
155	155.8	Josephine Williams	jowilliams111@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
155	155.9	Josephine Williams	jowilliams111@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Neither support nor oppose	
155	155.10	Josephine Williams	jowilliams111@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
155	155.11	Josephine Williams	jowilliams111@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
155	155.12	Josephine Williams	jowilliams111@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
156	156.1	Phillip Anderson	phillip.brass@gmail.com	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
156	156.2	Phillip Anderson	phillip.brass@gmail.com	Seeks more provision for open space	Support	
156	156.3	Phillip Anderson	phillip.brass@gmail.com	Provide for a school	Neither support nor oppose	
157	157.1	Brigitte Lambert	brigitte.lambert@hotmail.com	Provide for a school	Neither support nor oppose	
157	157.2	Brigitte Lambert	brigitte.lambert@hotmail.com	Seeks clarification that infrastructure will be upgraded.	Neither support nor oppose	
157	157.3	Brigitte Lambert	brigitte.lambert@hotmail.com	Development to be setback from Oakley Creek	Neither support nor oppose	
157	157.4	Brigitte Lambert	brigitte.lambert@hotmail.com	Developer to meet the cost of required additional road upgrades	Neither support nor oppose	
157	157.5	Brigitte Lambert	brigitte.lambert@hotmail.com	Parking needs to be enough to meet demand	Neither support nor oppose	
157	157.6	Brigitte Lambert	brigitte.lambert@hotmail.com	Protect mature trees	Support	
157	157.7	Brigitte Lambert	brigitte.lambert@hotmail.com	Restrict building height to no more than 27m and density of development	Neither support nor oppose	
157	157.8	Brigitte Lambert	brigitte.lambert@hotmail.com	Opposes Business - Mixed Use as it delivers poor outcomes for future residents	Neither support nor oppose	
158	158.1	Cameron Michael Owens	camowens@gmail.com	Opposes due to insufficient facilities and infrastructure including schools	Neither support nor oppose	
159	159.1	Rachel Mulhern	rach.mulhern@gmail.com	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
160	160.1	Jill Chestnut	chestnut.jill@gmail.com	Opposes due to insufficient facilities and infrastructure including schools	Neither support nor oppose	
160	160.2	Jill Chestnut	chestnut.jill@gmail.com	Opposes due to effects on that 25 stories will impact nearby ecology and environment	Neither support nor oppose	
161	161.1	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly supports rezoning from 'Special Purpose: Tertiary Education' to Business - Mixed Use.	Neither support nor oppose	
161	161.2	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly support the proposed amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct.	Neither support nor oppose	
161	161.3	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly support the identification of areas within the precinct where additional height can be accommodated.	Neither support nor oppose	
161	161.4	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly support the proposed additional development controls around wind, separation of buildings, and the maximum dimension of floor plates are introduced, in areas where higher buildings are allowed.	Neither support nor oppose	
161	161.5	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly support detailed design criteria to ensure all buildings, and particularly the higher buildings, achieve a high quality of design and functionality.	Neither support nor oppose	

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161	161.6	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	dominik.peter.elsen@gmail.com	Strongly support the proposed amendments to the precinct provisions to the precinct provisions to equitably redistribute retail provision within the precinct (excluding Sub-Precinct A – the Mason Clinic) due to the redistribution of land from Special Purpose: Tertiary Education to zoning that enables housing development. The same overall retail cap is maintained.	Neither support nor oppose	
162	162.1	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend the Precinct Description to include references to the historic heritage values of the site. Refer to submission for details.	Support	
162	162.2	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend Objective I334.2(10)(b) to incorporate the natural and built, that includes its historic heritage and cultural values, environmental attributes of the Precinct. Refer to submission for details.	Support	
162	162.3	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Insert a new objective to provide direction for the protection of the historic heritage landscape of	Support	
162	162.4	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend Policy (14AA) to read: Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form the primacy of the historic heritage building.	Neither support nor oppose	
162	162.5	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Retain Proposed Policy 30A: 'Encourage the adaptive reuse of the existing buildings with historic value for [retail] and other activities.'	Neither support nor oppose	
162	162.6	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Retain the activity status Restricted Discretionary Activity for I334.4.1 (A21D) Buildings within the Height Areas identified on Precinct plan 3 - Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 - Te Auaunga Additional Height.	Neither support nor oppose	
162	162.7	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend the activity status from a Restricted Discretionary to a Discretionary Activity for I334.4.1 (A21E) Buildings within Height Area 1 identified on Precinct plan 3 - Te Auaunga Additional Height between 35m and 72m.	Neither support nor oppose	
162	162.8	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Delete I334.5 (1B):[Notification] An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991	Neither support nor oppose	
162	162.9	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Request further analysis be undertaken [inferred in relation to proposed standard I334.6.4 Height] to ensure greater appropriate standards are formulated to specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1, 2, and 4. Refer to submission for details.	Neither support nor oppose	
162	162.10	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Request further analysis be undertaken [inferred in relation to proposed standard I334.6.11 Maximum tower dimension - height Area 1 and Area 2 and Table I334.6.11.1] to ensure greater appropriate standards are formulated to specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1 and 2. Refer to submission for details.	Neither support nor oppose	
162	162.11	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend I334.8(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height(b)(ii) to read: The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form the primacy of the historic heritage building.	Neither support nor oppose	
162	162.12	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Request consequential changes to the assessment criteria standards if a Discretionary Activity status is applied to I334.4.1 (A21E).	Neither support nor oppose	
162	162.13	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Amend the Precinct Plan 3 to indicate the Scheduled historic heritage extent of place of Oakley Hospital (Schedule 14.1 ID# 01618).	Neither support nor oppose	
162	162.14	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Retain the historic heritage provisions (Schedule 14.1 Schedule of Historic Heritage) for the scheduled Oakley Hospital and its extent of place.	Neither support nor oppose	
162	162.15	Heritage New Zealand Pouhere Taonga	infonorthern@heritage.org.nz	Retain the historic heritage provisions (D17 Historic Heritage Overlay) for the scheduled Oakley Hospital and its extent of place.	Neither support nor oppose	
163	163.1	Rochelle Taylor	rochellednz@gmail.com	Opposes due to insufficient green spaces, carparks, facilities and infrastructure. Provisions must be in place before development can occur	Support	
164	164.1	Rochelle Sewell	Rochelle.Sewell@xtra.co.nz	Opposes due to insufficient facilities and infrastructure including social infrastructure (i.e. schools, libraries). Applicant to report on consultation with crown agencies particularly the Ministry of Education	Neither support nor oppose	
164	164.2	Rochelle Sewell	Rochelle.Sewell@xtra.co.nz	Align provision for green space with council's broader open space strategy	Support	
164	164.3	Rochelle Sewell	Rochelle.Sewell@xtra.co.nz	Provide green solutions to absorb stormwater including sufficient setbacks from the river and engaging Friends of Oakley Creek as a strategic partner with council	Support	

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165	165.1	Linda Martin	linda@indietravelmedia.com	Seeks more provision for green space	Support	
165	165.2	Linda Martin	linda@indietravelmedia.com	Add a school	Neither support nor oppose	
165	165.3	Linda Martin	linda@indietravelmedia.com	Seeks more than a 10m setback to Oakley Creek	Neither support nor oppose	
165	165.4	Linda Martin	linda@indietravelmedia.com	Seeks to retain the current Precinct Name	Neither support nor oppose	
165	165.5	Linda Martin	linda@indietravelmedia.com	Limit buildings to six stories	Neither support nor oppose	
166	166.1	Brett Colliver	brettcolliver@gmail.com	Opposes due to infrastructure not in place	Neither support nor oppose	
167	167.1	Stuart Duncan	swduncan78@gmail.com	Opposes due to insufficient facilities and infrastructure, including schools	Neither support nor oppose	
168	168.1	Tim Strawbridge	tstrawbridge@gmail.com	Opposes due to no plan for school zones	Neither support nor oppose	
168	168.2	Tim Strawbridge	tstrawbridge@gmail.com	Opposes due to density and height being incongruous to any area outside the CBD	Neither support nor oppose	
168	168.3	Tim Strawbridge	tstrawbridge@gmail.com	Seeks more provision for open space	Support	
168	168.4	Tim Strawbridge	tstrawbridge@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
168	168.5	Tim Strawbridge	tstrawbridge@gmail.com	Opposes due to the Business-Mixed zoning not being appropriate, distance of buildings from roads and streams	Neither support nor oppose	
169	169.1	Michael Tilley	michaelrobtiley@gmail.com	Opposes due to effects on that infrastructure won't cope	Neither support nor oppose	
170	170.1	John Stevenson	john.stevenson@outlook.com	Opposes a change in Precinct Name	Neither support nor oppose	
170	170.2	John Stevenson	john.stevenson@outlook.com	Provide a comprehensive masterplan which details the open space requirements for projected 12,000 new residents	Neither support nor oppose	
170	170.3	John Stevenson	john.stevenson@outlook.com	Retain Mahi Whenua Sanctuary Gardens	Support	
170	170.4	John Stevenson	john.stevenson@outlook.com	Opposes due to effects on that stormwater plans must protect Wairaka springs / puna, Wairaka stream/awa, complete daylighting	Support	
170	170.5	John Stevenson	john.stevenson@outlook.com	Seeks to apply setbacks to all SEA land, protect Te Auaunga awa / valley from overshadowing,	Support	
170	170.6	John Stevenson	john.stevenson@outlook.com	Seeks amendments to protect natural heritage (springs, waterways, trees and vegetation, and geological features	Support	
171	171.1	Philippa Martin	philippamartin@xtra.co.nz	Opposes due to insufficient facilities, including schools, and infrastructure	Neither support nor oppose	
171	171.2	Philippa Martin	philippamartin@xtra.co.nz	Need more open spaces	Support	
172	172.1	Diana McKergow	diana.mckergow@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
172	172.2	Diana McKergow	diana.mckergow@gmail.com	Include cycle paths	Neither support nor oppose	
173	173.1	Alexandra	alexandravfarrell@gmail.com	Opposes due to insufficient facilities, including schools, and infrastructure	Neither support nor oppose	
173	173.2	Alexandra	alexandravfarrell@gmail.com	Opposes due to effects on safety	Neither support nor oppose	
174	174.1	Evie Mackay	10 Boscawen street Point Chevalier Auckland 1022	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
175	175.1	Morgan O'Hanlon	morganbatty@gmail.com	Opposes due to insufficient facilities, including schools, and infrastructure	Neither support nor oppose	
175	175.2	Morgan O'Hanlon	morganbatty@gmail.com	Need more green spaces not less	Support	
176	176.1	Matt	mattfarrell86@me.com	Decline the plan change	Neither support nor oppose	
177	177.1	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to infrastructure at capacity	Neither support nor oppose	
177	177.2	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to effects on traffic and parking	Neither support nor oppose	
177	177.3	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to no proposed school	Neither support nor oppose	
177	177.4	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to effects of flooding	Support	
177	177.5	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to crime	Neither support nor oppose	
177	177.6	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to concerns about where will rubbish bins go, how will trucks navigate	Neither support nor oppose	
177	177.7	Kerrin Brown	kerrin@bellaconsultants.co.nz	Opposes due to effects of building height, including on mental health	Neither support nor oppose	
178	178.1	Malcolm Lay	malcolmr.lay@gmail.com	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
178	178.2	Malcolm Lay	malcolmr.lay@gmail.com	Opposes due to no parking	Neither support nor oppose	
178	178.3	Malcolm Lay	malcolmr.lay@gmail.com	Opposes due to loss of green spaces	Support	
179	179.1	Liveable Communities Inc	liveablecommunities@gmail.com	Seeks that all open space for passive recreation and associated trees should be retained and protected. Mechanisms include covenants or similar, and zoning of open space. Do not establish any more sport fields.	Support	Agree that history of open space loss in this local area for SH20 is not recognised and will be compounded by the loss of green space & mature trees in this development. Also that incremental loss of trees will continue once individual lots are created unless legally protected via covenant or scheduling & placed onto LIM of new lots.
179	179.2	Liveable Communities Inc	liveablecommunities@gmail.com	Complete an evaluation of trees by a qualified arborist in conjunction with notable trees listing.	Support	
179	179.3	Liveable Communities Inc	liveablecommunities@gmail.com	Seeks archaeological / cultural site(s) to be protected	Support	
179	179.4	Liveable Communities Inc	liveablecommunities@gmail.com	Seeks an overall plan, including established trees and open space areas, and incorporating community input.	Support	
180	180.1	Jo Tilley	joeliason@gmail.com	Opposes due to insufficient facilities, including schools, and infrastructure	Neither support nor oppose	

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181	181.1	Marcus Cameron	marcusmc74@gmail.com	Seeks clarity, including in provisions, that roads will not be connected to Carrington Road, allowing for a rat run	Neither support nor oppose	
181	181.2	Marcus Cameron	marcusmc74@gmail.com	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction and how the residents parking proposal will work and be enforced	Neither support nor oppose	
181	181.3	Marcus Cameron	marcusmc74@gmail.com	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Neither support nor oppose	
181	181.4	Marcus Cameron	marcusmc74@gmail.com	Opposes due to insufficient facilities, public open space and infrastructure	Support	
182	182.1	Nina Patel	ninapatel@xtra.co.nz	Seeks to incorporate existing remaining landscape character, and its unique properties, intergrated into future development	Support	
182	182.2	Nina Patel	ninapatel@xtra.co.nz	Seeks no further loss of quality trees and greater protection and integration of more mature trees within the Precinct Plan	Support	
182	182.3	Nina Patel	ninapatel@xtra.co.nz	Seeks identification / protection of the Sanctuary Gardens	Support	
182	182.4	Nina Patel	ninapatel@xtra.co.nz	Seeks greater building setbacks along Carrington Road	Support	Agree that retention of mature trees would soften landscape impact of scale & bulk of buildings
183	183.1	Sandesh Heinicke	sandesh.heinicke@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
183	183.2	Sandesh Heinicke	sandesh.heinicke@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
183	183.3	Sandesh Heinicke	sandesh.heinicke@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
183	183.4	Sandesh Heinicke	sandesh.heinicke@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in	Support	
183	183.5	Sandesh Heinicke	sandesh.heinicke@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
183	183.6	Sandesh Heinicke	sandesh.heinicke@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
183	183.7	Sandesh Heinicke	sandesh.heinicke@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
183	183.8	Sandesh Heinicke	sandesh.heinicke@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
183	183.9	Sandesh Heinicke	sandesh.heinicke@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
183	183.10	Sandesh Heinicke	sandesh.heinicke@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
183	183.11	Sandesh Heinicke	sandesh.heinicke@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
183	183.12	Sandesh Heinicke	sandesh.heinicke@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
184	184.1	David Ross and Wendy Beverley Allan	dwallan@xtra.co.nz	Opposes due to no schools provided	Neither support nor oppose	
184	184.2	David Ross and Wendy Beverley Allan	dwallan@xtra.co.nz	Seeks more provision for green space	Support	
185	185.1	Louise Punt	louisemspeed@gmail.com	Opposes due to insufficient facilities, including schools, and infrastructure	Neither support nor oppose	
186	186.1	Lisa Paulsen	lisanesherman@gmail.com	Seeks more provision for green space	Support	
186	186.2	Lisa Paulsen	lisanesherman@gmail.com	Seeks a residential zone, not a business-mix zone	Neither support nor oppose	
186	186.3	Lisa Paulsen	lisanesherman@gmail.com	Opposes amendments to building heights	Neither support nor oppose	
186	186.4	Lisa Paulsen	lisanesherman@gmail.com	Opposes due to no land zoned for educational facilities	Neither support nor oppose	
186	186.5	Lisa Paulsen	lisanesherman@gmail.com	Opposes due to insufficient facilities community hub, medical and social facilities etc), public open space and infrastructure	Neither support nor oppose	
187	187.1	Gordon Horsley	8 Rhodes Ave Mt Albert Auckland 1025	Seeks clarity, including in provisions, that roads will not be connected to Carrington Road, allowing for a rat run	Neither support nor oppose	

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187	187.2	Gordon Horsley	8 Rhodes Ave Mt Albert Auckland 1025	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction and how the residents parking proposal will work and be enforced	Neither support nor oppose	
187	187.3	Gordon Horsley	8 Rhodes Ave Mt Albert Auckland 1025	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Neither support nor oppose	
187	187.4	Gordon Horsley	8 Rhodes Ave Mt Albert Auckland 1025	Opposes due to insufficient facilities, public open space and infrastructure	Support	
188	188.1	Tracey Brown	tracey_darryl@xtra.co.nz	Opposes due to the height of apartment buildings	Neither support nor oppose	
188	188.2	Tracey Brown	tracey_darryl@xtra.co.nz	Seeks more provision for open space	Support	
188	188.3	Tracey Brown	tracey_darryl@xtra.co.nz	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
189	189.1	Anna Gillan	amcgillan@icloud.com	Opposes due to insufficient facilities, open space and infrastructure	Support	
190	190.1	Alexandra Dare	alexandradare@gmail.com	Opposes due to insufficient facilities, open space and infrastructure	Support	
191	191.1	Yolande Joe	yolandejoe@gmail.com	Seeks that notable trees be audited and updated	Support	
191	191.2	Yolande Joe	yolandejoe@gmail.com	Seeks more provision for open space	Support	
191	191.3	Yolande Joe	yolandejoe@gmail.com	Ensure children will be able to be accommodated in local schools or a new school built within the precinct.	Neither support nor oppose	
192	192.1	Michelle Strawbridge	michelle_strawbridge@gmail.com	Opposes due to schools being near capacity	Neither support nor oppose	
192	192.2	Michelle Strawbridge	michelle_strawbridge@gmail.com	Opposes CBD-like density and height	Neither support nor oppose	
192	192.3	Michelle Strawbridge	michelle_strawbridge@gmail.com	Seeks more provision for open space and inferred the retention of the Sanctuary Gardens.	Support	
192	192.4	Michelle Strawbridge	michelle_strawbridge@gmail.com	Seeks that zoning should be residential, not business-mixed	Neither support nor oppose	
193	193.1	Julia Helen Woodward	julia.drawdoow@gmail.com	Opposes changes to density, amount of open space, building height and zoning	Support	
194	194.1	Sport Auckland	mike.elliott@sportauckland.co	Seeks open space provision to include sports fields	Neither support nor oppose	
195	195.1	Katherine McCallum	katherine.dawe@gmail.com	Seeks more provision for green space	Support	
195	195.2	Katherine McCallum	katherine.dawe@gmail.com	Opposes due to no school planned	Neither support nor oppose	
195	195.3	Katherine McCallum	katherine.dawe@gmail.com	Opposes due to 70m height of buildings being out of place	Neither support nor oppose	
195	195.4	Katherine McCallum	katherine.dawe@gmail.com	Trees should not be removed	Support	
196	196.1	Jo Austad	joaustad@gmail.com	Opposes due to traffic, especially around schools	Neither support nor oppose	
196	196.2	Jo Austad	joaustad@gmail.com	[Inferred] Seeks more open space	Support	
197	197.1	Sarah Mavor	sarah@mavornutrition.co.nz	Opposes due to effects on that density and height will compromise green space	Support	
197	197.2	Sarah Mavor	sarah@mavornutrition.co.nz	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
198	198.1	Bridget Judd	bridget_judd@yahoo.co.nz	Opposes due to insufficient facilities, open space and infrastructure	Support	
199	199.1	Caroline Botting	carolinebotting@gmail.com	Opposes due to insufficient facilities, including schools and infrastructure	Neither support nor oppose	
199	199.2	Caroline Botting	carolinebotting@gmail.com	Oppose cutting down more mature trees	Support	
200	200.1	Karen Oliver	mrsk.oliver@gmail.com	Opposes due to concerns that connections will create a rat run - prohibit access between southern and northern roads	Neither support nor oppose	
200	200.2	Karen Oliver	mrsk.oliver@gmail.com	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Neither support nor oppose	
200	200.3	Karen Oliver	mrsk.oliver@gmail.com	Opposes due to impact on educational facilities	Neither support nor oppose	
200	200.4	Karen Oliver	mrsk.oliver@gmail.com	Seeks clarity about nature and timing of upgrades to Carrington Road	Neither support nor oppose	
201	201.1	Kate Saunders	katejanesaunders@yahoo.co	Provide for schools	Neither support nor oppose	
201	201.2	Kate Saunders	katejanesaunders@yahoo.co	Seeks more provision for open space	Support	
201	201.3	Kate Saunders	katejanesaunders@yahoo.co	Seeks identification / protection of the Sanctuary Gardens	Support	
202	202.1	Cameron Nicholas	cam.nicholas@gmail.com	Opposes due to lack of infrastructure,	Neither support nor oppose	
202	202.2	Cameron Nicholas	cam.nicholas@gmail.com	Provide a school	Neither support nor oppose	
202	202.3	Cameron Nicholas	cam.nicholas@gmail.com	Buildings are too tall	Neither support nor oppose	
202	202.4	Cameron Nicholas	cam.nicholas@gmail.com	Oppose removal of mature trees	Support	
202	202.5	Cameron Nicholas	cam.nicholas@gmail.com	Retain and protect community gardens	Support	
203	203.1	Iain Oliver	iainoliver@xtra.co.nz	Opposes due to effects on that connections will create a rat run - prohibit access between southern and northern roads	Neither support nor oppose	
203	203.2	Iain Oliver	iainoliver@xtra.co.nz	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Neither support nor oppose	
203	203.3	Iain Oliver	iainoliver@xtra.co.nz	Opposes due to impact on educational facilities	Neither support nor oppose	

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203	203.4	Iain Oliver	iainoliver@xtra.co.nz	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Neither support nor oppose	
204	204.1	Elizabeth Hill	liz.hill@outlook.com	Opposes due to insufficient facilities and infrastructure, in particular schools	Neither support nor oppose	
			65 Wainui Avenue Point chevalier Auckland 1022		Neither support nor oppose	
205	205.1	Rebecca Mora		Opposes due to over-population of the area and lower land value		
206	206.1	Esther and Ross Vernon	esther.vernon@gmail.com	Opposes a change in Precinct Name	Neither support nor oppose	
206	206.2	Esther and Ross Vernon	esther.vernon@gmail.com	Seeks that buildings should be no higher than 4 levels	Neither support nor oppose	
206	206.3	Esther and Ross Vernon	esther.vernon@gmail.com	Seeks another grocery store	Neither support nor oppose	
206	206.4	Esther and Ross Vernon	esther.vernon@gmail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
206	206.5	Esther and Ross Vernon	esther.vernon@gmail.com	Seeks another school	Neither support nor oppose	
206	206.6	Esther and Ross Vernon	esther.vernon@gmail.com	Seeks that the library should be restored	Neither support nor oppose	
206	206.7	Esther and Ross Vernon	esther.vernon@gmail.com	Set density at 3,000 new homes	Neither support nor oppose	
206	206.8	Esther and Ross Vernon	esther.vernon@gmail.com	Create 30m reserve around the creek for a park	Support	
207	207.1	Joanna Spratt	Jospratt@yahoo.com.au	[Inferred] Seeks more open space (concerned that open space does not meet WHO standards)	Support	
207	207.2	Joanna Spratt	Jospratt@yahoo.com.au	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
208	208.1	Tim Farman	timba_farman@yahoo.com	Opposes due to traffic issues	Neither support nor oppose	
209	209.1	Eileen Su	eileensusu@gmail.com	Provide a school	Neither support nor oppose	
210	210.1	Indiana	indianamturner@gmail.com	Opposes a connection to Mark Road	Neither support nor oppose	
211	211.1	Anke Blundell	anke.ballmann@gmail.com	Opposes due to insufficient facilities, open space and infrastructure	Support	
212	212.1	Philippa Wright	piwright21@gmail.com	Seeks more provision for open space	Support	
212	212.2	Philippa Wright	piwright21@gmail.com	Opposes due to buildings being too high	Neither support nor oppose	
212	212.3	Philippa Wright	piwright21@gmail.com	Opposes due to inadequate supporting infrastructure	Neither support nor oppose	
213	213.1	Amy Johns	amy.johns@gmail.com	[Inferred] Seeks more open space due to population increase enabled by the plan change.	Support	
213	213.2	Amy Johns	amy.johns@gmail.com	Opposes due to insufficient facilities and infrastructure	Neither support nor oppose	
214	214.1	Fabricia Foster	fafa2@yahoo.com	Opposes due to insufficient facilities, including schools, green space and infrastructure	Support	
215	215.1	Lyndsey Francis	lyndsey.francis@outlook.com	Opposes due to insufficient services and facilities to support it.	Neither support nor oppose	
216	216.1	Amanda Thery	amanda.a.thery@gmail.com	Opposes due to insufficient facilities, green space and infrastructure	Support	
217	217.1	Dianne Smyth	di.smyth1@gmail.com	Opposes due to height not in fitting with surrounding suburbs	Neither support nor oppose	
218	218.1	Damian Vaughan	damian.m.vaughan@gmail.co	Opposes due to insufficient facilities, including schools and infrastructure	Neither support nor oppose	
219	219.1	Gael Baldock	GaelB@xtra.co.nz	Allow space for schools	Neither support nor oppose	
219	219.2	Gael Baldock	GaelB@xtra.co.nz	Allow space for amenities, e.g. a public pool	Neither support nor oppose	
219	219.3	Gael Baldock	GaelB@xtra.co.nz	Protect trees and provide a reserve	Support	
219	219.4	Gael Baldock	GaelB@xtra.co.nz	Provide adequate parking	Neither support nor oppose	
219	219.5	Gael Baldock	GaelB@xtra.co.nz	Require a minimum of 60% permeable surface in overland flow paths.	Support	
219	219.6	Gael Baldock	GaelB@xtra.co.nz	Protect archaeological areas, walls buildings and land formations	Support	
220	220.1	Maria Cepulis	handmummy@gmail.com	Opposes due to the effects of 11m height; not being in keeping with the neighbourhood	Neither support nor oppose	
220	220.2	Maria Cepulis	handmummy@gmail.com	Opposes on the basis that road connections to the south will create a rat run - Seeks to prohibit	Neither support nor oppose	
220	220.3	Maria Cepulis	handmummy@gmail.com	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Neither support nor oppose	
220	220.4	Maria Cepulis	handmummy@gmail.com	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Neither support nor oppose	
220	220.5	Maria Cepulis	handmummy@gmail.com	Opposes due to insufficient facilities, green space, schools and infrastructure	Support	
221	221.1	Abbe Vaughan	abbe.vaughan@gmail.com	Opposes due to insufficient facilities, green space and infrastructure	Support	
222	222.1	Claire Reri	cgminkys@googlemail.com	Seeks identification / protection of the Sanctuary Gardens	Support	
223	223.1	Civic Trust Auckland	cta@civictrustauckland.org.nz	Seeks that remaining mature trees should be retained and protected, for example, by a covenant, and integrated into the development (including, as examples given, the Northern Open area, the Knoll Open Space and the context to the 1896 Building 48). An aboriginal report needs to be submitted to assess the remaining trees against the Notable Trees criteria for scheduling in the Unitary Plan.	Support	
223	223.2	Civic Trust Auckland	cta@civictrustauckland.org.nz	Seeks that the level of intensification and height proposals should be balanced with sufficient open space and trees.	Support	
223	223.3	Civic Trust Auckland	cta@civictrustauckland.org.nz	Supports policies that encourage the retention and adaption of heritage buildings and heritage elements on the site. Seeks a comprehensive assessment of the whole site in terms of the remaining heritage buildings and other heritage features.	Support	

Sub #	Sub Point	Submitter Name	Address for Service	Summary of Decisions Requested	TTC Supports or Opposes this point	TTC Reason / comment / explanation / further submission point
223	223.4	Civic Trust Auckland	cta@civictrustauckland.org.nz	Seeks a transition to greater heights for a more sensitive interface with the heritage building due to structures planned to be built, particularly the three massive towers, resulting in adverse	Neither support nor oppose	
223	223.5	Civic Trust Auckland	cta@civictrustauckland.org.nz	Seeks Building 6 and Building 28 (the Mitchell Stout building) to be considered for protection. Inferred that a comprehensive assessment of the campus is required as an Historic Heritage Area (as defined in the AUP)	Neither support nor oppose	
223	223.6	Civic Trust Auckland	cta@civictrustauckland.org.nz	Seeks that the development should deliver much better heritage outcomes and at the very least involve no further 'partial demolition' of Building One.	Neither support nor oppose	
224	224.1	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	
224	224.2	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further	Support	
224	224.3	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Support	
224	224.4	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Support	
224	224.5	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Identify all of the significant trees to be retained within the Northern Open Space on a landscape	Support	
224	224.6	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Provide a detailed landscape plan for the Central Open Space.	Support	
224	224.7	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Support	
224	224.8	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Support	
224	224.9	Pamela J McFarlane	pam.mcfarlane2@gmail.com	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Support	
224	224.10	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Support	
224	224.11	Pamela J McFarlane	pam.mcfarlane2@gmail.com	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Support	
224	224.12	Pamela J McFarlane	pam.mcfarlane2@gmail.com	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Support	
225	225.1	Rebecca Lawson	rebecca@rebeccalawson.co.nz	Opposes due to insufficient facilities, including schools, traffic effects, infrastructure	Neither support nor oppose	
226	226.1	Waterview School	principal@waterview.school.nz	Seeks a "Special Purposes- School Zone" to facilitate a new primary school on the site.	Neither support nor oppose	
227	227.1	Private Name	1 Queen Street Papakura Auckland 1026	Opposes due to insufficient green space, roading infrastructure	Support	
228	228.1	Berys Spratt	beryspratt@xtra.co.nz	[Inferred] Seeks more open space due to population increase enabled by the plan change (Opposes due to effects on that open space at 4m2 per person is below WHO recommendation of 10-15m2)	Support	
228	228.2	Berys Spratt	beryspratt@xtra.co.nz	Opposes due to the character change of significant increases in height including rejecting the 27m building height and keeping the 18m maximum height	Neither support nor oppose	
228	228.3	Berys Spratt	beryspratt@xtra.co.nz	Opposes due to traffic congestion	Neither support nor oppose	
229	229.1	Hai-Ling Khor	lingostar@gmail.com	Seeks provision for schooling	Neither support nor oppose	
229	229.2	Hai-Ling Khor	lingostar@gmail.com	Seeks more provision for green space	Support	
230	230.1	Ministry of Education	sian.stirling@beca.com AND moe.submissions@beca.com	Amend Objective 3 on the basis that the development needs to be supported by education facilities (not just tertiary education facilities). Refer to submission.	Neither support nor oppose	
231	231.1	Alice Mary Coventry	allympope@gmail.com	Allow for schools	Neither support nor oppose	
231	231.2	Alice Mary Coventry	allympope@gmail.com	Seeks greater provision for open space including the Sanctuary Gardens	Support	

RESOURCE MANAGEMENT ACT 1991**FURTHER SUBMISSION ON PRIVATE PLAN CHANGE 94 (WAIRAKA PRECINCT)
TO THE AUCKLAND UNITARY PLAN (OPERATIVE IN PART)****Clause 8 of the First Schedule**

TO: Auckland Council,
By Email: unitaryplan@aucklandcouncil.govt.nz

SUBMITTER: **OPEN SPACE FOR FUTURE AUCKLANDERS INCORPORATED** c/-
Beresford Law at the address for service set out below.

1. The Submitter is an incorporated society whose members are primarily made up of community members who live close to parts of the Precinct proposed to be rezoned. The Submitter has an interest in ensuring that, as Auckland intensifies, enough good quality and easily accessible open space, for a variety of recreational and conservation purposes, is provided for. The Submitter made a submission, Submission No. 25, on Proposed Private Plan Change 94 (Wairaka Precinct) to the Auckland Unitary Plan Operative in Part (**PC 94**). Accordingly, the Submitter represents a relevant aspect of the public interest and is a person who has an interest in the proposal that is greater than the interest the general public has.
2. The Submitter makes further submissions in opposition to, or in support of, the relief sought in the primary submissions of other Submitter as set out in **Attachment 1**.
3. Where submissions are supported or opposed, it is to the extent that it is consistent with the relief sought by the Submitter in their primary submission. The specific parts of the submission supported or opposed are addressed, and the specific reasons for the Submitter's position are set out in **Attachment 1**.
4. The general reasons for this further submission are:
 - (a) In the case of submissions opposed, the submissions do not promote the sustainable management of natural and physical resources and are otherwise inconsistent with the purpose and principles of the Act; and rejecting the relief sought in the submissions would more fully serve the statutory purpose than would implementing that relief.
 - (b) In the case of those submissions supported, the submissions promote the sustainable management of natural and physical resources and are

consistent with the purpose and principles of the Act; and allowing the relief sought would more fully serve the statutory purpose than would disallowing that relief.

5. The Submitter wishes to be heard in support of this further submission.
6. If other parties make similar submissions, the Submitter would consider presenting a joint case with them at any hearing.

DATED 3 May 2024



JL Beresford
Counsel for **OPEN SPACE FOR FUTURE**
AUCKLANDERS INCORPORATED

Address for service of the Submitter: Beresford Law, Level 6, 20 Waterloo Quadrant, Auckland, 1010. PO Box 1088, Shortland Street Auckland. Attention: Joanna Beresford. Phone +64 9 307 1277. Mobile +64 21 114 1277. Email: joanna@beresfordlaw.co.nz

Attachment 1: Further submission details

Further Submission Details					
Details of original submission that further submission is being made on				Details of further submission	
Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition
Te Akitai Waiohau Investment Trust	12.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohau.	Oppose	Inappropriately prioritises developer interests over community and environmental interests.
NZ Notable Trees Trust	15.1	Oppose	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Support	Comprehensive master planning and increased protection of trees and natural features and increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.
	15.2		Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity.		
	15.3		Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.		
	15.4		Concerns raised in relation to the provision and distribution of Open Space across the Precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.		
	15.5		Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.		
	15.6		Provide a detailed landscape plan for the Central Open Space.		
	15.7		Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens		
	15.8		Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational Precinct around Building 48.		
	15.9		Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.		
	15.10		Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.		
	15.11		Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.		
	15.12		Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.		

Te Akitai Waiohūa Waka Taua Incorporated	17.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohūa.	Oppose	Inappropriately prioritises developer interests over community and environmental interests.
School of Architecture, Unitec Te Pukenga	18.1	Oppose	Opposes due to the lack of a masterplan or relevant information with sufficient information on trees and tree protection, key features of site, location of open space, protection of the sanctuary gardens, and preservation of the landscape context of Building 58.	Support	Comprehensive master planning and increased protection of trees and natural features and increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.
	18.2		Opposes due to effects on existing trees and requests consideration of tree protection measures as detailed in the submission.		
	18.3		[Inferred] Seeks greater provision for open space.		
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.1	Oppose	Seeks that greater provision be made for education facilities.	Support	Comprehensive master planning including the location of educational and community facilities is required to achieve good quality urban outcomes.
	20.2		Opposes due to effects on sufficient cycle and pedestrian access to the school, including during Construction.		Adverse traffic and pedestrian safety effects need to be properly avoided, remedied or mitigated.
	20.3		Opposes due to effects on traffic safety on the roading network.		Adverse traffic and pedestrian safety effects need to be properly avoided, remedied or mitigated.
	20.4		Seeks more provision for open space including close to and suitable for school use which is zoned for Open Space.		Greater open space required in these areas where PC 94 is proposing to rezone land.
	20.5		Seeks lower height and greater setbacks due to effects on privacy, dominance and shading.		Required to achieve good quality urban outcomes
	20.6		Seeks a master plan that will give context to educational facilities		Comprehensive master planning including the location of educational and community facilities is required to achieve good urban outcomes.
Fire and Emergency New Zealand	24.1	Seeks amendments	Seeks sufficient provision for infrastructure, in particular water supply for fire-fighting.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
	24.2		Seeks to amend I334.9 Special Information Requirements to include reference to suitable emergency access for future development.		Required for well-functioning urban environments and community and social well-being.
Ngati Awa, Te Tawera Hapu	32.2	Oppose	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private).	Support	Comprehensive master planning is required to achieve good urban outcomes.
Margaret Evans	39.1	Seeks amendments	Seeks confirmation that Unitec open space not be included in total open space.	Support	Public and private open space serve different planning purposes. Certainty about the amount and location of both is required.
Auckland Transport	40.2	Supports with amendments	AT should not fund and implement a residents only parking zone - this should be managed by the applicant. Refer to Attachment for details.	Support	Adverse effects of insufficient parking need to be internalized within the Precinct without affecting the surrounding road network and community.
	40.3		Seeks that discrepancies in the ITA traffic model be addressed through alignment with modelling for AT's Carrington Road upgrading project. Refer to Attachment 1 for details.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
	40.4		Amend the ITA to reflect agreements on intersection upgrades and expand Rule I224.9 to capture this matter.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
	40.5		Seeks amendments to refer to the Northwestern Shared Path in the Precinct Description and that public transport will occur on the edge of the site (Carrington Road). Refer to Attachment 1	Oppose	The distances and topography in the Precinct mean that provision for public transport within the Precinct is required not just connections to surrounding areas.

			for details.		
	40.7		Amend Policy 19 'Pedestrian and cycle access, street quality and safety'. Refer to Attachment 1 for details.	Support	Improvements to these matters are required to achieve good quality outcomes.
	40.10		Supports deletion of references to an internal bus node	Oppose	The distances and topography in the Precinct mean that provision for public transport within the Precinct is required not just connections to surrounding areas.
	40.12		Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard on Carrington Road, I334.6.8(2) deletion of bus node references and I334.6.3 road run off.	Oppose	Increased setbacks and reduced heights on Carrington Road required to mitigate effects on surrounding environment. Provision for public transport within the Precinct required.
Garden Design Society of New Zealand	42.1-42.2	Oppose	Seeks same relief as NZ Notable Trees Trust.	Support	For the same reasons as stated above in relation to the NZ Notable Trees Trust.
Watercare Services Limited	45.1	Seeks amendments	Seeks clarification about ultimate development yield to understand what wastewater and water supply needs will be required.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
	45.2		Seeks a decision that ensures water and wastewater and servicing requirements will be adequately met.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
	45.3		Seeks the following amendments to the Precinct provisions (as set out in Attachment 1 to the submission): <ul style="list-style-type: none"> • Amendment to require a bulk water supply and wastewater infrastructure capacity assessment where development beyond the previously modelled yield of 4000 DUEs is proposed. • Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DU Es within the Te Auaunga Precinct. • Amendments to the associated matters of discretion and assessment criteria to support the Restricted Discretionary Activity status. • Inclusion of new objective and policies to support the Restricted Discretionary Activity status. 	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.
Springleigh Residents Association (SRA)	57.1; 57.3-57.35; 57.38-57.55	Oppose	Refer summary of decisions requested and SRA Submission. SRA Submission is broader than matters covered in summary of submission so for the avoidance of doubt this further submission point is in support of the SRA Submission (excluding points related to 57.2, 57.36 and 57.37).	Support	Addressing the matters raised in the SRA submission and providing the further information and assessment requested in the SRA submission is required to properly assess the proposal and make any amendments necessary to avoid, remedy or mitigate the adverse effects of development enabled by PC 94.
	57.36	Oppose	Amend Policy (27) as follows: Manage potential adverse amenity effects from buildings at the Precinct boundary by: (a)... (c) Require graduated building heights and locate higher buildings away from the Precinct boundary boundaries that adjoin the Mixed Housing Suburban residential areas to the south of the Precinct.	Oppose in part	Graduated heights with higher buildings located away from Precinct boundaries should apply to all Precinct boundaries, particularly the residential areas along Carrington Road.
	57.37	Oppose	Delete proposed Policy (30A) relating to the adaptive re-use of the existing buildings with historic value for retail and other activities. Refer to page 54 of the submission for details.	Oppose in part	The Submitter supports adaptive reuse of heritage and character buildings in the Precinct but agrees with the SRA that a full assessment of heritage and character in

					the Precinct is required
The Ngāti Tamaoho Settlement Trust	63.1	Supports	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāti Tamaoho.	Oppose	Inappropriately prioritises developer interests over community and environmental interests.
Te Whatu Ora Health New Zealand Waitemata	65.1	Supports subject to amendments	Seeks, to ensure consistency in respect of the application of the Precinct provisions: • Addition of a new rule A33A to Table 1334.4.1 - buildings or additions to buildings not complying with 1334.6.13 (as a non-complying activity), • Deletion of proposed (landscaping) standard 1334.6.16.	Oppose	Robust landscaping provisions required to ensure amenity in the Precinct.
Waiohua Tamaki Ropu (Waiohua)	67.1	Supports	Opportunity for development of land will achieve cultural, social and economic objectives for Waiohua.	Oppose	Inappropriately prioritises developer interests over community and environmental interests.
Auckland Council	68.1	Seeks amendments	Seeks amendments to incorporate the Medium Density Housing Standards (MDRS) in the Residential - Terrace Housing and Apartment Buildings Zone and the Residential -Mixed Housing Urban Zone, taking account of the relevant Qualifying Matters	Oppose	If proposed law reform results in the MDRS being optional then ought not be included in the Precinct.
Te Whenua Haa Ora GP Limited	69.1	Supports subject to amendments	Amend the Precinct provisions (including assessment criteria) to provide more specific detail as to the assumptions in the Integrated Traffic Assessment that are to be reviewed and assessed once the threshold of 3,000 dwellings is met.	Support in part	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development. Development trigger levels are an appropriate tool to assist in this regard.
	69.2		Amend the Precinct provisions to ensure that the traffic-reducing mitigation measure of a "strict car parking constraint" for residential dwellings in the Precinct (of an average of 0.7 spaces per unit, across the Precinct as a whole) is delivered;		Adverse effects of insufficient parking need to be internalized within the Precinct without affecting the surrounding road network and community.
St Lukes Environmental Protection Society Inc (STEPS)	72.1	Seeks amendments	Seeks restoration and enhancement of biodiversity / ecology - including springs and daylighting. Use of setbacks and other responses detailed in the submission	Support	Required to achieve a high level of urban amenity and protection of natural features.
	72.2		Seeks more mature trees retained, protected and integrated into the development.		Required to mitigate adverse effects of development enabled by PC 94.
	72.3		Seeks a master plan prepared in consultation with the community.		Comprehensive master planning is required to achieve good urban outcomes.
	72.4		Retain I 334.9 Special Information Requirements - Stormwater Management or amendments to ensure appropriate management of stormwater		Funding and delivery of adequate stormwater infrastructure needs to be coordinated to ensure it is in place prior to development.
	72.5		Seeks protection of native fauna, especially birds, from the impacts of tall buildings		Required to mitigate adverse effects of development enabled by PC 94.
	72.7		Seeks identification / protection of the Sanctuary Gardens		Increased protection of trees and natural features and increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.
	72.9		Seeks that the notable trees around Building 48 remain as part of the Unitec campus and a covenant required to ensure all trees are retained in perpetuity.		Increased protection of trees and natural features and increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.
The Tree Council	79.1-79.12	Oppose	Seeks same relief as NZ Notable Trees Trust.	Support	For the same reasons as stated above in relation to the NZ Notable Trees Trust.
Ngā Ringa o Te	94.7	Seeks	Amend Policy I334.3(14) that in relation to built form and	Support	Increased protection of trees and natural features and

Auaunga - Friends of Oakley Creek		amendments	character, proposals should be sympathetic to the surrounding landscape.	in part	increased provision and retention (and clarity of purposes) of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.	
	94.8		Specify in the Precinct the amount of open space including what proportions are to remain private and public open space.			
	94.9		Ensure the amount of open space provides for the number of people who will live and work in the Precinct.			
	94.10		Clearly identify how open space will be used.			
	94.11		Land that serves as utility e.g. stormwater ponds, should not be included as open space.			
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.3		Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private).	Support	Comprehensive master planning is required to achieve good urban outcomes.	
	104.5		Seeks more provision for open space and that the Sanctuary Gardens be identified (detailed reasoning given).		Increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.	
Ockham Group Limited	112.2	Support	Seeks increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Oppose	Reduced heights from those proposed in PC 94 are sought to ensure development enabled by PC 94 integrates appropriately with surrounding residential environment and to mitigate adverse effects.	
Marutūāhu Rōpū	120.2	Support	Seeks additional increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Oppose	Reduced heights from those proposed in PC 94 are sought to ensure development enabled by PC 94 integrates appropriately with surrounding residential environment and to mitigate adverse effects.	
Geoffrey John Beresford	124.3	Oppose	Assess traffic and other infrastructural constraints to place a hard limit on the proposed number of dwellings.	Support	Limits are an appropriate tool for managing effects of development and demands on infrastructure	
	124.15		Delete Objective I334.2(5) regarding the commercial laundry. Refer to Schedule 1, point 27 for details.		Precinct wide master planning and zoning should recognise the anticipated use this part of the Precinct.	
	124.18		Add new Objective I334.2(7B) relating to urban forests. Refer to Schedule 1, point 30 for details		Required to mitigate the effects of more intense development enabled by PC 94.	
	124.21		Delete Objective I334.2(13) relating to Height Area 1. Refer to Schedule 1, point 37 for details		Submitter has proposed amendments to height area 1 provisions in its primary submission but would also support deletion of provision for taller buildings (in which case this provision could be deleted).	
	124.23		Amend Policy I334.3(4) relating to the provision of activities. Refer to Schedule 1, points 39-44 for details		Required to achieve better urban development outcomes.	
	124.31		Delete Policy I334.3(14A) relating the provision of taller buildings in the north-west part of the Precinct.		Support in part	Submitter has proposed amendments to these provisions in its primary submission but would also support deletion of provision for taller buildings (in which case the provisions could be deleted).
	124.32		Delete Policy I334.3(14AA) relating to proposals for new buildings adjacent to the scheduled Hospital building.			
	124.33		Delete Policy I334.3(14B) limiting taller buildings to the central part of the Precinct only.			
	124.37		Amend Policy I334.3.(16) to include walkways to provide better connectivity. Refer to Schedule 1, point 61 for details.		Support	Greater pedestrian connectivity improves overall urban development outcomes.
	124.38		Amend Policy I334.3(17) as follows: Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages <u>that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and plazas</u>			Pedestrian and cycle networks need to be of sufficient width to function effectively.

	124.41		within the Precinct. Amend Policy I334.3(22) making undergrounding of the Woodward Road rail crossing a trigger for development and managing roading connections including local streets to the south. Refer to Schedule 1, point 67 -68 for details		FS 09 Development needs to be coordinated with required infrastructure upgrades.
	124.48		Amend I334.4 Activity Tables, Refer to Schedule 1 points 78 - 95 for details		Amendments to activity tables and matters of discretion required to give effect to relief sought by the Submitter in its primary submission.
	124.63		Amend I334.8.1(2) Matters of discretion [Restricted discretionary activities] - Parking Buildings. Retain the existing provisions. Refer to Schedule 1, points 128 for details		
	124.65		Amend I334.8.1(5) Matters for Discretion [Restricted Discretionary activities] Development and/or subdivision that does not comply with standards. Refer to Schedule 1, points 132-135.		
Ngāi Tai ki Tāmaki	142.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāi Tai ki Tāmaki	Oppose	
Mt Albert Residents Association	143.1	Seeks Amendments	Seeks no through road into southern suburbs from northern part of the Precinct.	Oppose in part	Opposed to the extent that it would increase adverse traffic effects on Carrington Road and on the road network to the east of the Precinct.
Heritage New Zealand Pouhere Taonga	162.1	Seeks Amendments	Amend the Precinct Description to include references to the historic heritage values of the site.	Support in part	Supports amendments to strengthen historic heritage protection but considers that the amendments should be broad enough to capture historic heritage values throughout the Precinct to be consistent with the Submitter's submission on retention and adaption of heritage / character building (in particular Penman House). Design should enhance both the Precinct's built form and give primacy to historic heritage buildings.
	162.1		Amend the Precinct Description to include references to the historic heritage values of the site. Refer to submission for details.		
	162.2		Amend Objective I334.2(10)(b) to incorporate the natural and built, that includes its historic heritage and cultural values, environmental attributes of the Precinct.		
	162.3		Insert a new objective to provide direction for the protection of the historic heritage landscape of the Precinct to ensure these values are recognised, protected and enhanced.		
	162.4		Amend Policy (14AA) to read: Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the Precinct's built form the primacy of the historic heritage building.		
	162.5		Retain Proposed Policy 30A: 'Encourage the adaptive reuse of the existing buildings with historic value for [retail] and other activities.'		
	162.11		Amend I334.8(1B) Buildings within the Height Areas identified on Precinct plan 3 - Te Auaunga Additional Height(b)(ii) to read: The degree to which buildings provide sympathetic contemporary and high quality design which enhances the Precinct's built form the primacy of the historic heritage building.		
Liveable Communities Inc	179.1	Oppose	Seeks that all open space for passive recreation and associated trees should be retained and protected. Mechanisms include covenants or similar, and zoning of open space. Do not establish any more sport fields.	Support in part	Additional open space for a variety of functions and purposes (including sports fields) are required to serve a population of the size enabled by PC 94.
	179.2		Complete an evaluation of trees by a qualified arborist in	Support	Increased protection of trees and natural features and

	179.3		conjunction with notable trees listing.		increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct.
	179.4		Seeks archaeological / cultural site(s) to be protected		
			Seeks an overall plan, including established trees and open space areas, and incorporating community input.		
Lisa Paulsen	186.2	Oppose	Seeks a residential zone, not a business-mix zone.	Support	Would better enable more appropriate assessment of development proposals and enable the areas proposed to be rezoned to integrate with the surrounding residential areas.
Esther and Ross Vernon	206.7	Oppose	Set density at 3,000 new homes.	Support	An overall density limit for the Precinct at this level would assist in ensuring that adequate infrastructure and open space is provided.
Joanna Spratt	207.1	Oppose	[Inferred] Seeks more open space (concerned that open space does not meet WHO standards).	Support	Requiring open space that meets WHO standards will assist in achieving well-functioning urban developments and good planning outcomes.
Civic Trust Auckland	223.1	Seeks amendments	Seeks that remaining mature trees should be retained and protected, for example, by a covenant, and integrated into the development (including, as examples given, the Northern Open area, the Knoll Open Space and the context to the 1896 Building 48). An arboricultural report needs to be submitted to assess the remaining trees against the Notable Trees criteria for scheduling in the Unitary Plan.	Support	Increased protection of trees and natural features and increased provision and retention of open space is required to ensure well-functioning urban environments and a high level of amenity both within and surrounding the Precinct. Requirements for protection covenants in plan provisions are an effective tool for environmental protection.
	223.2		Seeks that the level of intensification and height proposals should be balanced with sufficient open space and trees.		
	223.3		Supports policies that encourage the retention and adaption of heritage buildings and heritage elements on the site. Seeks a comprehensive assessment of the whole site in terms of the remaining heritage buildings and other heritage features.	Support in part	
	223.4		Seeks a transition to greater heights for a more sensitive interface with the heritage building due to structures planned to be built, particularly the three massive towers, resulting in adverse environmental effects upon Building One.		
	223.5		Seeks Building 6 and Building 28 (the Mitchell Stout building) to be considered for protection. Inferred that a comprehensive assessment of the campus is required as an Historic Heritage Area (as defined in the AUP).		
	223.6		Seeks that the development should deliver much better heritage outcomes and at the very least involve no further 'partial demolition' of Building One.		
Waterview School	226.1	Opposes	Seeks a "Special Purposes- School Zone" to facilitate a new primary school on the site.	Support	Zoning would provide certainty as to the location and provision of educational facilities in the Precinct.
Ministry of Education	230.1	Seeks Amendments	Amend Objective 3 on the basis that the development needs to be supported by education facilities (not just tertiary education facilities). Refer to submission.	Support	Provision for educational facilities is required to achieve the objectives of the NPS UD.

From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Trevor Keith Crosby
Date: Friday, 3 May 2024 4:16:14 pm
Attachments: [PC94 Sanctuary gardens preservation information.pdf](#)

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Trevor Keith Crosby

Organisation name:

Full name of your agent:

Email address: trevorcrosby@actrix.co.nz

Contact phone number: 0276989962

Postal address:
 40 Monaghan Ave
 Mt Albert
 Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:
 Sanctuary Community Organic Garden Mahi Whenua Inc.
 40 Monaghan Ave, Mt Albert, Auckland 1025

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number 104.1 Opposes a change in Precinct Name.
 Point number 104.2 Supports an increase in height if more green
 Point number 104.3 Provide a masterplan that gives context to t
 Point number 104.4 Supports zone changes (Educational to BMU).
 Point number 104.5 Seeks open space and preservation Sanctuary

The reasons for my or our support or opposition are:

104.1 Strongly oppose change in Precinct Name, as no reasons or justifications provided in the application to support a name change.

104.3 Provide masterplan: a new community should have a coherent plan. One reason given when the Crown purchased the site was that private developers may not masterplan the site; the 2019 document has aspirations but no details -- yet is being touted as the masterplan.

104.4 Supports zone change from Educational to BMU as no longer used for education.

104.5 Open Space and Sanctuary Mahi Whenua: Open space identified in PC94 is less than that

stated in the 2019 document. The open space needing to be found in the precinct as a result of PC75 has different versions of where it will be located in PC94 and the appeal in PC75. The 3000-5000 m2 neighbourhood park area is not clearly identified. The preservation of the Sanctuary gardens area is not mentioned despite clause 25.4 of the Sale and Purchase Agreement between Unitec and the Crown, March 2018. That Sanctuary gardens is to be preserved is shown in the 2019 document (relevant pages attached this time, rather than just giving details). On the 25 March 2018 announcing the sale of this land to the Crown, a 7:15 video on Facebook Live was given by then Prime Minister Jacinda Ardern announcing purchase of 29.3 ha of land at Unitec under the Kiwibuild Land for Housing Programme. <https://www.facebook.com/profile/100044557020967/search/?q=unitec%20housing>
 At 4:22 – 4:53 “And I’ll pan around so you can see here, I mean this is a beautiful campus. We want to make sure we preserve the beauty of this campus, so of course the educational facility stays. We have historic heritage buildings and Carrington Hospital and of course gardens here and Oakley Creek. We’ve got to make sure that the urban design incorporates elements of the site that make it so beautiful and make it so unique. But that’s what good urban design is about.”
 In the current Covid-19 Fast Track application of Te Whenua Ha Ora GP Ltd to EPA the Sanctuary gardens is built over, and no mention of clause 25.4 is given in all of the application documentation. The Society was unable to provide comments to the expert consenting panel under the Covid-19 Fast Track Act.

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 3 May 2024

Supporting documents
 PC94 Sanctuary gardens preservation information.pdf

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?
 Yes

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:
 I am a member of the Sanctuary Mahi Whenua.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

[New tsunami evacuation map. Check the map today.](#)



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A Reference Masterplan & Strategic Framework



Ngā Mana Whenua o
Tāmaki Makaurau & Crown

4.14 Metrics – AUP Compliant scheme

Global and per precinct*

Current landholdings (AUP Compliant)

Global Metrics*	m2	ha
Land area	266000	26.60 (100%)
Building Footprints	56,535	5.65
Developable Area (lots)	122,855 ^{Precincts 1-7} 116,183	12.30 (46.22%)
Open Space (inc. road reserve)	112,838	11.28 (42.42%)
Road Reserve	35,602	3.56
Roading	30,236	3.02 (11.37%)
Heritage building	9,120	0.91
Site cover %	46%	
Housing units	2,504	
Units per hectare Nett (Developable Area)	204	
Units per hectare Gross (Land Area)	94	
Car parking (in building)	1,251	
Car parking (street / on site)	317	
Car parking (separate structure)	820	
Car parking (total)	2,388	
Car parking ratio	0.95	

Precinct 1 - North Western* (compliant scheme)	
Lot ID number	L1
Lot size [m2]	3,689
Site coverage	28% ✓
Number of buildings	3
Building footprint [m2]	1,038
Ave units per hectare [Net]	260
Total units per precinct	96
Number of residential storeys	8
Number of carparking storeys	2
Total storeys (above ground)	8
Car parking (in building)	198
Car parking (street / on site)	0
Car parking (separate structure)	0
Total carparking per precinct	198
Carparking ratio per precinct	2.06

Precinct 2 - Oakley Hospital* (compliant scheme)	
Lot ID number	L2- L3
Lot size [m2]	19,161
Site coverage	16% 24%
Number of buildings	1
Building footprint [m2]	4,559
Ave units per hectare [Net]	n/a
Total units per precinct	n/a
Number of residential storeys	n/a
Number of carparking storeys	n/a
Total storeys (above ground)	n/a
Car parking (in building)	n/a
Car parking (street / on site)	n/a
Car parking (separate structure)	n/a
Total carparking per precinct	n/a
Carparking ratio per precinct	n/a

Precinct 3 - Northern* (compliant scheme)	
Lot ID number	L4 - L13
Lot size [m2]	26,434
Site coverage	50% 62%
Number of buildings	17
Building footprint [m2]	16,473
Ave units per hectare [Net]	284
Total units per precinct	752
Number of residential storeys	5 to 8
Number of carparking storeys	1
Total storeys (above ground)	5 to 8
Car parking (in building)	180
Car parking (street / on site)	52
Car parking (separate structure)	480
Total carparking per precinct	712
Carparking ratio per precinct	0.95

* Auckland Unitary Plan compliant

Precinct 4 - Carrington Road* (compliant scheme)	
Lot ID number	L14 - L23
Lot size [m2]	31,681
Site coverage	51% ✓
Number of buildings	16
Building footprint [m2]	15,943
Ave units per hectare [Net]	328
Total units per precinct	1,038
Number of residential storeys	5 to 8
Number of carparking storeys	2
Total storeys (above ground)	5 to 8
Car parking (in building)	675
Car parking (street / on site)	39
Car parking (separate structure)	170
Total carparking per precinct	884
Carparking ratio per precinct	0.85

Precinct 5 - Southern* (compliant scheme)	
Lot ID number	L24 - L29
Lot size [m2]	19,508
Site coverage	61% ✓
Number of buildings	19
Building footprint [m2]	11,971
Ave units per hectare [Net]	134
Total units per precinct	262
Number of residential storeys	2 to 3
Number of carparking storeys	1
Total storeys (above ground)	2 to 3
Car parking (in building)	144
Car parking (street / on site)	118
Car parking (separate structure)	0
Total carparking per precinct	262
Carparking ratio per precinct	1.00

119B Carrington Road

1) Precinct 7 = 21,229 m² area
 Developable lot size = 11,000 m² only
 a) To allow walkway (now 3246 m²)
 b) Clause 25.4b preserving Sanctuary Gardens [6772 m²]

2) Precinct 7
 Area on CT = 21,229 m²
 Area, mega lot { = lot 3 = 3246 m²
 subdivision { = lot 18 = 17,789 m² } = 21,035 m²
 194 m² not accounted for (0.9% land!)

Precinct 6 - Te Auaunga South* (compliant scheme)	
Lot ID number	L30 - L33
Lot size [m2]	4,710
Site coverage	40% 37%
Number of buildings	4
Building footprint [m2]	1,756
Ave units per hectare [Net]	255
Total units per precinct	120
Number of residential storeys	5
Number of carparking storeys	0
Total storeys (above ground)	5
Car parking (in building)	0
Car parking (street / on site)	108
Car parking (separate structure)	0
Total carparking per precinct	108
Carparking ratio per precinct	0.90

Precinct 7 - Te Auaunga North* (compliant scheme)	
Lot ID number	L34 - L38
Lot size [m2]	⇒ 11,000 ←
Site coverage	43% ✓
Number of buildings	7
Building footprint [m2]	4,795
Ave units per hectare [Net]	215
Total units per precinct	236
Number of residential storeys	4 to 8
Number of carparking storeys	1
Total storeys (above ground)	4 to 8
Car parking (in building)	54
Car parking (street / on site)	0
Car parking (separate structure)	170
Total carparking per precinct	224
Carparking ratio per precinct	0.95

5.4 Metrics – alternate scheme

Global and per precinct

Global Metrics (alternate scheme)	m2	ha
Land area	266,000	26.60 (100%)
Building Footprints	58,469	5.85
Developable Area (lots) <i>precincts 1-7 = 116,182</i>	127,955	12.30 (46.22%)
Open Space (inc. road reserve)	112,838	11.28 (42.42%)
Road Reserve	35,602	3.56
Roading	30,236	3.02 (11.37%)
Heritage building	9,120	0.91
Site cover %	48%	
Housing units	2,502	
Units per hectare Nett (Developable Area)	203	
Units per hectare Gross (Land Area)	94	
Car parking (in building)	1,184	
Car parking (street / on site)	329	
Car parking (separate structure)	660	
Car parking (total)	2,173	
Car parking ratio	0.87	

Precinct 1 - North Western (alternate scheme)	
Lot ID number	L1
Lot size [m2]	3,689
Site coverage	28% ✓
Number of buildings	3
Building footprint [m2]	1,038
Ave units per hectare [Net]	390
Total units per precinct	144
Number of residential storeys	10-14
Number of carparking storeys	2
Total storeys (above ground)	10-14
Car parking (in building)	198
Car parking (street / on site)	0
Car parking (separate structure)	0
Total carparking per precinct	198
Carparking ratio per precinct	1.38

Precinct 2 - Oakley Hospital (alternate scheme)	
Lot ID number	L2 - L3
Lot size [m2]	19,161
Site coverage	76% 34%
Number of buildings	2
Building footprint [m2]	6,493
Ave units per hectare [Net]	17
Total units per precinct	32
Number of residential storeys	2
Number of carparking storeys	n/a
Total storeys (above ground)	2
Car parking (in building)	n/a
Car parking (street / on site)	n/a
Car parking (separate structure)	n/a
Total carparking per precinct	n/a
Carparking ratio per precinct	n/a

Precinct 3 - Northern (alternate scheme)	
Lot ID number	L4 - L13
Lot size [m2]	26,434
Site coverage	50% 62%
Number of buildings	17
Building footprint [m2]	16,473
Ave units per hectare [Net]	260
Total units per precinct	687
Number of residential storeys	4 to 7
Number of carparking storeys	1
Total storeys (above ground)	4 to 7
Car parking (in building)	180
Car parking (street / on site)	52
Car parking (separate structure)	320
Total carparking per precinct	552
Carparking ratio per precinct	0.80

Precinct 4 - Carrington Road (alternate scheme)	
Lot ID number	L14 - L23
Lot size [m2]	31,681
Site coverage	51% ✓
Number of buildings	16
Building footprint [m2]	15,943
Ave units per hectare [Net]	294
Total units per precinct	931
Number of residential storeys	5 to 8
Number of carparking storeys	2
Total storeys (above ground)	5 to 8
Car parking (in building)	608
Car parking (street / on site)	39
Car parking (separate structure)	170
Total carparking per precinct	817
Carparking ratio per precinct	0.88

Precinct 5 - Southern (alternate scheme)	
Lot ID number	L24 - L29
Lot size [m2]	19,508
Site coverage	61% ✓
Number of buildings	19
Building footprint [m2]	11,971
Ave units per hectare [Net]	165
Total units per precinct	322
Number of residential storeys	2 to 4
Number of carparking storeys	1
Total storeys (above ground)	2 to 4
Car parking (in building)	144
Car parking (street / on site)	118
Car parking (separate structure)	0
Total carparking per precinct	262
Carparking ratio per precinct	0.81

Developable lot size = 11,000 m² out of 21,229 m²

Precinct 6 - Te Auaunga South (alternate scheme)	
Lot ID number	L30 - L33
Lot size [m2]	4,710
Site coverage	50% 37%
Number of buildings	4
Building footprint [m2]	1,756
Ave units per hectare [Net]	293
Total units per precinct	138
Number of residential storeys	5 to 7
Number of carparking storeys	0
Total storeys (above ground)	5 to 7
Car parking (in building)	0
Car parking (street / on site)	120
Car parking (separate structure)	0
Total carparking per precinct	120
Carparking ratio per precinct	0.87

Precinct 7 - Te Auaunga North (alternate scheme)	
Lot ID number	L34 - L38
Lot size [m2]	11,000
Site coverage	43% ✓
Number of buildings	7
Building footprint [m2]	4,795
Ave units per hectare [Net]	225
Total units per precinct	248
Number of residential storeys	4 to 9
Number of carparking storeys	1
Total storeys (above ground)	4 to 9
Car parking (in building)	54
Car parking (street / on site)	0
Car parking (separate structure)	170
Total carparking per precinct	224
Carparking ratio per precinct	0.90

Clause 25.4: This is not mentioned in the application by Te Whenua Ha Ora GP Ltd.

FS 10

Clause 25.4 of sale and purchase agreement between Unitec and the Crown, March 2018.

Lot 4 is now
119A & 119B
Carrington Road



25.4 Community gardens

- (a) The purchaser acknowledges the cultural and historical significance of the gardens and fruit forest (occupying up to 7000 square metres) (**Community Gardens**) currently situated on part of what will become Lot 4 following the Subdivision and agrees to consult with Unitec, Iwi and Kaumatua in agreeing and documenting an arrangement for the ongoing use and preservation of those gardens.
- (b) To assist the purchaser in respect of the matters set out in clause 25.4(a), following the date that this agreement is unconditional:
 - (i) the vendor will provide written notice to the Sanctuary Community Gardens Mahi Whenua Incorporated (Society) (being the current occupiers of the Community Gardens) that

Sanctuary Gardens
← Preservation
recognised in Feb 2019
document "A Reference
Masterplan & Strategic
Framework."

HAR0380.17.152

Ac B

- the vendor will transfer ownership of the property including the Community Gardens on Lot 4 to the purchaser on the settlement date; and
- (ii) the purchaser and vendor will work collaboratively with other interested groups (including Iwi and Kaumatua) in relation to the proposed arrangements for the Community Gardens in order to:
 - (A) have formal documentation finalised before settlement; and
 - (B) agree plans to preserve the Community Gardens and demonstrate the cultural links with other sites within the Vendor's Adjacent Land and wider environs that commemorate early occupation by Maori (notably the spring Te Puna, the Marae on the Vendor's Adjacent Land, and the landing site of the waka Mataatua).
- (c) the purchaser recognises that the gardens to be preserved may serve multiple purposes, such as enjoyment of students, visitors, residents and the wider community; provision of food to residents; source of future archaeological study; and possible use as an education resource by the vendor."

Plan used by Unitec to draw up clause 25.4 of the sale and purchase agreement between Unitec and the Crown, March 2018

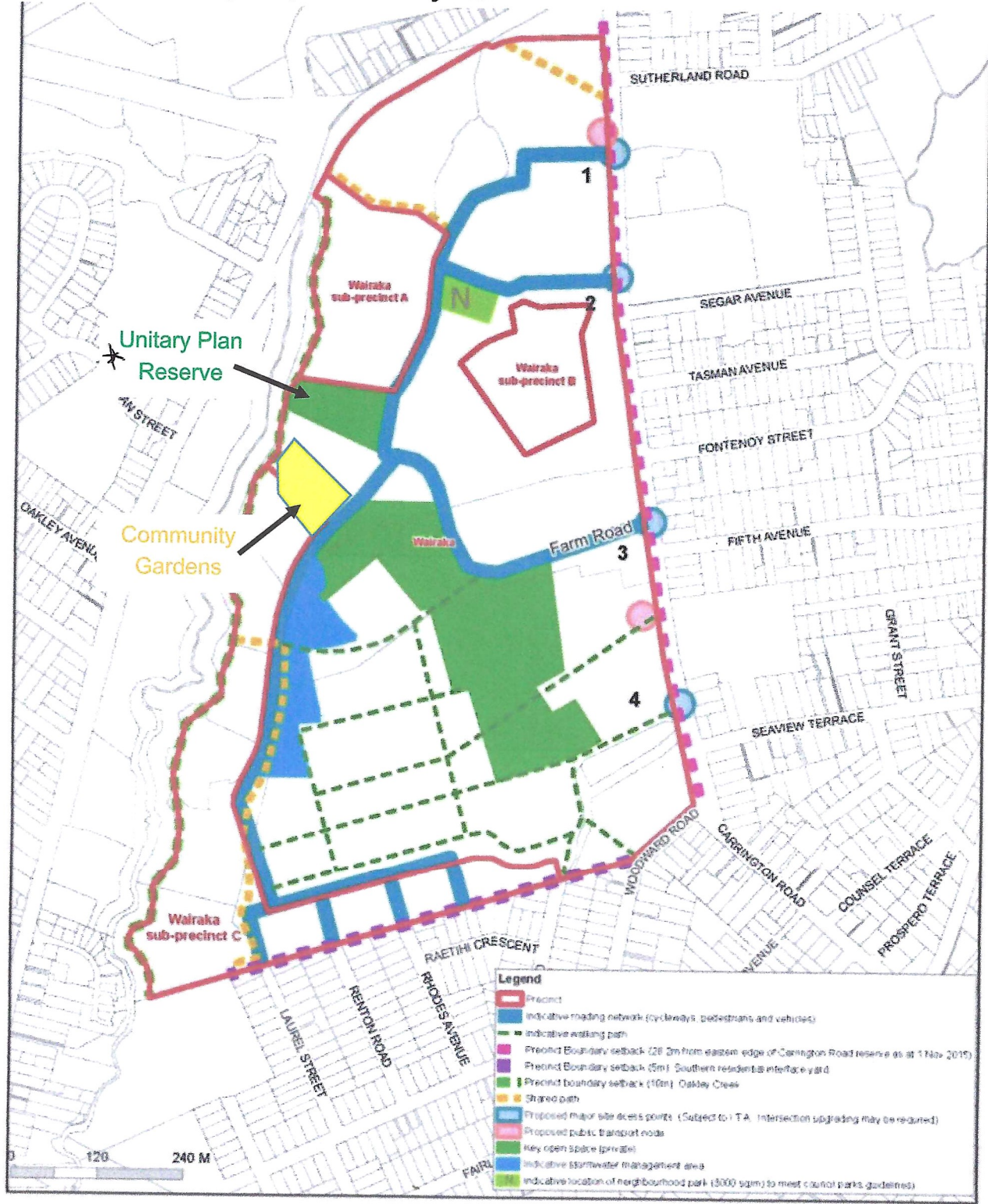
Location of Sanctuary Gardens in Wairaka Precinct



* Plan Change 75 recognises that this Open Space has been purchased by the Mason Clinic, and HUD will provide it elsewhere in the Wairaka Precinct

Plan used by Unitec to draw up clause 25.4 of the sale and purchase agreement between Unitec and the Crown, March 2018.

Location of Public Open Space – Unitary Plan



Under Plan Change 75, this Open Space now owned by the Mason Clinic is to be provided elsewhere in the Wairaka Precinct.

3 May 2024

Auckland Council

Via email: unitaryplan@aucklandcouncil.govt.nz

Further submission on PC 94: Te Auaunga Precinct (formerly the Wairaka Precinct)

1. Te Tūāpapa Kura Kainga – Ministry of Housing and Urban Development (HUD), at the address for service set out below, makes the following further submission on relief sought in a number of original submissions on Private Plan Change 94 – Te Auaunga Precinct to the Auckland Unitary Plan (PC94).
2. Those original submissions (and the parts which are the subject of HUD’s further submission) are identified in the schedule in **Appendix A**. That schedule identifies HUD’s position in respect of those parts of the original submissions, the reasons for that position (in addition to those set out below), and the decisions sought.
3. HUD has an interest in PC94 that is greater than the general public because:
 - a) it is the requester of PC94; and
 - b) it owns part of the land that is the subject of PC94 and is affected by the relief sought in the original submissions.
4. HUD could not gain an advantage in trade competition through this further submission.
5. The reasons for HUD’s further submissions on the original submissions supported by HUD are that, in its opinion, the relevant parts of those submissions:
 - a) promote the sustainable management of natural and physical resources;
 - b) are otherwise consistent with the purpose of the Resource Management Act 1991 (*RMA*) as further articulated in Part 2 of the RMA and in the relevant higher order documents, including the National Policy Statement on Urban Development 2020 (*NPS-UD*); and
 - c) are appropriate in terms of section 32 of the RMA.

6. The reasons for HUD's further submissions on the original submissions opposed by HUD are that, in its opinion, the relevant parts of those submissions:
- a) do not promote the sustainable management of natural and physical resources;
 - b) are otherwise inconsistent with Part 2 of the RMA and the relevant higher order documents, including the NPS-UD; and
 - c) are otherwise consistent with the purpose of the Resource Management Act 1991 (*RMA*) as further articulated in Part 2 of the RMA and in the relevant higher order documents, including the National Policy Statement on Urban Development 2020 (*NPS-UD*); The specific reasons for HUD's further submissions and the relief it seeks in respect of those submissions is set out in **Appendix A**.
7. HUD wishes to be heard in support of its submission.



Ian Smallburn

Senior Associate | Tattico

for and on behalf of Te Tūāpapa Kura Kainga – Ministry of Housing and Urban Development

Address for service:

Contact person: Ian Smallburn

Electronic address for service: ian.smallburn@tattico.co.nz

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
New Zealand Notable Trees Trust	15.1	Seeks to require a qualified arborist report to evaluate and specifically identify the remaining trees (other than those already scheduled or protected) and assess them against the notable tree criteria for scheduling under the Auckland Unitary Plan (Operative in Part) (AUP).	Oppose	<ul style="list-style-type: none"> Private Plan Change 94 – Te Auaunga Precinct (<i>the plan change</i> or <i>PC94</i>) does not seek to make any changes to the Precinct provisions relating to tree protection or the schedules of notable trees within the AUP. As such, 15.1 is outside the scope of the plan change. The Council and Unitec Institute of Technology (<i>Unitec</i>) have previously undertaken a detailed analysis of all the trees within the Te Auaunga Precinct (<i>the Precinct</i>). That work resulted in a list of 47 trees which are protected under the Precinct provisions themselves, as well as a number of trees which are included in the schedule of notable trees within the AUP. The number of protected trees within the Precinct is extensive, and covers a range of species. The identification of further trees for protection is not warranted and, as noted, is not within the scope of this plan change. The operative Precinct provisions relating to trees, which are unchanged in the plan change, strike the appropriate balance between protecting important trees within the Precinct, and enabling appropriate development. 	Disallow
New Zealand Notable Trees Trust	15.11	Seeks to move the boundary of the plan change 20m further north and 40m further west from Building 48, so as to exclude a grove of trees from the plan	Oppose	<ul style="list-style-type: none"> The effect of this request is to retain this land as Special Purpose: Tertiary Education zone. The land is no longer owned by Unitec and will no longer be used for education purposes. The land is within the Crown holdings and is held for housing purposes. The land should be rezoned to reflect its change of use from tertiary education. 	Disallow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
		change and to protect these trees by covenant in perpetuity.		<ul style="list-style-type: none"> The plan change appropriately seeks to zone the land Business - Mixed Use, consistent with the zoning of the surrounding land areas and its intended use. Precinct Plan 1 identifies the land north of Building 48 as potential open space. The open space analysis, as part of the plan change request, identified the grove of mature trees in this location. These trees are already protected under the AUP and this plan change does not alter that protection. The Crown has indicated its willingness and intention to vest this land as open space with Council, subject to the Council accepting the vesting and recognising this as a core part of the provision of open space land within the Precinct. The provisions within the plan change provide the appropriate balance between the provision of open space and enabling appropriate development potential within the area. 	
The Tree Council	79.1, 79.2	Seeks provision of an arboricultural report compiled by a qualified arborist regarding the "significant trees" identified in the Morphem Ecological Impact Assessment, and whether they should be identified as "notable trees" in the AUP through PC94.	Oppose	<ul style="list-style-type: none"> HUD opposes these requests for the same reasons as set out above regarding New Zealand Notable Trees Trust's submission point 15.1. They are out of scope of the plan change and for those reasons, HUD considers that further assessment and protection as sought by The Tree Council is not necessary. 	Disallow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
		Seeks inclusion of tree protection and tree works methodology to ensure there are no short or long term adverse effects on retained trees.			
School of Architecture Unitec	18.4	Proposes that Building 48 should be protected.	Oppose to the extent that PC94 is not the appropriate process for considering this matter	<ul style="list-style-type: none"> Building 48 is on land owned by Unitec. Further, the plan change does not alter or seek to change any heritage listing or scheduled buildings within the Precinct. The buildings currently scheduled under the historic heritage overlay provisions of the AUP remain protected. Scheduling of additional buildings or features, including on land owned by others, is outside the scope of the plan change. The Crown neither supports nor opposes the protection of Building 48. Protection of Building 48 is a decision for Unitec and the appropriate heritage authorities. Any protection should be sought through a separate plan change or an Auckland wide review which the Council undertakes from time to time. 	Disallow
Open Space for Future Aucklanders Incorporated	25.1	Seeks to retain Policy I334.3(15A) (inserted via Plan Change 75) requiring a minimum amount of at least 7.1ha of private open space.	Oppose	<ul style="list-style-type: none"> The Precinct, as would be amended through PC94, has been subject to detailed analysis on the needs, location and function of open space. The results of this analysis have been reflected in Precinct Plan 1 which identifies the locations of key open space. 	Disallow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
				<ul style="list-style-type: none"> • The open space provided is distributed throughout the Precinct, providing good accessibility for all residents to public open space. • This area between Carrington Road and Great North Road is particularly well serviced with open space, both within the Precinct and the immediately adjoining areas of Phyllis Street Reserve and the Te Auaunga walkway and environment. There is no need for additional open space beyond that proposed in Precinct Plan 1 under PC94. • It is not appropriate for a policy to specify either such a specific area of open space (7.1ha) or to require that such open space be provided only as private open space. • There is no rational basis for requiring 7.1ha. The proposed Precinct Plan 1 under PC94 will provide 5.1ha of public open space which the Crown would see vested in Council (subject to Council accepting the vesting); and an additional 1.2ha of private open space on land owned by Unitec; a total of 6.3ha. • The 7.1ha figure effectively reflects the identified “green areas” on the operative Wairaka Precinct Plan 1. This currently includes stormwater management areas, a carpark, as well as other green space areas. • The 7.1ha of private open space may or may not have been appropriate for the students and staff of the Unitec campus. Unitec, being mindful of student safety factors, sought to manage the open space as private open space. However, since 2013, there have been significant 	

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
				<p>changes in both the student roll, focus of student courses, and land ownership; which means that the retention of 7.1ha of private open space for the campus is no longer necessary or appropriate.</p> <ul style="list-style-type: none"> • Similar policies are not found elsewhere in AUP precincts. There is no basis to make an exception for this Precinct. • The existing objectives and policies address matters of open space. If there is to be any amendment to the existing open space policies, it should focus on providing quality open space to meet the varied needs of residents located appropriately throughout the Precinct. It should not specify the hectares nor require it to be privately held. 	
Open Space for Future Aucklanders Incorporated	25.2	Seeks to “significantly increase the amount of open space”.	Oppose	<ul style="list-style-type: none"> • As noted above, the plan change application is supported by a detailed analysis on the open space needs for a community of 4,000+ dwellings. This research has identified the appropriate location and functions of open space. • The location of the open space has been identified through Precinct Plan 1. This open space fully provides for the needs of future residents. It also provides appropriate and quality connections for residents east of Carrington Road to formally access the Te Auaunga walkway network. • The level of open space provided as part of the plan change is appropriate to meet the needs of the community. It provides open space within easy walking 	Disallow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
				<p>distance of all dwellings on the site. The nature of open space responds to the different functional needs within a new community.</p> <ul style="list-style-type: none"> There is no justification to increase the level of open space beyond that proposed in PC94 or beyond the levels provided for other existing neighbourhoods. 	
Open Space for Future Aucklanders Incorporated	25.11	Seeks to reduce heights throughout the Precinct.	Oppose	<ul style="list-style-type: none"> The Precinct is uniquely located to provide for a range of heights. Its separation to the west by the Oakley Creek open space, to the north by the motorway interchange and to the east by the significantly widened Carrington Road means that the land is suitable for additional height. The interface between the Precinct and the neighbourhood to the south is more sensitive to the effects of taller buildings, and to that end, a graduated approach has been taken which steps maximum height controls, decreasing as it moves towards the southern boundary. Specifically, an 11m height limit is applied at the interface between the Precinct and the residential land to the south which then steps up to a height of 27m in the adjoining Business – Mixed Use zone, being the current limit. The higher height limits proposed through the plan change are in the central and northern parts of the Precinct well removed from the southern part. The proposed height increases in the Precinct compared to the operative AUP heights achieve compliance with the Resource Management (Enabling Housing and Other Matters) Amendment Act 2021 and the introduction of 	Disallow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
				<p>Medium Density Residential Standards (<i>MDRS</i>). The <i>MDRS</i> effectively require height to be raised in the Precinct from 8m to 11m in the Residential – Mixed Housing Urban zone (<i>MHU</i>). The heights in the Business – Mixed Use zone are not affected by the <i>MDRS</i>.</p> <ul style="list-style-type: none"> • The increase in height along the Carrington Road frontage reflects that Carrington Road is to be widened to a 28m corridor with dedicated cycle and bus lanes. It is located on a high frequency bus route which makes it suitable for additional intensity of development. The analysis by Boffa Miskell included in the plan change application identifies the appropriateness of additional height in this area, subject to the assessment criteria for new buildings. • The higher heights in the western central part of the Precinct reflect the contour of the land and how greater heights can be achieved in this location, at the low point of the Precinct, adjacent to, and nestled into, the valley. • The high-rise development in the north-western corner reflects the isolation of this location, overlooking the Waterview interchange, and the ability to provide significant outlook and views. • The height provisions within this plan change are appropriate. The standards within the Precinct and the underlying zone successfully manage the effects of development. 	

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
Open Space for Future Aucklanders Incorporated	25.28	Seeks the scheduling of additional buildings within the Precinct as historic heritage or special character buildings.	Oppose	<ul style="list-style-type: none"> • PC94 does not seek to alter the scheduling of any existing heritage or special character buildings, or change the protections those buildings are afforded under the AUP. This request is not within the scope of this plan change. • In terms of the Crown land, the appropriate buildings and features are already protected by: <ul style="list-style-type: none"> ○ schedules in the AUP (the former Oakley Hospital Building); ○ covenants and other features applying to the title of land (southern stone wall and pump house); and/or ○ general protection under the Heritage New Zealand Pouhere Taonga Act 2014 – namely archaeological sites. • The scheduling of further buildings and/or the provision of additional protection for those buildings is a matter to be considered through a separate plan change. 	Disallow
Auckland Council	68.1	Seeks to incorporate the MDRS in the Residential - Terrace House & Apartment Building zone (<i>THAB</i>) and MHU zone.	Support	<ul style="list-style-type: none"> • HUD supports ensuring all parts of the plan change are consistent with MDRS in accordance with the requirements of the Resource Management Act 1991 (as amended by the Resource Management (Enabling Housing Supply and Other Matters) Amendment Act 2021. • While the Precinct provisions are consistent with the MDRS provisions, PC94 did not seek to amend any of the underlying residential zone provisions. 	Allow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
				<ul style="list-style-type: none"> The plan change effectively adopts the objectives and policies, activities and standards of the underlying zoning. As the Council advances Plan Change 78 (subject to ongoing dialogue between Council and the Government in respect of that process), the provisions of the MDRS will be incorporated within the underlying zoning in the Precinct. HUD accepts that in the interim there is benefit in specifically identifying the provisions of the underlying residential zones which need to be amended to be fully consistent with the MDRS, if that is Council's preference. As part of its evidence to the Hearing Panel, HUD will provide an appendix to the plan change provisions which can incorporate the MDRS provisions as an interim measure until such time as Plan Change 78 is operative. 	
Auckland Transport	40.7	Seeks to amend policy 19 (pedestrian and cycle access, street quality and safety); other policies supported.	Support	<ul style="list-style-type: none"> The primary effect is to specifically reference the connection to the Northwestern Cycleway. These connections are currently under construction and, in the case of Farm Road, already built. HUD supports this specific reference. 	Allow
Te Whatu Ora – Health New Zealand Waitematā	65.1	Seeks inclusion of a new standard (I334.6.13) regarding setback and planting on boundary with Sub-precinct A.	Support	<ul style="list-style-type: none"> Te Whatu Ora and HUD have worked through the appropriate boundary interface issues between Sub-Precinct B and the rest of the Precinct (the northern and southern boundaries of Sub-Precinct B). 	Allow in part

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
		Seeks a new activity status of non-complying for non-compliance with standard I334.6.13.		<ul style="list-style-type: none"> The necessary setbacks are already constructed to the south. HUD supports the inclusion of a provision making infringement of this standard and a <i>non-complying activity</i>. However, given the contour of the land, it is considered that some exceptions to this standard would be required, such as for retaining walls or buildings (e.g. underground parking) with landscaping above. 	
Te Whatu Ora – Health New Zealand Waitematā	65.2	Seeks deletion of proposed landscape standard I334.6.16.	Support	<ul style="list-style-type: none"> This landscape control ensures that 20% of the Precinct is in natural land cover. This can largely be achieved within the open space within the Precinct, complemented by the other open space provided for within the development. This control is not intended to apply to the Mason Clinic site which has particular Precinct plan provisions and a different form of development, given its specialist healthcare function. HUD supports inclusion of a provision in the Precinct which excludes Sub-Precinct B from complying with this landscape standard, or the land within Sub-Precinct B being used in the calculation of this standard. 	Allow
Ngāti Whātua Ōrākei Whai Rawa Limited	105.1	Seeks to approve the plan change but subject to rezoning a small area of land to Business Mixed Use	Support	<ul style="list-style-type: none"> The requested rezoning of that small area is a logical, minor adjustment, which integrates it with the adjoining Business Mixed Use zone while also preserving the existing residential interface with the southern zoning. 	Allow

Appendix A: Schedule of relief sought

Submitter name	Submission point	Summary of decision requested (decision sought)	HUD position	HUD reasons	Decision sought
		and removing it from Sub-Precinct C.		<ul style="list-style-type: none"> HUD supports the rezoning of that area as an efficient, effective planning outcome that will enable integrated development. 	
Ministry of Education	230	Seeks to amend objective 3 to provide for education facilities as well as tertiary education facilities.	Support	<ul style="list-style-type: none"> HUD considers that it is appropriate to enable education facilities (as well as tertiary education facilities) to be provided for in the Precinct. 	Allow

From: [Ian Smallburn](#)
To: [Unitary Plan](#)
Subject: RE: Further Submission for Te Tūāpapa Kura Kainga – Ministry of Housing and Urban Development - PC94 - Te Auaunga Precinct (formerly the Wairaka Precinct)
Date: Thursday, 9 May 2024 12:34:56 pm
Attachments: [image002.png](#)

Hi Manisha,

Thanks for picking this up. It relates to 65.1.

Thank you.

Regards,

Ian Smallburn | Senior Associate | Tattico Limited
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tattico



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From: Unitary Plan <unitaryplan@aucklandcouncil.govt.nz>
Sent: Thursday, May 9, 2024 11:36 AM
To: Ian Smallburn <Ian.Smallburn@tattico.co.nz>
Subject: RE: Further Submission for Te Tūāpapa Kura Kainga – Ministry of Housing and Urban Development - PC94 - Te Auaunga Precinct (formerly the Wairaka Precinct)
Importance: High

Kia ora Ian,

Thank you for making a further submission on behalf of Te Tūāpapa Kura Kainga – Ministry of Housing and Urban Development.

I was reviewing the submission and noticed that it references to support subpoint 65.2. However, subpoint 65.2 does not appear in the SDR.

To ensure clarity, could you please correct the reference in the submission and resend it at your earliest convenience?

Please see screenshot below:

RESOURCE MANAGEMENT ACT 1991**FURTHER SUBMISSION ON PROPOSED PRIVATE PLAN CHANGE 94
TO THE AUCKLAND UNITARY PLAN (OPERATIVE IN PART)****Clause 8 of the First Schedule**

TO: Auckland Council,
By Email: unitaryplan@aucklandcouncil.govt.nz

SUBMITTERS: **Geoffrey John Beresford** at the address for service set out below.

1. The Submitter made a submission, Submission No. 124, on Proposed Private Plan Change 94 to the Auckland Unitary Plan Operative in Part ("the Proposed Change"). The Submitter makes further submissions in support of, or in opposition, the relief sought in the primary submissions of other submitters as set out in **Attachment 1**.
2. Where submissions are supported or opposed, it is to the extent that it is consistent with the relief sought by the Submitters in their primary submission. The specific parts of the submission supported or opposed are addressed, and the specific reasons for the Submitters' position are set out in **Attachment 1**.
3. The general reasons for this further submission are:
 - (a) In the case of submissions opposed, the submissions do not promote the sustainable management of natural and physical resources and are otherwise inconsistent with the purpose and principles of the Act; and rejecting the relief sought in the submissions would more fully serve the statutory purpose than would implementing that relief.
 - (b) In the case of those submissions supported, the submissions promote the sustainable management of natural and physical resources and are consistent with the purpose and principles of the Act; and allowing the relief sought would more fully serve the statutory purpose than would disallowing that relief.
4. The Submitter wishes to be heard in support of this further submission.

5. If other parties make similar submissions, the Submitters would consider presenting a joint case with them at any hearing.

DATED 10 May 2024



GJ Beresford

Address for service of the Submitter: Beresford Law, Level 6, 20 Waterloo Quadrant, Auckland, 1010. PO Box 1088, Shortland Street Auckland. Attention: Geoffrey Beresford. Mobile: +64 0277 396 896. Email: geoff@beresfordlaw.co.nz

Attachment 1: Further submission details

FS 12

Further Submission Details						
Details of original submission that further submission is being made on				Details of further submission		
Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	Allow or Disallow (if plan change approved)
Leon Lu	2.1	Decline the Plan Change	Opposes development that may compromise further use for education	Support	This submission is correct. It is short-term thinking to fixate on housing when there is arguably greater overall need to provide educational infrastructure and resulting economic, cultural and social benefits arising from a more educated working population.	Allow
Trevor Crosby	5.2	Decline the Plan Change	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Support	A masterplan is required with further information also required. The Submitter has detailed efforts made to seek information over a number of years.	Allow
Trevor Crosby	5.3	Decline the Plan Change	Opposes the change of Precinct name	Support	For the reasons given in original submission and as given by other submitters in opposition	Allow
Trevor Crosby	5.4	Decline the Plan Change	Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Oppose	Increasing the height limits is opposed for the reasons given in original submission and as given by other submitters in opposition.	Disallow
Trevor Crosby	5.5	Decline the Plan Change	Supports zone change from educational to Business - Mixed Use (and says this zone change can be supported, as it is no longer used for its main purpose of education)	Oppose	Opposed as there is arguably greater overall need for the provision of education and the use of land for housing is arguably sub-optimal.	Disallow
Trevor Crosby	5.6	Decline the Plan Change	Seeks provision of more open space as number of dwellings increases over time from 4,00-4,500 dwellings to up to 6,000 dwellings	Oppose	This submission suggests 6000 units may be built but there is insufficient open space to accommodate the population that would result from this.	Disallow
Trevor Crosby	5.7	Decline the Plan Change	Seeks protection of sanctuary gardens	Support	To protect open space.	Allow
Jennifer Ward	6.1-6.5	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.	Allow
Te Akitai Investment Trust	12.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohuria.	Oppose	Development of the whenua in this context is purely economic activity not cultural or social activity.	Disallow
Te Akitai Investment Trust	12.2	Support	Supports the precinct name change	Oppose	For the reasons given in original submission and as given by other submitters in opposition	Disallow
Te Akitai Investment Trust	12.3	Support	Supports the proposed zoning and precinct provisions	Oppose	For the reasons given in original submission and as given by other submitters in opposition.	Disallow
NZ Notable Trees Trust	15.1-15.12	Oppose	Various: refer submission	Support	To preserve trees and enhance open space.	Allow
Te Akitai Waiohuria Waka Taua Incorporated	17.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohuria.	Oppose	Development of the whenua in this context is purely economic activity not cultural or social activity.	Disallow
Te Akitai Waiohuria Waka Taua Incorporated	17.2	Support	Supports the precinct name change	Oppose	For the reasons given in original submission and as given by other submitters in opposition to the proposed name change	Disallow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Te Akitai Waiohua Waka Taua Incorporated	17.3	Support	Supports the proposed zoning and precinct provisions	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
School of Architecture, Unitec Te Pukenga	18.1-18.5	Oppose	Various: refer submission	Oppose	Support for the reasons given by the submitter.		Disallow
Gladstone Primary School Board	20.1	Oppose	Various: refer submission	Support	The schooling needs of up to 18,000 new residents need to be planned for.		Allow
FENZ	24.1	Amend	Seeks sufficient provision for infrastructure, in particular water supply for firefighting	Support	Risk to life and property if insufficient water supply for firefighting is provided.		Allow
FENZ	24.2	Amend	Seeks to amend I334.9 Special Information Requirements to include reference to suitable emergency access for future development	Support	Risk to life and property if insufficient emergency access is not specifically provided for.		Allow
Open Space for Future Aucklanders Incorporated	25.1-25.77	Decline the Plan Change	Various: refer submission	Support	Required to increase and improve the open space proposed in the Precinct, so that it better enables a well-functioning urban environment and meets the needs of all future residents of the Precinct and the surrounding urban environments.		Allow
AT	40.1	Support	Generally supports the plan change including the increased residential yield and changes to the zoning for the reasons set out in Attachment 1	Oppose	<ul style="list-style-type: none"> The public transport on Carrington Road is not a viable substitute for vehicle trips. The development is only "close" to the train station at Mt Albert train depending on your definition of close. Practically it is too far away. Walking uphill along a busy road is not desirable. AT's plans in relation to Carrington Road and the Precinct are a mess. The Carrington Road "Upgrade" project is a bad joke that is liable to produce gridlock. That project also should not proceed in the absence of Master Planning of the Precinct. The Plan Change will not give effect to NPSUD or RPS objectives but the opposite. Only AT could say that an additional 2,500 units is not seen as significant. A resource consent for each development provides no assurance that the Precinct will 		Disallow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
					<p>be appropriately developed, instead it is an obvious guarantee of the opposite.</p> <ul style="list-style-type: none"> The fact that IAF money has been made available should not dissuade or excuse AT from looking at the bigger picture. 		
AT	40.2	Amend	AT should not fund and implement a residents only parking zone - this should be managed by the applicant. Refer to Attachment for details.	Support	Adverse effects of insufficient parking need to be internalized within the Precinct without affecting the surrounding road network and community.		Allow
AT	40.3	Amend	Seeks that discrepancies in the ITA traffic model be addressed through alignment with modelling for AT's Carrington Road upgrading project. Refer to Attachment 1 for details.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.		Allow
AT	40.4	Amend	Amend the ITA to reflect agreements on intersection upgrades and expand Rule I224.9 to capture this matter.	Support	Funding and delivery of adequate infrastructure needs to be coordinated to ensure it is in place prior to development.		Allow
AT	40.5	Amend	Seeks amendments to refer to the Northwestern Shared Path in the Precinct Description and that public transport will occur on the edge of the site (Carrington Road). Refer to Attachment 1 for details.	Oppose	The distances and topography in the Precinct mean that provision for public transport within the Precinct is required not just connections to surrounding areas.		Disallow
AT	40.7	Amend	Amend Policy 19 'Pedestrian and cycle access, street quality and safety'. Refer to Attachment 1 for details.	Support	Improvements to these matters are required to achieve good quality outcomes.		Allow
AT	40.8	Amend	Retain amendments to Rule I334.9 [Special information requirements (and for avoidance of doubt, the Transport Policies) as proposed	Oppose	Given the discrepancies in the transport model used by the applicant and AT's own traffic model and the changes to proposed yield further assessment is required of traffic effects at an earlier stage.		Disallow
AT	40.10	Support	Supports deletion of references to an internal bus node	Oppose	An internal bus node, and transport hub, and the planning provision for a future train spur ought to be properly considered by the organisation that is responsible for the region's transport services acting in accordance with its statutory duties.		Disallow
AT	40.11	Support	Supports proposed amendments to I334. 4 Activity Tables	Oppose	Proposed amendments to the Activity Tables are too permissive given the nature of the proposed highly intensive development.		Disallow
AT	40.12	Support	Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard on Carrington Road, I334.6.8(2) deletion of bus node references and I334.6.3 road run off.	Oppose	Increased setbacks and reduced heights on Carrington Road are required to mitigate effects on the surrounding environment. Provision for public transport within the Precinct required		Disallow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
AT	40.13	Support	Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard on Carrington Road, I334.6.8(2) deletion of bus node references and I334.6.3 road run off.	Support	There is no adequate provision for public transport, and no hope of it ever being adequate with AT in charge, so we may as well require two cycle parks per unit or up to 16,000 cycle parks.		Allow
Watercare Services Limited	45.1-45.3	Neither supports nor opposes	Various: Refer Submission	Support	Watercare would like to know how many people are going to live in the Precinct. Certainty around this is required as this is a key input for Watercare's planning process to ensure the bulk wastewater and water supply network upgrades planned by Watercare can accommodate the maximum yield enabled by the Plan Change.		Allow
Dennis Katsanos	51.1	Decline the Plan Change	Opposes zoning change to Business -Mixed Business	Support	Agree with: We oppose the rezoning of land for Mixed Business Use, no one has consulted us or discussed what type of business this land may be used for, how people will get in an out, noise, visual and other negative impacts on surrounding properties. Why can't someone come and talk to us and walk us through what is happening as opposed to providing documents that are hundreds of pages long that many people can't understand. The rezoning requires investigation and consultation and with the residents to decide what serves Mt Albert best. The Crown could identify what parks, recreation areas and possible community requirements going forward. Once the land is apartment buildings it's gone		Allow
Dennis Katsanos	51.2	Decline the Plan Change	Seeks that Penman House be preserved	Support	Agree with: The historic house (Penman House) on the corner of Woodward and Carrington Road is an iconic landmark and should be preserved as such for future generations.		Allow
Dennis Katsanos	51.3	Decline the Plan Change	Opposes due to traffic effects on Woodward Road and Carrington Road	Support	Agree with: Woodward Road and Carrington roads are already heavily impacted by traffic. It is incredibly hard to get out of your driveway at peak time and adding so many more dwellings along with the rate that Auckland is growing in size will have a drastically negative impact for residents on those streets and the wider community.		Allow
Dennis Katsanos	51.4	Decline the Plan Change	Opposes due to inadequate infrastructure	Support	Agree with: Despite what favourable traffic and infrastructure reports provided may say, the existing roads and infrastructure struggle to handle the volumes at present. The new development will always connect with the old infrastructure and bottle neck. Drains are constantly blocked on Carrington and has an impact on all involved increasing the volume of buildings and housing will just add to an already strained system.		Allow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Springleigh Residents Association	57.1, 57.3 to 57.6 to 57.21	Decline the Plan Change	Various: refer submission	Support	Addressing the matters raised in the submission providing the further information and assessment requested in the submission is required to properly assess the proposal.		Allow
Springleigh Residents Association	57.22-23.	Decline the Plan Change	Various: refer submission	Support	Amendments are required to address amenity effects and provide clarification of important details of the Precinct Plan.		Allow
Springleigh Residents Association	57.27	Decline the Plan Change	Delete Policy (10)	Support	Required to protect SEA.		Allow
Springleigh Residents Association	57.32	Decline the Plan Change	Delete Policy (20)(f)	Support	Required to ensure mitigation of negative effects of development on surrounding areas.		Allow
Springleigh Residents Association	57.35	Decline the Plan Change	Delete Policy (27)(b)	Support	Required to protect Oakley Creek / Te Auaunga.		Allow
Springleigh Residents Association	57.36	Decline the Plan Change	Amend Policy 27	Oppose	Graduated heights should apply at all Precinct boundaries.		Disallow
Springleigh Residents Association	57.37	Decline the Plan Change	Delete Policy 30(A)	Oppose	The heritage buildings should be assessed across the whole precinct and adequately protected.		Disallow
Springleigh Residents Association	57.38	Decline the Plan Change	Delete Policy 39	Support	Support for the reasons given by the submitter.		Allow
Springleigh Residents Association	57.39	Decline the Plan Change	Policy 40	Support	Support for the reasons given by the submitter.		Allow
Springleigh Residents Association	57.40-57.46	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Springleigh Residents Association	57.47-57.55	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Chris Calvert	61.1	Decline the Plan Change	Changing the name to Te Auaunga /Oakley Creek is inaccurate and confusing as it is some distance away to the west and is not within the boundaries of the land in question.	Support	Support for the reasons given by the submitter.		Disallow
Chris Calvert	61.3	Decline the Plan Change	Without a masterplan the precinct is at risk of becoming a jumble of unrelated development	Support	Support for the reasons given by the submitter.		Allow
Ngati Tamaoho Settlement Trust	63.1	Supports the Plan Change	Opportunity for development of land will achieve cultural, social and economic objectives for Ngati Tamaoho.	Oppose	Development of the whenua in this context is purely economic activity not cultural or social activity.		Disallow
Ngati Tamaoho Settlement Trust	63.2	Supports the Plan Change	Approve the name change of the Wairaka Precinct to Te Auaunga	Oppose	For the reasons given in original submission and as given by other submitters in opposition		Disallow
Ngati Tamaoho Settlement Trust	63.3	Supports the Plan Change	Approve the objectives and policies as proposed by PC94, Approve the rezoning of land as set out in PC94; Approve the changes to the activities , standards, and assessment criteria as proposed by PC94; Approve the modifications to the precinct plans and the introduction of the new precinct plan as set out in PC94	Oppose	For the reasons given in original submission and as given by other submitters in opposition		Disallow
Te Whatu Ora	65.1	Support with amendments	Seeks, to ensure consistency in respect of the application of the Precinct provisions: •Addition of a new rule A33A to Table 1334.4.1 - buildings or additions to buildings not complying with 1334.6.13 (as a non-complying activity), • Deletion of proposed (landscaping) standard I334.6.16.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Te Wai O Raka Development GP Limited	66.1	Support with amendments	Seeks that the Precinct name be Wai O Raka	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Te Wai O Raka Development GP Limited	66.2	Support with amendments	This plan change is necessary to rezone surplus tertiary education land to mixed use so that land can be developed for residential activity	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Te Wai O Raka Development GP Limited	66.3	Support	Supports proposed zoning and provisions.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Waihua Tamaki Ropu	67.1	Support	Opportunity for development of land will achieve cultural, social and economic objectives for Waiohuria.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Waihua Tamaki Ropu	67.2	Support	Supports the Precinct Name Change.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Waihua Tamaki Ropu	67.3	Support	Supports proposed zoning and provisions.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Auckland Council	68.1	Seeks amendment	Amendments are sought to Plan Change 94 to incorporate the Medium Density Residential Standards (MDRS) in the Terrace Housing and Apartment Buildings Zone and Mixed Housing Urban Zone.	Oppose	The MDRS is terrible and should be ignored by the Auckland Council (which knows far better what is required in Auckland than Central Government).		Disallow
Te Whenua Haa Ora GP Limited	69.1	Support with amendments	Amend the Precinct provisions (including assessment criteria) to provide more specific detail as to the assumptions in the Integrated Traffic Assessment that are to be reviewed and assessed once the threshold of 3,000 dwellings is met. Refer to paragraph 12 for details.	Support			Support
Te Whenua Haa Ora GP Limited	69.2	Support with amendments	Amend the Precinct provisions to ensure that the traffic-reducing mitigation measure of a "strict car parking constraint" for residential dwellings in the Precinct (of an average of 0.7 spaces per unit, across the Precinct as a whole) is delivered;	Support			Support
Te Whenua Haa Ora GP Limited	69.3	Support with amendments	Amend the Precinct provisions to ensure that: i. the Carrington Road I Gate 1 intersection will be signalised once 600 dwellings have been delivered; ii. the Carrington Road I Gate 3 intersection will be signalised once a trigger threshold of 1,500 dwellings has been reached, to provide permeability and an additional safe exit location for the Precinct, rather than sole reliance on Gates 1 and 4 as the only signalised intersections.	Support			Support
Paula Norman	70.2	Amend	Seeks adequate infrastructure	Support	The submitter correctly identifies that Pt Chevalier does not contain the necessary infrastructure to support the proposed level of development. Nor does Mt Albert or other surrounding suburbs.		Disallow
St Lukes Environmental Protection Society Inc	72.1-72.9	Support with Amendments	Various: refer submission	Amend	The proposals are generally supported but the way in which these matters are addressed and the specific proposed requires to be further considered.		Disallow
The Tree Council	79.1-79.12	Oppose	Various: refer submission	Support	To preserve trees and enhance open space.		Allow
Rachel Simpson	82.1	Decline the Plan Change	Opposes due to proposed building height and density	Support	Agree with: 72 metres is excessive, daylight blocking and a way to increase 4000 to 6000 dwellings.		Allow
Rachel Simpson	82.2	Decline the Plan Change	Opposes due to inadequate infrastructure	Support	Agree with: Not enough proof of infrastructure support available, eg provision for local schools to extend capacity, sewerage , traffic congestion etc The density of people is excessive and is the equivalent of a small town		Allow
Joanna Waddington	83.1	Decline the Plan Change	Opposes due to the need for community services	Support	Agree with: Considering the number of houses/apartments being proposed in this site and therefore the number of people residing there, there is a totally inadequate amount of facilities being developed. Having lost spaces such as the		Allow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
					community gym and indoor sports centre, the squash courts, basketball court, and large playing fields where my children spent many hours growing up what are the children and families who live here going to do to be active and keep out of trouble? I am loathe to say this but we have already seen a sharp increase in crime with the recent development of apartments in the area. Rawalpindi Street, Tasman Ave and Martin Ave		
Dan Blanchon	88.1	Oppose specific provisions	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Support	Support the submission that a management plan should be created as a matter of urgency to protect the rare lichen species.		Allow
Karen Burge	92.1-92.4	Decline the Plan Change	Various: refer submission	Support	Agree with: This is a once in a lifetime to get this right, a beautiful piece of inner city land full of beautiful mature trees, green spaces and historic buildings. I am very worried that we will put intensification of housing ahead of creating a world leading inner city intensive suburb with beautiful nature trees, community gardens, community facilities, connected open space, plenty of parklands and sports facilities and definitely a school!!		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.1	Oppose	Oppose proposed name change	Support	Good reasons exist for not changing the name of the precinct as stated by many submitters.		Disallow change
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.2	Amend	Amend I334.1 Precinct Description to identify where setbacks will be used and to include Te Ao Māori principles. Supports proposed paragraphs relating to managing interfaces (para. 3), open space (para. 4) and Māori capacity building and development (para 7). Refer to pages 3 & 4 of the submission for details	Oppose	There are both epistemological and practical issues that arise from the proposal to include principles that are non-universal and not accessible to all. Further the submission is poorly defined and does not state what those principles are, how they apply practically, and what happens when they conflict with other established principles.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.3	Amend	Provide a visionary and detailed masterplan	Support	Master planning is required as stated by many submitters.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.4	Amend	Amend Objective I334.2(6) by correctly describing the precinct area as the 'Wairaka Precinct land'. Refer to page 4 of the submission for details.	Oppose	There is a better solution which is just to refer to the Precinct throughout.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.5	Amend	Amend Objective I334.2(12) to include the protection of the whenua/environmental/ecological capacity from a Te Ao Māori perspective. See pages 4 and 5 for details.	Oppose	A Te Ao Maori perspective does not function as a content laden set of universally accessible rules.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.6	Amend	Support greater intensification provided buildings do not tower over Significant Ecological Areas within and adjoining the precinct and on adjacent reserve land	Oppose	The issue of buildings towering over SEAs is a valid issue that needs to be addressed.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.7	Amend	Amend Policy I334.3(14) that in relation to built form and character, proposals should be sympathetic to the surrounding landscape. Refer to page 6 of the submission s.	Support	The reasons given for requesting that buildings do not tower over the land are valid.		Allow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.8-94.11	Amend	Specify in the precinct the amount of open space including what proportions are to remain private and public open space	Support	Increased open space in the precinct is required to support the level of proposed development.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.12	Amend	Amend Policy I334.3(27)(c) be amended as follows: 'Manage potential adverse effects from buildings at the precinct boundary by: (a) Establishing...(c) Require graduated heights... that adjoin Mixed Housing Suburban residential areas to the south of the precinct, and the significant ecological areas (SEAs) both within the precinct and in Te Auaunga (the valley	Oppose	Potentially affected residential areas are not only located to the south of the precinct.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.13	Support	Support Policy I334.3(28) Integrated Development	Support 9	Further amendments to this Policy are required to ensure integrated development occurs.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.14	Amend	Amend Policy I334.3(40) by removing reference to passive surveillance from buildings of public and within Te Auaunga Valley	Oppose	Passive surveillance may be required to ensure that there is safety in the area.		Disallow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.15	Amend	Amend I334.9 Special Information Requirements Stormwater to retain requirements for Stormwater Management Plans or an amended version included to ensure management guidelines and protection of the receiving environments.	Support	Required to protect the environment.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.16	Amend	Protect natural heritage - awa aquifers, puna/springs and geological features such as basalt outcrops.	Support	Required to support natural heritage.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.17	Amend	Provide a pest management plan and provide associated precinct policy	Support	A policy covering the management of pets is required to avoid any negative impact on the biodiversity, particularly the native fauna.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.18	Amend	Provide public parking areas, including bicycle racks, for access to Te Auaunga (the Valley).	Support	Required to enhance public access.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.10	Amend	Protect Significant Ecological Areas within the precinct and on Te Auaunga (the valley) by applying setbacks	Support	Required to protect SEAs.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.20	Amend	Investigate the source of the two springs and undertake further daylighting.	Support	Required to better understand the Precinct.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.21	Amend	Inferred - protect and enhance the Sanctuary Gardens	Support	Required to protect the Sanctuary Gardens.		Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.22	Amend	Provide for the Te Ao Māori perspective, including by further planting of native bush/ngahere	Oppose	Reference to a Te Ao Māori perspective is not required given the specifics of the proposal, which is itself not opposed.		Disallow
Evelyn McNamara	100.1	Decline the Plan Change	Opposes due to effects on amenity	Support	Support for the reasons given by the submitter.		Allow
Evelyn McNamara	100.4	Decline the Plan Change	Opposes due to effects on clogged road (more accurately opposes due to issues with land use)	Support	Support for the reasons given by the submitter.		Allow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Ngati Whatua	105.1	Support with amendments	Seeks to approve the plan change subject to rezoning the small area of land identified to Business Mixed Use (and subsequent amendments to Precinct Plan 1) by removing the land from Sub-Precinct C and Precinct Plan 3 by including the land in Height Area 4) , identifying an area of land that can accommodate additional height with adverse effect. Refer to Map 1	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Ngati Whatua	105.2	Support with amendments	Seeks to approve the plan change subject to removal of Trees 39, 40 and 41 from the schedule and Precinct Plan 2	Support	Practically this needs to occur as the trees have already been removed.		Allow
Ockham Group Ltd	112.1	Support with amendments	Supports plan change and increases in building height.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Ockham Group Ltd	112.2	Support with amendments	Seeks increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Campbell Hodgetts	118.1-18.3	Decline the Plan Change	Opposes due to pressure on infrastructure, roads, services	Support	Support for the reasons given by the submitter.		Allow
Natalie Munro	119.1-5	Decline the Plan Change	Seeks more provision for open space	Support	Support for the reasons given by the submitter.		Allow
Marutūāhu Rōpū	120.1	Support with amendments	Supports plan change and increases in building height.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Marutūāhu Rōpū	120.2	Support with amendments	Seeks increases to the building height standards beyond those contemplated within the Plan Change, notably that 'Height Area 2' which stipulates a 35m building height be extended to include all of the land within 'Height Area 4' (prescribing a 27m height) north of the Gate 3 Road.	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Portia Lawre	126.1-126.6	Decline	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Colin Symonds	127	Decline the Plan Change	Opposes due to impact on services, no consultation with service providers	Support	Agree with submission the application fails to identify the impact of the proposal on demand for various services.		Allow
Paul Tudors	129.1	Decline the Plan Change	[Inferred] Seeks more open space and protection of Sanctuary Gardens	Support	Support the submissions that the change will enable amore unhealthy environment and needs to allow for greater green spaces which are to be protected into the future, for the generations to come.		Allow
Ronald Tapply	135.1-135.6	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Ngāi Tai ki Tāmaki	142.1	Support	Various: refer submission	Oppose	For the reasons given in original submission and as given by other submitters in opposition.		Disallow
Bridgette Lambert	157.1-157.8	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Heritage New Zealand Pouhere Taonga	162.1-162.4	Support with amendments	Various: refer submission	Oppose	Support amendments to protect historic heritage throughout the precinct but oppose amendments that would fail to achieve this effect.		Disallow

Original submitter	Submission number	Original submitter position	Relief sought as stated in the summary of submissions	Support or oppose	Reasons for support or opposition	FS 12	Allow or Disallow (if plan change approved)
Heritage New Zealand Pouhere Taonga	162.5-162.15	Support with amendments	Various: refer submission	Support	Support amendments to protect historic heritage and requests for further information required to allow the application to be assessed		Allow
Rochelle Sewell	164.1-164.2	Support with amendments	Various: refer submission	Support	Support submissions addressing the failure of state entities to collaborate, failure to implement the Council's open space strategy, and insufficient consideration of environmental needs (setbacks).		Allow
Tim Strawbridge	168.1-168.5	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Esther and Ross Vernon	206.1-206.8	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Joanna Spratt	207.1	Decline the Plan Change	Various: refer submission	Support	Support for the reasons given by the submitter.		Allow
Civic Trust Auckland	223.1-223.6	Amend	Various: refer submission. In particular to support the submission that if Council were to give proper effect to RMA s 6(f), a comprehensive assessment of the campus would be done, which would quite logically conclude that there is an Historic Heritage Area (as defined in the AUP) with a collection of heritage buildings, and this would be defined with all necessary exclusions to allow planned development without destroying yet more of the city's dwindling heritage resource.	Support	Fully support. Penman house should clearly be protected. It is clearly a heritage building with historic significance. Also support the submission that <i>"the Planning Report states: "There is one heritage building within the precinct, being the former Oakley Hospital Building." That is not strictly correct, and is most likely a nonsense. The fact is that only one of the numerous buildings that made up the extensive medical facility had been properly assessed and included where warranted on Council's schedule and Heritage New Zealand's list. Their lack of protection is more a matter of bureaucratic oversight and lack of budget"</i> .		Allow
Waterview School	226.1	Amend	Seeks a special purposes school zone.	Support	Schools should be planned for.		Allow
Ministry of Education	230.1	Amend	Amend Objective 3: refer submission	Support	Schools should be planned for.		Allow

I had submitter 129 complain that I spelt his name wrong. I accidentally added an "s" on to the end of his name. I have corrected it in this version and will re-serve it on him. Would the Council also please use this corrected version from now on?

Apologies.

Kind regards

Geoffrey Beresford
Partner



M: 0277 396 896

W: www.beresfordlaw.co.nz

Level 6 Waterloo Towers, 20 Waterloo Quadrant, Auckland 1010.

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From: Unitary Plan <unitaryplan@aucklandcouncil.govt.nz>

Sent: Thursday, May 9, 2024 12:14 PM

To: Geoff Beresford <geoff@beresfordlaw.co.nz>

Subject: RE: Further submission on PC94

Kia ora Geoff

Received, thank you.

Thanks
Manisha

Ngā mihi

Maninder Kaur-Mehta | Planning Technician | Plans and Places Department

Auckland Council, Level 16, 135 Albert Street, Auckland 1011

Visit our website: www.aucklandcouncil.govt.nz

From: Geoff Beresford <geoff@beresfordlaw.co.nz>

Sent: Thursday, May 9, 2024 11:45 AM

To: Geoff Beresford <geoff@beresfordlaw.co.nz>

Subject: Further submission on PC94

Dear Submitter

Please see **attached** my further submission on your submission on Plan Change 94 (Wairaka Precinct).

Kind regards

Geoffrey Beresford
Partner



M: 0277 396 896

W: www.beresfordlaw.co.nz

Level 6 Waterloo Towers, 20 Waterloo Quadrant, Auckland 1010.

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From: [Geoff Beresford](#)
To: [Unitary Plan](#)
Subject: FW: Further submission on PC94
Date: Friday, 10 May 2024 9:51:16 am
Attachments: [image002.png](#)
[GJB - Further Submission PC 94 - Beresford 34 5 2024 - updated.pdf](#)

Hi Manisha

Thank you for your email and apologies for the errors which you have kindly pointed. In the attached version I have made corrections as confirmed in red below.

I have also noticed that 92.1 should say 92.1 to 92.4 and I have also corrected this.

I will re-serve this corrected version on Mr Tudor. Do I need to serve it on anyone else?

Kind regards

Geoffrey Beresford
Partner



M: 0277 396 896

W: www.beresfordlaw.co.nz

Level 6 Waterloo Towers, 20 Waterloo Quadrant, Auckland 1010.

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From: Unitary Plan <unitaryplan@aucklandcouncil.govt.nz>
Sent: Thursday, May 9, 2024 3:46 PM
To: Geoff Beresford <geoff@beresfordlaw.co.nz>
Subject: RE: Further submission on PC94

Kia ora Geoff

Thank you for your further submission. I'd like to clarify a few points to ensure accuracy. In reviewing your submission, I noticed the following:

- Dennis Katsanos is listed as submitter number 50 in your further submission, but it appears in the SDR Dennis is submitter number 51. Could you please confirm the correct submitter number? **It is 51. This is corrected.**
- Subpoint 94.21 is mentioned twice. Did you perhaps intend to reference subpoint 94.22 instead for the second mention? **Yes, thank you. This is corrected.**
- For sub point 100.1 & 100.4 can you specify if you are supporting or opposing. The columns are left blank. **Both are supported. This is corrected.**
- In terms of subpoint 94.13 can you please specify whether you are supporting or opposing. It currently says amend. **Changed to support.**

The summary for the below matches for sub point 94.19. Could you please review this and let me know the correct sub point. **It is 94.19 this is corrected.**

Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.10	Amend	Protect Significant Ecological Areas within the precinct and on Te Auaunga (the valley) by applying setbacks	Support	Required to protect SEAs.	Allow
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.20	Amend	Investigate the source of the two springs and undertake further daylighting.	Support	Required to better understand the Precinct.	Allow

Additionally, for subpoint 163, there is only one subpoint in the SDR, however in you are supporting 163.2. Did you mean you are only supporting 163.1? **Apologies this should be 164.1 to 164.2 this is corrected.**

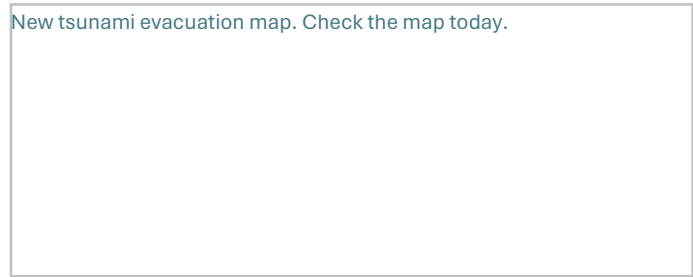
Thanks
 Manisha

Ngā mihi
Maninder Kaur-Mehta | Planning Technician | Plans and Places Department
 Auckland Council, Level 16, 135 Albert Street, Auckland 1011
 Visit our website: www.aucklandcouncil.govt.nz

From: Geoff Beresford <geoff@beresfordlaw.co.nz>
Sent: Thursday, May 9, 2024 1:52 PM
To: Unitary Plan <unitaryplan@aucklandcouncil.govt.nz>
Subject: RE: Further submission on PC94

Thanks Manisha

New tsunami evacuation map. Check the map today.



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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Beverley Gay Crosby
Date: Friday, 3 May 2024 10:45:52 pm

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Beverley Gay Crosby

Organisation name:

Full name of your agent:

Email address: bevcrosby@actrix.co.nz

Contact phone number: 098495023

Postal address:
40 Monaghan Ave
Mt Albert
Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:
Sanctuary Community Organic Garden Mahi Whenua Inc.
40 Monaghan Ave, Mt Albert, Auckland 1025

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number 104.1 Opposes a change in Precinct Name.

Point number 104.2 Supports an increase in height buildings if

Point number 104.3 Provide a masterplan

Point number 104.4 Supports zone changes (Educational to BMU)

Point number 104.5 Seeks more open space and Sanctuary identifi

The reasons for my or our support or opposition are:

104.1 Oppose name change because no reasons given for the change. As well, removes connection with Wairaka Stream. No consideration is given to the springs that were unexpectedly discovered by the Sanctuary gardens during the daylighting of the Wairaka Stream; the proposal is just to pipe these important cultural features into the storm water system and ignore their value.

104.3 Currently no masterplan to show open green space, community facilities, schools and also Sanctuary gardens being preserved (as according to clause 25.4 of the March 2018 sale of land from Unitec to the Crown.

104.5 More open green space is needed than shown in PC94 documents. The Sanctuary community gardens should be preserved as agreed with the land sale between Unitec and the Crown in March 2018. The community gardens should not be built over as proposed by those who are ignoring this binding agreement.

The archeological site in the Sanctuary gardens is culturally important and should not be bulldozed and built upon. At this site 12 toki were found, the most significant one is now embedded in the floor of Unitec's whare whakairo "Ngākau Māhaki." Louise Furey, curator of Archaeology, Auckland War Memorial Museum | Tamaki Paenga Hira stated in an email "From my experience as a museum curator and archaeologist, taonga are not often found in excavated sites in Auckland. The finds are usually limited to a few flakes of obsidian and other types of stone and perhaps an adze or two."

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 3 May 2024

Attend a hearing

I or we wish to be heard in support of this submission: Yes

Would you consider presenting a joint case at a hearing if others have made a similar submission?

Yes

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:

I am a member of the Sanctuary Mahi Whenua.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Judy Keats
Date: Friday, 3 May 2024 11:00:54 pm

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Judy Keats

Organisation name:

Full name of your agent: Judy Keats

Email address: judykeats.patternmaker@gmail.com

Contact phone number:

Postal address:
9 Leighton Street
Grey Lynn
Auckland 1021

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:

Judy Keats
9 Leighton Street
Grey Lynn

Submission number: 62

Do you support or oppose the original submission? I or we oppose the submission

Specific parts of the original submission that your submission relates to:

Point number 104.1 Opposes a change in Precinct Name
Point number 104.2 Supports an increase in height of buildings
Point number 104.3 Provide a masterplan that gives context to
Point number 104.4 Supports zone changes (Educational to BMU)
Point number 104.5 Seeks more provision for open space and that

The reasons for my or our support or opposition are:

The Sanctuary Gardens provide a space for community members to engage with nature, grow their own food and socially interact. Green spaces like this are rare in the city and need to be preserved for the eco-system services they provide, and for all to enjoy.

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 3 May 2024

Attend a hearing

I or we wish to be heard in support of this submission: No

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:

I have been a plot holder at the Sanctuary gardens for a decade

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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From: UnitaryPlanFurtherSubmissionForm@donotreply.aucklandcouncil.govt.nz
To: [Unitary Plan](#)
Subject: Unitary Plan further submission - Plan Change 94 - Karine DAVID
Date: Friday, 3 May 2024 11:01:00 pm

The following customer has submitted a Unitary Plan online further submission.

Contact details

Full name of person making a further submission: Karine DAVID

Organisation name:

Full name of your agent:

Email address: kdavid014@yahoo.fr

Contact phone number:

Postal address:
7C Raetihi Crescent
Mt Albert
Auckland 1025

Submission details

This is a further submission to:

Plan change number: Plan Change 94

Plan change name: PC 94 (Private): Wairaka Precinct

Original submission details

Original submitters name and address:
Sanctuary Community Organic Garden Mahi Whenua Inc.,
Submitted on behalf of the Society by Trevor Crosby, 40 Monaghan Ave, Mt Albert, Auckland 1025

Submission number: 104

Do you support or oppose the original submission? I or we support the submission

Specific parts of the original submission that your submission relates to:

Point number 104.1
Point number 104.2
Point number 104.3
Point number 104.4
Point number 104.5

The reasons for my or our support or opposition are:

104.5 Seeks more provision for open space and that the Sanctuary Gardens be identified (detailed reasoning given). It is a value to the community and has historical significance. The Food Forest is unique in Auckland.

104.2 Supports an increase in height of buildings provided it results in more useable open green space.

104.3 Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private).

I or we want Auckland council to make a decision to: Allow the whole original submission

Submission date: 3 May 2024

Attend a hearing

I or we wish to be heard in support of this submission: No

Declaration

What is your interest in the proposal? I am a person who has an interest in the proposal that is greater than the interest that the general public has

Specify upon which grounds you come within this category:

I am living on the South Border of the Wairaka precinct. My family and many of my relatives, friends and community at large have been using the open spaces within Unitec. We have immensely benefited from the Sanctuary Community Organic Garden Mahi Whenua and have witnessed the benefits to the community over the last 10 years.

I declare that:

- I understand that I must serve a copy of my or our further submission on the original submitter within five working days after it is served on the local authority
- I accept by taking part in this public submission process that my submission (including personal details, names and addresses) will be made public.

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APPENDIX 4

Albert Eden Local Board Feedback

For Action

MEMO TO: Michele Perwick - Senior Principal Planner

COPY TO: Emma Reed, Canela Ferrara, Rahman Bashir

FROM: Michael Mendoza - Democracy Advisor

DATE: 27 August 2024

MEETING: Albert-Eden Local Board Meeting of 22/08/2024

Please note for your action / information the following decision arising from the meeting named above:

AE/2024/131 **Local board views on Plan Change 94 (Private) Wairaka Precinct, Mount Albert**

FILE REF CP2024/11063

AGENDA ITEM NO. 11

11 **Local board views on Plan Change 94 (Private) Wairaka Precinct, Mount Albert**

Peter Reaburn - Consultant Planner, was in attendance online via Microsoft Teams, and Michele Perwick - Senior Policy Planner, and Rahman Bashir - Principal Property Provision Specialist, were in attendance in-person, to speak to the report.

Two information documents were tabled. Copies of each documents have been placed on the official minutes and are available on the Auckland Council website as part of the minutes attachment.

MOVED by Chairperson K Smith, seconded by Deputy Chairperson M Watson:

That the Albert-Eden Local Board:

- a) provide the local board's views on Plan Change 94 by the Ministry of Housing and Urban Development at Carrington Road, Mount Albert, as outlined in the two tabled documents.
- b) appoint Chairperson K Smith and Deputy Chairperson M Watson, and Vanessa Wilkinson – Consultant, to speak to the local board views at a council hearing on Plan Change 94.
- c) delegate authority to the chairperson of Albert Eden Local Board to make a replacement appointment in the event the local board member appointed in resolution b) is unable to attend the private plan change hearing.
- d) thank Emma Reed – Senior Local Board Advisor, for her advice and support.
- e) thank Peter Reaburn - Consultant Planner, Michele Perwick - Senior Policy Planner, and Rahman Bashir - Principal Property Provision Specialist, for their advice and attendance both online and in-person.

An amendment was moved by Member J Maskill, seconded by Member C Robertson

- a) provide views on the application that strongly support the applicant's requests to increase intensification and a higher yield of housing to maximise:
 - i) Extra housing supply to address the present housing crisis and future needs, with provision to house approximately 4,500 people over and above the 8,000 already provided for in the Auckland Unitary Plan (total approximately 12,500+)
 - ii) Opportunities for Māori economic development
 - iii) Additional footfall custom, for the existing Mount Albert and Point Chevalier shopping centres, which are parking constrained and within walking distance of the Wairaka Precinct, and
 - iv) Contributions to varied and compact city design, given the proximity of the Wairaka Precinct to central Auckland and employment, education and low carbon transport options, including the North West Rapid Transport which is now allocated funding in the Regional Land Transport Plan.
- b) specifically, delete all content in the tabled draft feedback which has the effect of opposing the further intensification and heights that the applicant requests and substitute wording that reflects the following views:
 - i) strong support for the amendments to the precinct provisions the applicant has requested to promote Māori economic development as a key objective, recognising that the land is being developed by three Rōpū as part of a Treaty Settlement redress package under Collective Redress provisions, and
 - ii) strong support for those amendments, referred to generally in paragraph 3 of the Executive Summary of the 'Local board views on Plan Change 94 (Private) Wairaka Precinct, Mount Albert' report on this item, which the applicant has requested to identify areas for extra height to be accommodated, and for rezoning to Business-Mixed Use to enable the precinct to deliver a higher yield of additional housing and a vibrant community with a variety of activities.
- c) provide views from the local board that in other respects are consistent with the tabled draft feedback, in particular for those sections which would:
 - i) seek to increase provision of open space - vital for the proposed increased population
 - ii) support providing detailed design criteria intended to ensure all buildings, and particularly the higher buildings, achieve a high quality of design and functionality, and that design should be subject to Auckland Design Office criteria
 - iii) support additional controls in areas where higher buildings are allowed, around wind, separation of buildings, and the maximum dimensions of floor plates
 - iv) support equitable redistribution of retail provision subject to maintenance of the existing cap of 6,500m² for the whole precinct
 - v) support protection of the heritage buildings known as 'The Pumphouse' and 'The Wall' and identification and protection of additional trees.

The amendment was put to the vote via voice and was declared LOST by 2 votes to 4.

Resolution number AE/2024/131

MOVED by Chairperson K Smith, seconded by Deputy Chairperson M Watson:

That the Albert-Eden Local Board:

- a) **provide the local board's views on Plan Change 94 by the Ministry of Housing and Urban Development at Carrington Road, Mount Albert, as outlined in the two tabled documents.**
- b) **appoint Chairperson K Smith and Deputy Chairperson M Watson, and Vanessa Wilkinson – Consultant, to speak to the local board views at a council hearing on Plan Change 94.**
- c) **delegate authority to the chairperson of Albert Eden Local Board to make a replacement appointment in the event the local board member appointed in resolution b) is unable to attend the private plan change hearing.**
- d) **thank Emma Reed – Senior Local Board Advisor, for her advice and support.**
- e) **thank Peter Reaburn - Consultant Planner, Michele Perwick - Senior Policy Planner, and Rahman Bashir - Principal Property Provision Specialist, for their advice and attendance both online and in-person.**

CARRIED

Note: Member C Robertson and Member J Maskill voted against the motion and requested that their dissenting votes be recorded.

Attachments

- A 20240822 Albert-Eden Local Board, Item 11: Local board views on Plan Change 94 (Private) Wairaka Precinct, Mount Albert - Albert-Eden Local Board Feedback on Plan Change 94 (Private) Wairaka Precinct
- B 20240822 Albert-Eden Local Board, Item 11: Local board views on Plan Change 94 (Private) Wairaka Precinct, Mount Albert - Albert-Eden Local Board Feedback on Plan Change 94 (Private) Wairaka Precinct - Attachment

SPECIFIC ACTIONS REQUIRED:

Please note the local board's resolutions for your action as appropriate, including forwarding the resolutions through to Peter Reaburn.

MHUD PRIVATE PLAN CHANGE 94: 10 NOVEMBER 2023

Amendments requested by the Applicant shown in red text. Deletions are shown in red ~~strike-out~~.

Amendments suggested by the Albert-Eden Local Board as part of their feedback are shown in green.

Commented [VW1]: Albert Eden Local Board (AELB) Feedback - green text changes

NOTE : 1.This private plan change request applies to the existing Wairaka Precinct. This plan change seeks to rename this precinct the Te Auaunga Precinct.

2.The Council is currently processing Private Plan Change 75. This relates to the Mason Clinic in sub precinct A of the current Wairaka Precinct. The provisions relating to Private Plan Change 75 are out of scope of this plan change.

Once Private Plan Change 75 is finally made operative, the Te Auaunga Precinct provisions will be updated to incorporate that decision. The decision on submissions to Plan Change 75 was made by Independent Hearing Commissioners on 19 September 2023. At the time of notification of this Plan Change, the appeal period on Plan Change 75 had not yet expired.

To assist in understanding how the Plan Change 75 decision version integrates with this Plan Change this composite draft of the Plan Change has been prepared. It is intended as an aid to understanding the impact of the two plan changes.

- The black text is the unchanged provisions of the existing Operative Precinct provisions.
- The red text and red strike out are the requested changes (additions and deletions) proposed as part of this plan change application.
- The blue text and blue strike out are the changes (additions and deletions) made by Plan Change 75 to the Operative Precinct Provisions, as determined by the Hearing Commissioners in their decision (noting these provisions are not yet operative.)
- ➔ The orange strike out with the wavey underlining are changes proposed by the Hearing Commissioners in their decision on Plan Change 75 which are opposed by the applicant and hence are proposed to be deleted as part of this plan change process.

I334 [WairakaTe Auaunga](#) Precinct

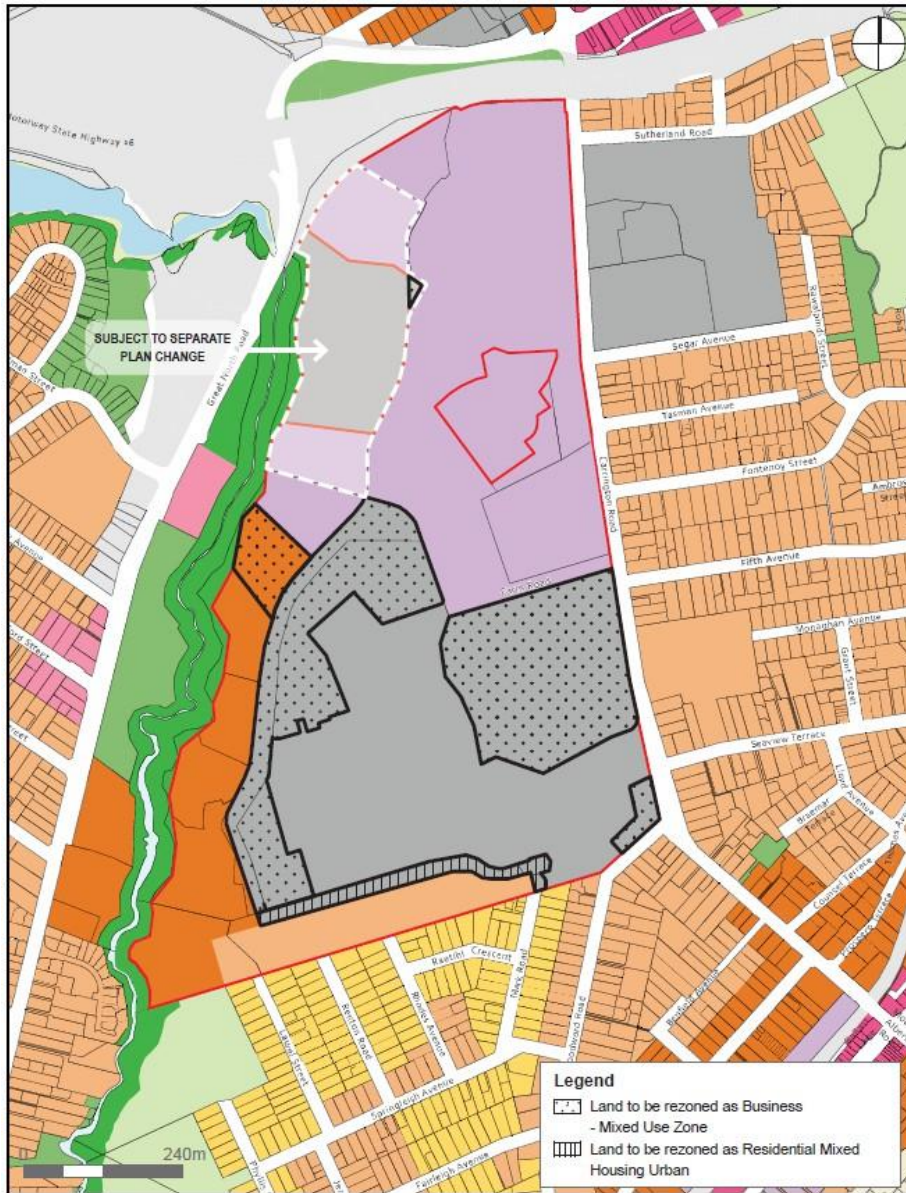
PRIVATE PLAN CHANGE XX:

PART A AMENDMENT TO THE MAPS

ZONING

That the land currently zoned Special purpose - Tertiary Education and Special purpose – Healthcare Facility and Hospital be rezoned Business: Mixed Use and Residential: Mixed Housing Urban as shown on the following zoning plan.

Map 1 – Zoning



PART B AMENDMENT TO I334 TE AUAUNGA PRECINCT

Insert the following new precinct provisions:

I334. WairakaTe Auaunga Precinct

I334.1. Precinct Description

The WairakaTe Auaunga Precinct is 64.5 hectares and extends from the north western motorway at Point Chevalier in the north, through to Woodward Road in the south, and from Oakley CreekTe Auaunga Waterway in the west to Carrington Road in the east, where the Unitec Institute of Technology (Unitec), the Crown, Waitemata District Health Board, one private landowner, and Ngaāti Whāātua ŌŌraākei own contiguous blocks of land that make up the site.

Commented [VW2]: Add size details here. Delete later paragraphs.

The purpose of the WairakaTe Auaunga Precinct is to provide for a diverse urban community, including the ongoing development and operation of the tertiary education facility, the development and operation of a range of community, recreation, and social activities, the development of a compact residential community, and commercial service activities, open space, and the development of a range of healthcare related and supporting activities to cater for the special and diverse requirements of the users, employees and visitors to the Mason Clinic. Business and Innovation activities are to be enabled, including activities which benefit from co-location with a major tertiary education institution. The Precinct enables new development to create an urban environment that caters for a diverse population, employees and visitors in the area and that integrates positively with the Point Chevalier, Mt Albert and Waterview communities.

The WairakaTe Auaunga Precinct will provide for a variety of housing typologies that help cater for Auckland's growth and the diverse community that will establish in this location. It will also provide a heart to the community, focused around the campus but with a range of community, commercial and social services. It will provide the opportunity for people to live, work, and learn within the Precinct, while enjoying the high amenity of the area Wairaka environment. The interfaces between different activities are a key part of providing this amenity, and will be managed by provisions including setbacks and landscaping.

Commented [VW3]: Add more about provision of open space and quality of development sought.

A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct. These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.

Commented [VW4]: Add reference to the need for high quality building and urban design.

The WairakaTe Auaunga Precinct provides for an urban community within which there is a high quality tertiary education institution.

Commented [VW5]: Do not support additional height in height areas 1, 2 and 4 as it will adversely effect and have a negative impact on the Former Oakley Hospital main building - an identified Historic Heritage building. Furthermore, the heights identified throughout the Precinct are greater than the higher order Business - Town Center Zone over the Pt Chevalier town center. Enabling taller buildings in this Precinct will detract from the role and identification of the Business-Town Centre Zone. In addition, the necessary amenity, open space, recreational and social facilities are not provided for.

The location and extent of a major tertiary education institution (Unitec) at WairakaTe Auaunga Precinct is significant to the region. The precinct is 64.5ha, and comprises twelve land titles and four owners, land currently held by a small number of landowners. Unitec owns 83 per cent of the total land. In addition, medical and light industrial activities also occur on the site.

The Te Auaunga Precinct provides objectives for the restoration and enhancement of Māori capacity building and Māori cultural promotion and economic development within the precinct.

Commented [VW6]: Delete these paragraphs as wording above is sufficient to describe the size, ownership and activities in the Precinct.

The ~~WairakaTe Auaunga~~ Precinct provides ~~overall~~ objectives for the whole area, and three sub-precincts:

- Sub-precinct A provides for healthcare/hospital related ~~purposes activities~~ and is intended to accommodate the ~~intensification of the~~ Mason Clinic.
- Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities, ~~as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.~~
- Sub-precinct C ~~at~~ the south ~~and west~~ of the precinct provides for ~~a broad range of residential activities, together with supporting uses,~~ activities appropriately located to a major tertiary education institution.

~~The Mason Clinic contains a mix of activities including healthcare activity and hospital. It is a facility which provides for a range of care, and short and long term accommodation for people with disabilities (including mental health, addiction, illness or intellectual disabilities), together with provision for custodial, tribunal, and justice facilities ancillary to forensic psychiatric services, and a range of health related accessory activities. The activities the Mason Clinic accommodates requires buildings which have a range of particular functional and operational requirements, including the incorporation of publicly accessible and secure facilities and areas for staff, visitors and the people accommodated, and for these to be integrated across the Mason Clinic in a way which considers the safety, privacy and wellbeing of the users.~~

There are also particular attributes of the ~~WairakaTe Auaunga~~ Precinct, which contribute to the amenity of the precinct and the surrounding area and are to be retained ~~and enhanced, and future areas introduced~~ through the development of the precinct. These include the following:

- The significant ecological area of ~~Oakley-CreekTe Auaunga~~;
- An open space network linking areas within the ~~WairakaTe Auaunga~~ Precinct and providing amenity to neighbouring housing and business areas;
- A network of pedestrian and cycleway linkages that integrate with the area network;
- Retention of the open space storm water management area which services ~~Wairaka Te Auaunga~~ and adjacent areas, and the amenity of the associated wetland;
- ~~The Wairaka~~ stream and the landscape amenity, ~~ecological and cultural value~~ this affords; and
- The Historic Heritage overlay of the former Oakley Hospital ~~main building~~, and identified trees ~~on site in the Precinct.~~

~~The open space network for the precinct is provided for by way of a combination of identified areas, and indicative areas, including walking paths and shared paths (shown on Precinct plan 1) and future areas and walkways/shared paths which are to be identified and developed as a component of the future urban intensification envisaged.~~

~~The precinct provisions also require the provision of a range of publicly and privately owned, but publicly accessible, communal open space areas throughout the precinct to provide for the open space and amenity needs of residents and visitors to the Precinct.~~

The implementation of ~~the~~ Precinct plan 1 ~~outcomes is dependent on~~ ~~requires~~ a series of works. These ~~works~~ focus on the ~~provision of~~ open space and ~~a~~ roading network ~~giving including~~ access from the east to the important ~~Oakley-CreekTe Auaunga~~ public open space, ~~and the~~ walking and cycling connections linking east to west ~~to~~ Waterview and areas further west to Point Chevalier/Mount Albert, ~~and~~ north to south ~~to~~ Mount Albert ~~and~~ to Point Chevalier, ~~and~~ ~~This precinct plan also provides key linkages on to~~ the western regional cycle network.

The precinct provides for stormwater treatment for all land within the precinct, prior to entering ~~Oakley-CreekTe Auaunga~~. Currently the precinct also receives stormwater from an adjacent

Commented [VW7]: Add in stream name.

Commented [VW8]: Delete 'on the site' as identified trees to be retained are located throughout the Precinct. Amend to reference the whole Precinct.

Commented [AE9]: The local board considers that a full heritage assessment should be undertaken to better identify and protect all important historic heritage buildings and structures within the Precinct. In addition, the Local board considers that other important 'historic heritage buildings and structures' (such as the Pumhouse and stone wall) should be identified in the Precinct Plans and objectives, policies, rules and criteria included to ensure that these are protected from the adverse effects of development and maintained to acknowledge the historic significance of the Precinct.

Commented [VW10]: This requires further amendment to reference the need to provide a range and different types/size of open spaces under public an/or private ownership as well as the connections. And/or add suggested wording.

Commented [VW11]: Don't agree with this amended wording. The word 'requires' as originally included should be retained as it is a stronger indicator that the works are needed.

I334 ~~Wairaka~~Te Auaunga Precinct

catchment in the Mt Albert area and it is expected that this will continue following development of the precinct.

Transport is an essential component to the implementation and redevelopment of the precinct and will require a series of works to avoid, remedy or mitigate adverse transport effects. Some measures such as the indicative primary road network and walking and cycling connections ~~area~~ are identified in the precinct. Other measures to avoid, remedy and mitigate other transport effects will be identified through the preparation of an Integrated Transport Assessment at the time of the first resource consent to significantly develop the site.

These measures could include the following:

- Providing a connected road network through the site;
- Providing a connected pedestrian and cycling network into and through the site, in particular convenient east-west and north-south cycle connections from the ~~Oakley Creek~~Te Auaunga over bridge to the ~~proposed bus node~~Carrington Road bus services and existing and proposed cycle networks beyond the site;
- Upgrading intersection access onto the site and avoiding, remedying and mitigating adverse effects on the surrounding transport network;
- Making provision for ~~a bus node and~~ road widening to support the public transport network, ~~and expansion of the public transport network through the precinct~~;
- Managing vehicular movements through the connections to the south of the site;
- Managing parking to avoid, remedy, and mitigate ~~ing~~ adverse effects on the surrounding transport network; or
- Staging land use and development with any necessary infrastructure investment.

To reduce the potential of new development occurring in an uncoordinated manner, the precinct ~~encourages~~ requires the land owner/s to develop the land in accordance with ~~the~~ Precinct plan 1 and relevant objectives and policies. This method provides for integrated development of the area and ensures high quality outcomes are achieved.

Development of this precinct will be guided by the following precinct plans:

Precinct Plan 1;
Precinct Plan 2 – Protected Trees; and
Precinct Plan 3 – Additional Height.

The zoning of land within the precinct varies. Refer to the planning maps for the location and the extent of the precinct.

I334.2. Objectives

- (1) The provision for a high quality ~~of~~ tertiary education institution and accessory activities in the precinct is continued, while also providing for growth, change and diversification of activities.
- (2) Comprehensive planning and integrated development of all sites within the precinct is achieved in accordance with Precinct Plans 1, 2 and 3.
- (3) A mix of residential, business, tertiary education, education, social facilities, recreation and community activities is provided, ~~which maximises the efficient and effective use of land and provides for a variety of built form typologies.~~

(X) Land is developed and used efficiently and effectively in accordance with Precinct Plans 1, 2 and 3.

(X) A variety of high-quality, built form typologies is provided for and achieved.

Auckland Unitary Plan Operative in part

6

Commented [VW12]: Delete unnecessary word.

Commented [VW13]: This should be a requirement. It is not optional.

Commented [VW14]: Add wording to make reference to all Precinct Plans.

Commented [VW15]: It is considered that the wording of Precinct provisions places too much emphasis on the intensiveness of development and use at the expense of other components/outcomes also necessary in an integrated, comprehensively planned urban environment - or a 'well functioning urban environment' - such as the provision of/for high quality 'amenity', 'open space' and 'design - both 'built form and urban design'.

Commented [VW16]: Add reference to the need to be in accordance with the Precinct Plans. Objective 2 appears to be similar to Objective 10 - can these be combined and/or Objective 10 to be relocated to earlier in the objectives.

Commented [VW17]: Add in reference to the provision of 'education' and 'recreation' activities - as these need to be provided in the precinct as well.

Commented [VW18]: The maximisation of the efficient use of land and the provision of a variety of built form typologies should be separated from the 'activities' of the Precinct. These would be better referred to in two separate objectives - wording suggested for these.

Commented [VW19]: Suggested wording to address built form expectations in the Precinct. This still needs more reference to acceptable height outcomes and design/form of buildings.

- (4) The operation and intensification of the healthcare/hospital facility activity, accessory activities and associated buildings, structures and infrastructure in Sub-precinct A (Mason Clinic) are provided for.
- (5) The commercial laundry service and accessory activities and associated buildings, structures and infrastructure in Sub-precinct B are provided for as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.
- (6) Identified heritage values are retained through the adaptation of the scheduled buildings and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on Oakley Creek Te Auaunga land, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.
- (x) A range of open spaces is provided throughout the precinct (as identified on Precinct Plan 1 or X) to provide for the open space and recreational needs of residents, users of and visitors to, the Precinct. Open space can be publicly owned and/or privately owned and publicly accessible in perpetuity.
- (7) Open spaces, cycling and pedestrian linkages from the Precinct to the wider area and neighbouring suburbs, including linkages between activities and open spaces nodes, are provided for in accordance with Precinct Plan 1, and enhanced.
- (8) Development and/or subdivision within the precinct facilitates a transport network that:
- (a) Integrates with, and avoids, remedies or mitigates adverse effects on the safety and efficiency of, the transport network within the precinct and the surrounding area, including providing any upgrades to the surrounding network; and
 - (b) Facilitates transport choices by providing for pedestrians, cyclists, public transport facilities, and vehicles.
- (9) Development of any roads connecting to the existing roading network to the south of the Pprecinct must be subject to specific resource consent processes to ensure that any private or public road connections must:
- (a) Avoid these southern connections becoming a direct vehicle entrance for the Special Purpose - Tertiary Education Zone; and
- Be designed to minimise the amenity effects on existing residents.
- (10) An integrated urban environment is created, which:
- (a) Incorporates high quality built form and urban design;
- (x) provides a range of high quality, well located and connected, and suitably sized, open spaces commensurate with the intensification and population enabled within the Precinct.
- (x) provides high levels of amenity for residents, businesses and visitors.

Commented [AE20]: The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents

Commented [AE21]: The local board considers that a full heritage assessment should be undertaken to better identify and protect all important historic heritage buildings and structures within the Precinct. In addition, the Local board considers that other important 'historic heritage buildings and structures' (such as the Pumphouse and stone wall) should be identified in the Precinct Plans and objectives, policies, rules and criteria included to ensure that these are protected from the adverse effects of development and maintained to acknowledge the historic significance of the Precinct.

Commented [VW22]: Introduce a new specific open space objective to recognise the need that open space of a range of types and sizes must be provided in the Precinct to support the development and size of population the Precinct will enable. In addition the open space should be identified on either Precinct Plan 1 or a new open space specific Precinct Plan. Should also reference that open space can be either publicly owned or privately owned but publicly accessible in perpetuity.

Commented [VW23]: Delete reference to 'open space' in Objective 7 and rely on new open space objective suggested above.

Commented [VW24]: Add reference to Precinct plan where linkages are identified.

Commented [VW25]: Add parts to this objective to reference that an 'integrated urban environment' also needs to provide for sufficient, well design, located etc open space and high level of amenity for occupants etc.

I334 WairakaTe Auaunga Precinct

- (b) Recognises, protects and enhances the environmental attributes of Wairakathe precinct in its planning and development ~~of the Precinct~~;
- (c) Avoids, mitigates and remedies adverse effects on the environment and existing stormwater, wastewater and road/s infrastructure, recognising that the precinct stormwater system services areas beyond Wairakathe precinct boundary;
- (d) Is developed in a comprehensive manner in accordance with Precinct Plans 1, 2 and 3, which complements and fits within the landscape and character of the surrounding environment. ~~;~~ ~~and~~
- (e) Contributes positively to the Mt Albert, Waterview and Point Chevalier communities. ~~;~~ and
- (f) Contributes to Māori cultural promotion and economic development.

Commented [VW26]: Add reference to Precinct plans - to make clear the features expected in the precinct are provided.

Commented [VW27]: Add word 'activities'.

Commented [AE28]: Reconsider this objective in relation to height as amenity is not provided adequately, see comments in paragraph 63 of feedback.

Commented [VW29]: It is considered that the wording of Precinct provisions places too much emphasis on the intensiveness of development and use at the expense of other components/outcomes also necessary in an integrated, comprehensively planned urban environment - or a 'well functioning urban environment' - such as the provision of high quality 'amenity', 'open space' and 'design - both 'built form and urban design'.

Commented [VW30]: Amended wording as 'Promote' is not sufficient. To achieve the objectives of the Precinct comprehensive planning and integrated development are **'required'**.

Commented [VW31]: Add reference to all Precinct Plans.

Commented [VW32]: Delete "any of" all these aspects are provided for.

(11) Provide for retail, food and beverage activities and commercial services in identified locations to serve local demand within the WairakaTe Auaunga Precinct and at a scale and configuration which does not adversely affect the role, function and amenity of the Point Chevalier and Mt Albert town centres.

(12) The restoration and enhancement of Māori capacity building and Māori cultural and economic development within the precinct is provided for, promoted and achieved.

(13) Provide for increased heights in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct and create 'landmark' buildings in the north western part of the precinct.

The zone, Auckland-wide and overlay objectives apply in this precinct in addition to those specified above.

I334.3. Policies

WairakaTe Auaunga Precinct - General

- (1) Enable and provide for a wide range of activities, including education, business, office, research, health care, recreation, residential accommodation, community facilities and appropriate accessory activities.
- (2) Respond to future demand and changes in the manner of learning and the desire to integrate business and education within the Special Purpose – Tertiary Education Zone.
- (3) Recognise the benefits of allocating a high quality tertiary education institution within a diverse urban environment.

(3A) Recognise the social and health related benefits that the Mason Clinic provides for.

(4) Promote Require comprehensive planning by enabling and integrated development in accordance with ~~the p~~ Precinct plans 1, 2 and 3 and Policy I334.3(15A) that provides for any of the following:

- (a) Tertiary education and associated research, and community activities;

I334 ~~Wairaka~~Te Auaunga Precinct

- (b) Provision for the ongoing use, development, intensification and operation of the Mason Clinic;
 - (c) Provision for the operation of the commercial laundry service;
 - (d) ~~Intensive~~ Residential ~~accommodation~~activities;
 - (e) Economic development and employment, including supporting Māori capacity building and Māori cultural promotion and economic development;
 - (f) Public infrastructure that is integrated with existing infrastructure, recognising that ~~Wairaka~~the Te Auaunga Precinct receives stormwater from an upstream sub-catchment;
 - (g) Integrated transport and land use planning through the development of the precinct;
 - (h) Traffic management, including provision of pedestrian and cycle facilities, integration with public transport, parking provision and management;
 - (i) Identification and protection of significant landscape features, the adaptation of the scheduled historic buildings, and the protection of identified trees, and ~~integrated open space network~~;
 - (x) A range of high quality, well located and connected, and suitably sized, open spaces commensurate with the intensification and population enabled within the Precinct.
 - (x) High levels of amenity for residents, businesses and visitors.
 - (j) Public road and open space access to ~~the Oakley Creek reserve~~Te Auaunga; ~~or~~ and -
 - (k) Pedestrian and cycle connections within the Precinct and to Point Chevalier, Waterview and Mt Albert.
- (5) Promote economic activity and provide for employment growth that will create opportunities for students, graduates and residents of the precinct and Auckland, including Māori.
- (6) Encourage a mix of residential lifestyles and housing typologies to cater for a diverse and high density residential community at ~~Wairaka~~Te Auaunga.
- (7) Provide for a mix of residential and business activities which will enable development of an intensive residential core to the ~~Wairaka~~Te Auaunga Precinct.
- (8) Enable a broad range of educational, research, laboratory, office and business uses which meet the needs of, and respond to future changes in, teaching, learning, and research requirements for a modern campus environment.
- (9) Provide for a broad range of business, office, innovation and research activities which will encourage employment and economic development to locate in ~~Wairaka~~Te Auaunga, including those which benefit from the co-location with a tertiary education institution.
- (10) Enable subdivision and development that is compatible with and sensitive to the ecological qualities of ~~the Oakley Creek~~Te Auaunga and the Motu Manawa Marine Reserve.

Commented [VW33]: Delete term 'intensive'.

Commented [AE34]: The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents

Commented [VW35]: Amend wording to separate open space and provide a separate open space policy to give effect to open space objectives.

Commented [AE36]: The local board considers that a full heritage assessment should be undertaken to better identify and protect all important historic heritage buildings and structures within the Precinct. In addition, the Local board considers that other important 'historic heritage buildings and structures' (such as the Pumphouse and stone wall) should be identified in the Precinct Plans and objectives, policies, rules and criteria included to ensure that these are protected from the adverse effects of development and maintained to acknowledge the historic significance of the Precinct.

Commented [VW37]: Add parts to this policy to reference that an 'integrated urban environment' also needs to provide for sufficient, well design, located etc open space and high level of amenity for occupants etc.

Commented [VW38]: 'Or' should be deleted and placed with and as all of (a) to (k) are required to be planned, integrated and achieved in the Precinct.

Commented [VW39]: Delete term 'high density'.

Commented [VW40]: Delete term 'intensive'.

Built Form and Character

Commented [AE41]: The local board considers that a full heritage assessment should be undertaken to better identify and protect all important historic heritage buildings and structures within the Precinct. In addition, the Local board considers that other important 'historic heritage buildings and structures' (such as the Pumphouse and stone wall) should be identified in the Precinct Plans and objectives, policies, rules and criteria included to ensure that these are protected from the adverse effects of development and maintained to acknowledge the historic significance of the Precinct.

- (11) Encourage the retention and adaptation of the heritage and character buildings, and elements identified within the precinct.
- (12) Provide for the adaptation of the scheduled part of the heritage building for economically viable activities which ensure ongoing economic sustainability for this building and its integration into the WairakaTe Auaunga Precinct.
- (13) Require new buildings to be designed in a manner that provides for a high standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.
- (14) Require proposals for new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to ~~the scheduled historic heritage buildings, and/or~~ the significant ecological area of Oakely CreekTe Auaunga to ~~provide appropriate native landscaping and to be sympathetic and provide~~ contemporary ~~and~~ high-quality design, which enhances the precinct's built form and natural landscape.

(14A) Provide for taller buildings in the north western part of the precinct (identified as height area 1 on Precinct Plan 3) in this landmark location with enhanced outlook across the Waitemata Harbour and Waitakere Ranges, but in a location removed from residential neighbourhoods outside the precinct.

(14AA) Require proposals for new high-rise buildings in adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form.

Commented [VW42]: Do not support additional height in this location (height area 1) as it will adversely effect and have a negative impact on the Former Oakley Hospital main building - an identified Historic Heritage building. If retained, add wording to reference Height Area and Precinct plan.

(14B) Provide for additional height in height area 4 in the central and northern parts of the precinct as identified in Precinct Plan 3, recognising the topographical and locational characteristics of this part of the precinct, and the ability to provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga.

Commented [VW43]: Delete reference to 'high rise' - this policy should be relevant for all buildings, not just 'high-rise' buildings. Also not clear is this only for height Area 1 or other areas as well. Clarify by adding reference to which height area(s) are being referred to.

Commented [VW44]: Amend wording to add reference to the actual height areas that are being referred to here (i.e Height Area 4 or 1 and 4?) and add reference to Precinct Plan 3 which identifies locations.

Open Space

- (15) Provide for a range of public open space, including a neighbourhood park in the northern portion of the precinct. a range of high quality, high amenity, well located and connected, and suitably sized, open spaces commensurate with the intensification and population enabled within the Precinct as identified on Precinct Plan X.

Commented [VW45]: Amend wording to remove reference to only 'public' open space and only a 'neighbourhood park'. Replace with wording that requires the provision of sufficient, well designed, located etc open space and a high level of amenity for users.

(15A) Provide at least 7.1ha of key open space (private) within the precinct.

- (16) Provide public connections to Oakely CreekTe Auaunga from Carrington Road through public roads and open space, giving quality public access to this ecological area.

Pedestrian and cycle access, street quality and safety

- (17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages, open space and plazas within the precinct.

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- (18) Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe and improve connectivity for all users.
- (19) Establish a network of roads which give public access through the precinct and at the pedestrian and cycling connections to ~~the Oakley Creek~~ Te Auaunga and Waterview pedestrian/cycle bridge.

Transport Planning

- (20) Require subdivision and development to be integrated with transport planning and infrastructure in a way that:
- (a) Avoids, remedies or mitigates the adverse effects of the development on the transport network;
 - (b) Integrates with rail, bus, pedestrian and cycle connections;
 - (c) Implements as a minimum the transport elements within ~~the~~ Precinct Plan 1; (d) Supports the provision of passenger transport services, linking to key public transport nodes such as the Mount Albert train station and Point Chevalier public transport services;
 - (e) Minimises traffic effects on pedestrian and residents' safety and amenity;
 - (f) Minimises overflow parking on roads occurring in the vicinity of the precinct; and
 - (g) Stages subdivision and development with necessary surrounding transport network infrastructure and upgrades where adverse effects on the transport network cannot be avoided, remedied and mitigated.

(21) Enable parking areas to service the scheduled heritage building.

- (22) Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times. For the purpose of this precinct, the surrounding transport network comprises Carrington Road, the Pprecinct's existing and proposed access points to Carrington Road, the Carrington Road/Woodward Road intersection, the Woodward Road/New North Road intersection, the Carrington Road/New North Road and Carrington Road/Great North Road intersections, Laurel Street, Renton Road, Rhodes Avenue, Mark Road and the other local roads bounded by Carrington Road, New North Road, and Oakley Creek Te Auaunga.
- (23) Require an integrated transport assessment for the precinct for any new development greater than ~~2,500m² gross floor area in the Business — Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an earlier assessment of transportation effects that is no more than two years old~~ 4,000 dwellings in the precinct, and for any new development greater than 3,000 dwellings in the precinct, where the overall development within the precinct is not consistent with the previously modelled yield.

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- (24) ~~Require an integrated transport assessment for the precinct as part of any southern road connection (public or private), the first subdivision in the Business — Mixed Use and residential zones (other than for controlled activities) or for any new development greater than 2,500m² gross floor area in the Business — Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones. [Deleted]~~
- (25) Avoid parking buildings within the Special Purpose - Tertiary Education Zone having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads) or the western road shown on ~~the p~~ Precinct plan 1.
- (26) Avoid direct vehicle access between the Special Purpose - Tertiary Education Zone and Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads).

Integrated development

- (27) Manage potential adverse amenity effects from buildings at the precinct boundary by:
- (a) Establishing a 5m yard and graduated building heights to the southern residential interface.

PC78 (see modifications)

Commented [AE46]: Extend this policy to ensure no vehicle access between Laurel Street, Renton Road, Rhodes Avenue and Mark Road to any other parts of the precinct

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- (b) Establishing a 10m setback from the boundary of land that fronts Oakley Creek Te Auaunga.
- (c) Require graduated building heights and locate higher buildings away from the precinct boundaries that adjoin Mixed Housing Suburban residential areas to the south of the precinct.
- (28) Encourage built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis.
- (29) Provide for the retail (including food and beverage) activities in identified locations of the precinct which:
 - (a) meets the needs of the campus;
 - (b) serves local demand within the precinct; and
 - (c) creates the opportunity for retail (including food and beverage) activities in the Historic Heritage overlay.
- (30) Limit retail activities (including food and beverage) fronting or accessed directly from Carrington Road, restrict the number and size of supermarkets, preventing the concentration of retail activities at a single location, and placing caps on the size of retail tenancies and the overall gross floor area of retail in order to not adversely affect the role, function and amenity of the Point Chevalier and Mount Albert town centres.

Commented [VW47]: Delete the term 'public' and use the term 'open space(s)' to be consistent with term to be used throughout Precinct.

(30A) Encourage the adaptive re-use of the existing buildings with historic value for retail and other activities.

Subdivision

- (31) Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of the pP precinct plan 1 and Policy 1334.3(15A).

Sub-precinct A

- (32) Provide for ~~the a~~ range of healthcare, hospital, community facilities, and related accessory activities ~~of~~ for the Mason Clinic.
- (33) Enable detailed site-specific planning for the design and development of the Mason Clinic to reflect how the healthcare/hospital facility sub-precinct will be used ~~and developed~~.
- (34) Limit the scale of accessory activities so they do not undermine the role of the precinct or result in adverse traffic effects, but still meet the requirements of those who work, live or use services and activities in this sub-precinct.

(34A) Manage potential adverse effects from buildings at the sub precinct boundary by:

- (a) establishing a 5m landscaped yard to the north and south boundaries of the Sub-precinct;

I334 ~~Wairaka~~Te Auaunga Precinct

(b) requiring new buildings and significant additions to buildings that adjoin the eastern boundary to be designed to contribute to the maintenance and enhancement of amenity values of the streetscape, while enabling the efficient use of the Sub-precinct for the Mason Clinic;

(c) ~~Encouraging~~ requiring new buildings to be designed to provide a high standard of amenity and safety appropriate to an urban environment of the Precinct and be of a quality design that contributes to the planning outcomes of the Precinct.

Commented [VW48]: Amend 'encourage' to 'require'. High standards of amenity and safety and quality design should not be optional it should be required in an intensified environment.

(34B) Recognise the functional and operational (including security) requirements of activities and development.

Sub-precinct B

(35) Provide for the range of light manufacturing and servicing activities associated with the commercial laundry service.

(36) Enable detailed site-specific planning of the commercial laundry service to reflect how the facility will be used and developed.

(37) ~~Limit the scale of accessory activities so they~~ Provide for other activities that do not undermine the role of the precinct, ~~compromise the operation of the laundry service while this facility is in operation,~~ or result in adverse traffic effects, but still meet the requirements of those who work or use services and activities in this sub-precinct.

Commented [AE49]: Query if this policy is necessary given the limited time period remain on lease for this use

(38) ~~Recognise that should the commercial laundry service and associated activities on this sub-precinct relocate from Wairaka, then the activities and controls of the Wairaka Precinct would apply. [Deleted]~~

Sub-precinct C

(39) Provide a broad range of residential activities adjacent to ~~the Oakley Creek~~Te Auaunga and residential neighbourhoods to the south of the precinct.

(40) Provide quality dwellings which face west across ~~Oakley Creek~~Te Auaunga, providing passive surveillance of the public lands within ~~Oakley Creek~~Te Auaunga Valley.

The zoning, Auckland-wide and overlay policies apply in this precinct in addition to those specified above.

I334.4. Activity tables

The provisions in the zoning, Auckland-wide provisions and any relevant overlays apply in this precinct unless otherwise specified below.

- The activities listed in Table [H13.4.1](#) Activity table for [H13 Business - Mixed Use Zone](#) at line items: (A20), (A21), (A23), (A24), ~~and~~ (A25) ~~and~~ (A45)
- The activities listed in Table [H30.4.1](#) Activity table for Special Purpose – Tertiary Education Zone at line items (A3), (A4) and (A5)
- ~~The activities listing in Table H25.4.1 Activity table for the Special Purpose – Healthcare Facility and Hospital Zone at line items (A18), (A20), and (A21).~~

I334 WairakaTe Auaunga Precinct

Tables I334.4.1, I334.4.2, ~~and I334.4.3 and I334.4.4 Activity table~~ specify the activity status of land use, development and subdivision activities in the WairakaTe Auaunga Precinct pursuant to sections 9(3) and 11 of the Resource Management Act 1991 or any combination of all these sections where relevant.

Table I334.4.1 WairakaTe Auaunga Precinct (all of precinct except for sub-precinct A B and C)

Activity		Activity status
Use		
Accommodation		
(A1)	Dwellings in the Special Purpose - Tertiary Education Zone up to a maximum gross floor area of 7,500m ²	P
Activity		Activity status
(A2)	Student accommodation, boarding houses and visitor accommodation in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
Commerce		
(A3)	Food and beverage, offices, commercial services, conference facilities, visitor accommodation, residential, community facilities, recreation and leisure activities within the Historic Heritage Overlay	P
(A4)	Offices in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
(A5)	Retail (including food and beverage) up to 200m ² gross floor area per tenancy	P
(A6)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	RD
(A7)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to the Historic Heritage Overlay	RD
(A8)	Retail (including food and beverage but excluding one supermarket) up to 1,200 m ² adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	P
(A9)	One supermarket of up to 1500m ² <u>of retail floor space adjacent to</u> within 150m of , and accessed from <u>via</u> , Farm Road	P
(A10)	Commercial services within 100m of a supermarket	D
(A11)	Retail (including food and beverage) adjoining the southern Carrington Road bus node between gate access 3 and 4 shown on the Precinct plan <u>1</u> , up to 500m ² gross floor area or 5 tenancies	P
(A12)	Retail (including food and beverage) within 100 metres of the Carrington Road frontage, not otherwise provided for	D
(A13)	Supermarkets not otherwise provided for	NC
(A14)	Retail (including food and beverage) not otherwise provided for	D
<u>New(A XX)</u>	<u>Retail not complying with Standard I334.6.2. Retail thresholds</u>	<u>PR</u>

Commented [VW50]: New rule to ensure retail activity not complying with Standard I334.6.2 is prohibited

I334 Wairaka Te Auaunga Precinct

Community facilities		
(A15)	Informal recreation	P
(A16)	Organised sport and recreation	P
Industry		
(A17)	Light manufacturing and servicing <u>greater than 150m from Carrington Road</u>	D
(A17A)	Light manufacturing and servicing within 150m of Carrington Road	NC
(A18)	Repair and maintenance services <u>greater than 150m from Carrington Road</u>	D
(A18A)	Repair and maintenance services within 150m of Carrington Road	NC
Activity		Activity status
(A19)	Warehousing and storage <u>greater than 150m from Carrington Road</u>	D
(A19A)	Warehousing and storage within 150m of Carrington Road	NC
(A20)	Waste management facilities in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	D
Mana Whenua		
(A21)	Marae	P
(A21A)	Papakāinga	P
(A21B)	Whare Manaaki	P
Development		
(A21C)	New buildings	RD
(A21D)	Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height and Standard I334.6.4	RD NC
(A21E)	Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m	RD
(A22)	Parking buildings	RD
(A23)	Non-security floodlighting, fittings and supports and towers	P
(A24)	Public amenities	P
(A25)	Sports and recreation structures	P
(A26)	Parking buildings associated with any Special Purpose – Tertiary Education Zone uses with direct vehicle connection to Western Road or to Laurel Street, Renton Road or Rhodes Avenue (or any extension of those roads)	NC
(A27)	Extension of Laurel Street, Renton Road, or Rhodes Avenue, <u>or Mark Road</u> into the P precinct provided that a cul de sac is maintained	P
(A28)	Connection of any southern roads (or extensions to the southern roads that remain cul de sacs) to the P precinct with a private road (non-gated)	C
(A29)	Connection of any roads to the Precinct with a public road Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the western road within the precinct	RD

Commented [VW51]: Consider this should be a Non-complying activity. Sufficient height is provided in these areas - additional height above this should be discouraged. This should also reference the height standard I334.6.4 Height.

Commented [VW52]: Do not support the additional height proposed in this area. Delete this activity.

Commented [VW53]: Do not support Rule (A29) as new road connections into the Precinct should be avoided and prohibited.

I334 ~~Wairaka~~Te Auaunga Precinct

(A30)	Direct vehicle connection between Laurel Street, Renton Road or Rhodes Avenue or Mark Road, and the Special Purpose – Tertiary Education Zone	NC
(A31)	Any development not otherwise listed in Table I334.4.1 that is generally in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A)	RD
(A32)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the p Precinct plan <u>1, 2 or 3</u> and Policy I334.3(15A)	D
(A33)	Buildings that exceed Standard I334.6.4 Height[deleted]	D
New (AXX)	Any development that does not comply with New Standard I334.6.XXX(1) and/or (2) Integrated Transport Assessment	NC
New (AXX)	Subdivision, use and development that complies with Standard I334.6.XXX Provision of Open Space and Precinct Plan I334.10.XXX Open Space	RD
New (AXX)	Subdivision, use and development that does not comply with Standard I334.6.XXX Provision of Open Space and Precinct Plan I334.10.XXX Open Space	NC

Activity	Activity status	
Subdivision		
(A34)	Any vacant lot subdivision proceeding in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A34A)	Subdivision of land for the purpose of construction and use of residential units	RD
(A34B)	Subdivision of land for the purpose of construction uses other than residential units	RD
(A35)	Any vacant lot subdivision that is not generally in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A)	D

Commented [VW55]: Where not otherwise identified, also consider that any other development or activity that infringes a standard should also be a Discretionary Activity.

Commented [VW56]: These rules (A31) and (A32) should include references to all standards as well.

Commented [VW54]: Delete word 'generally' as not specific or clear. Add reference to all Precinct Plans.

Commented [VW57]: New rule to require the provision of an ITA at the required dwellings numbers - links to proposed new standard.

Commented [VW58]: Local Board strongly recommend the inclusion of new rules and standards requiring the provision of open space throughout the Precinct commensurate with the intensity of development and population, users and visitors anticipated. The rules and standards should be supported by the identification of the location of the necessary open space on a Precinct Plan.

Commented [VW59]: Query whether these rules are necessary. Should this just be 'subdivision and a blank cell to refer back to E38 subdivision -Urban.

Commented [VW60]: Delete the word 'generally' as not specific or clear.

Table I334.4.2 ~~Wairaka~~Te Auaunga Precinct sub-precinct B

Activity	Activity status	
(A36)	Light manufacturing and servicing associated with the commercial laundry services	P
(A37)	Buildings that exceed the Standard I334.6.4 Height[deleted]	D

Table I334.4.3 ~~Wairaka~~Te Auaunga Precinct sub-precinct C

Activity	Activity status	
(A38)	Informal recreation	P
(A39)	Public amenity structures	P
(A40)	Student accommodation, boarding houses and visitor accommodation accessory to tertiary education facilities	P
(A41)	Tertiary education and ancillary activities existing in the Mixed Housing Urban and Residential Terrace Housing and Apartment Buildings zones at 1 November 2015	P

I334 Wairaka Te Auaunga Precinct

(A42)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with the p Precinct plan 1 and Policy I334.3(15A)	RD
(A43)	Any development not otherwise listed in Table I334.4.3 that is not generally in accordance with the p Precinct plan 1 and Policy I334.3(15A)	D
(A44)	Any vacant lot subdivision proceeding in accordance with the p Precinct plan 1 and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A45)	Any vacant lot subdivision that is not generally in accordance with the p Precinct plan 1 and Policy I334.3(15A)	D
(A46)	Parking buildings within the Residential Mixed Housing Urban Zone	NC
(A47)	Parking buildings within the Residential Terrace Housing and Apartment Buildings Zone for any uses other than serving the residents of that zone	NC
(A48)	Buildings that exceed the Standard I334.6.4 Height	D

Commented [VW61]: Delete the word 'generally' as not specific or clear.

Commented [VW62]: Delete the word 'generally' as not specific or clear.

Commented [VW63]: Retain the word 'Residential' as this the AUP standard way to reference a residential zone name.

Commented [VW64]: Retain the word 'Residential' as this the AUP standard way to reference a residential zone name.

Commented [VW65]: Retain the Discretionary activity status for over height buildings in Sub-Precinct C.

Table I334.4.4 Wairaka Precinct sub-precinct A

Activity	Activity status
Development	
(A49) All new buildings, and additions to existing buildings unless otherwise specified below	C
(A50) Demolition	P
(A51) Internal alterations to buildings	P
(A52) Additions to buildings that are less than: (a) 25 per cent of the existing gross floor area of the building; or (b) 250m ² GFA whichever is the lesser	P
(A53) New buildings or additions to existing buildings that increase the building footprint by more than 20 per cent or 200m ² GFA (whichever is the lesser), that are located within 10m of the eastern boundary	RD
(A54) New buildings or additions to buildings not complying with I334.6.14 (2)	NC
(A55) Any development not otherwise listed in Table I334.4.4 that is generally in accordance with the precinct plans 1, 2 and 3, and	RD
(A56) Any development not otherwise listed in Table I334.4.4 that is not generally in accordance with the precinct plan and Policy I334.3(15A)	D
(A57) Justice Facilities	D
(A58) Justice Facilities ancillary to forensic psychiatric services provided at the Mason Clinic	P

Commented [VW66]: Add reference to all Precinct Plans. Delete the word 'generally' as not specific or clear.

I334.5. Notification

(1) An application for resource consent for a controlled activity listed in Tables I334.4.1, and I334.4.3, and I334.4.4 Activity table above will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

I334 Wairaka Te Auaunga Precinct

(1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

~~(1B) An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.~~

(2) Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, ~~and~~ I334.4.3, ~~and~~ I334.4.4 Activity table which is not listed in Standards I334.5(1) ~~and~~ I334.5(1A) ~~and~~ I334.5(1B) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.

(3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in [Rule C1.13\(4\)](#).

I334.6. Standards

~~The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.~~

~~(1) Unless specified in Standard I334.6(2) below, all relevant overlay, Auckland-wide and zone standards apply to all activities listed in Activity Tables I334.4.1 to I334.4.3 above.~~

~~(2) The following Auckland-wide and zone standards do not apply to the activities listed in activity tables above:~~

~~(a) H13 Business – Mixed Use zone:~~

~~(i) Standards H13.6.0 Activities within 30m of a Residential Zone (but only as it relates to sites fronting Carrington Road), H13.6.1 Building Height, H13.6.2 Height in Relation to Boundary, H13.6.3 Building setback at upper floors, H13.6.4 Maximum tower dimension and tower separation, H13.6.5 Yards, H13.6.6 Landscaping and H13.6.8 Wind.~~

~~(3) All activities listed as permitted, controlled or restricted discretionary in Table I334.4.1, I334.4.2 and I334.4.3 Activity tables must comply with the following standards.~~

I334.6.1. Floodlights

Commented [VW67]: Do not agree with this new notification statement. Any building that is over height in the Precinct should be fully publicly notified, or, at least, subject to, the normal tests for notification.

Commented [VW68]: If retained, add reference to new notification standard 1B here as well.

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- (1) Where floodlights are located adjacent to a residential zone, the hours of operation must not extend beyond:
 - (a) 10pm Monday to Saturday; and
 - (b) 7.30pm Sunday and Public Holidays.
- (2) Floodlights must comply with the lighting standards in [E24.6](#) Auckland-wide Standards – Lighting.

I334.6.2. Retail thresholds

- (1) The following thresholds apply in this precinct:
 - (a) ~~The~~ the total gross floor area of retail (including food and beverage and supermarket) must not exceed 6,500m² for the whole precinct;
 - (b) the total gross floor area of retail (including food and beverage) within the Business - Mixed Use Zone must not exceed ~~4500m²~~4,700m²; and
 - (c) ~~The~~ the total gross floor area of retail (including food and beverage) within the Special Purpose - Tertiary Education Zone must not exceed ~~3000m²~~1,800m².
- (2) The total gross floor area of retail (including food and beverage) in the Historic Heritage Place must not exceed 1,000-m² subject to Standard I334.6.2(1)(a) above, provided that any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct.
- (3) All retail activities adjacent to, or within, 100m of ~~to~~ the supermarket must not exceed ~~4200m²~~1,700m² gross floor area, provided that:
 - (a) any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct; and
 - (b) the 1,700m² gross floor area may be increased by any transferred gross floor area under Standard I334.6.2(2).
- (4) Any supermarket within 150m of, -adjacent to and accessed ~~from~~via, Farm Road, must not have vehicle access or parking directly off Carrington Road.

I334.6.3. Stormwater

- (1) All subdivision and development of the land in the precinct must be consistent d 4with ~~the~~an approved stormwater management plan.

I334.6.4. Height

- (1) ~~Standards in the table below apply rather than underlying zone heights unless specified. Buildings must not exceed the heights set out below. The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Business - Mixed Use zone and Areas 1 – 4, identified on Precinct plan 3: Te Auaunga Height.~~

Suggested alternative wording for Height Standard

- (1) Buildings in Height Area 1 must not exceed a height of XXm as identified on Precinct Plan I334.10.3.
- (2) Buildings in Height Area 2 must not exceed a height of 35m as identified on Precinct Plan I334.10.3.

Commented [VW69]: This standard is poorly drafted. Only sub-precinct A (Mason clinic) and the south-eastern part of Precinct in sub-precinct C zoned THAB zone are not subject to height areas 1 - 4. No additional height control or height variation control provided over the precinct so this reference seems unnecessary. This standard requires redrafting to be clearer and to link 'height' to a 'building'. Suggested alternative wording provided. Note however, the AELB does not support the additional height identified on Precinct Plan 3 for Height area 1, 2 and 4.

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- (3) ~~Buildings in Height Area 3 must not exceed a height of 11m as identified on Precinct Plan I334.10.3.~~
- (4) ~~Buildings in Height Area 4 must not exceed a height of 27m as identified on Precinct Plan I334.10.3.~~

Building location	Maximum height (m)
Less than 20m from a boundary with Carrington Road (as at 1 November 2015) or the Open Space: Conservation Zone (excluding the Residential — Mixed Housing Urban and Residential — Terrace Housing and Apartment Buildings zones)	18m
Greater than or equal to 20m from a boundary with Carrington Road (as at 1 November 2015) or Open Space: Conservation Zone (excluding the Residential — Mixed Housing Urban, Residential — Terrace Housing and	27m

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PC78 (see modifications)

Apartment Buildings and Special Purpose – Healthcare Facility and Hospital zones)	
Residential – Mixed Housing Urban, Residential – Housing and Apartment Buildings and Special Purpose – Healthcare Facility and Hospital zones	Specified zone height applies
Buildings within the Residential – Mixed Housing Urban Zone and within 10m of the southern precinct boundary	8m

I334.6.5. Landscaping

~~(1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions. [Deleted]~~

I334.6.6. Precinct boundary set back

- (1) Buildings on land within Sub-precinct C adjoining residential zoned land outside the precinct and to the south must be set back a minimum width of 5m from the external precinct boundary. Planting requirements of Standards [H13.6.5 \(Yards\)](#) and [H13.6.6 \(Landscaping\)](#) Business - Mixed Use Zone in Sub precinct C apply.
- (2) Buildings on land adjoining Open Space – Conservation zoned land outside the precinct must be set back a minimum width of 10m from the external precinct boundary. Planting requirements of Standards [H13.6.5 \(Yards\)](#) and [H13.6.6 \(Landscaping\)](#) Business - Mixed Use Zone apply.
- (3) Buildings on land fronting Carrington Road must be set back a minimum width of 28.2m when measured from the eastern edge of the Carrington Road road reserve as at 1 November 2015. This setback area may be used for walkways, cycleways, public transport facilities, site access, street furniture, outdoor dining and cafes. Other areas within the 28.2m not used for these activities must be landscaped. This setback does not apply once the road widening affecting the WairakaTe Auaunga Precinct Carrington Road frontage has been vested in the Auckland Council.

PC78 (see modifications)

I334.6.7. Tree protection

- (1) In addition to any notable tree, Subject to Standard I334.6.7(2) below, the following trees identified in I334.104.2 Precinct plan 2 – Protected trees and in Table I334.6.7.1 below must not be altered, removed or have works undertaken within the dripline except as set out in I334.6.7(2) below. Trees located within an existing or future road-widening area along Carrington Road frontage are not subject to this control.
- (2) Tree works to the trees identified below must be carried out in accordance with all of the provisions applying to Notable Trees in [D13 Notable Tree Overlay](#), with the exception that up to 20 per cent of live growth may be removed in any one year.

Commented [VW70]: Do not support the deleting of a specific landscaping standard from the Precinct. A landscape standard specific to this Precinct is required to maintain amenity and greenery. Given predominately large scale residential buildings are contemplated in the Precinct suggest at least the THAB zone landscaping standard be applied to this Precinct.

Commented [VW71]: Correct numbering.

Commented [VW72]: The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents

Table I334.6.7.1 - Identified Trees

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
1	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
2	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
3	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
5	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
7	Karaka	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
9	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
10	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
11	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
13	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
14	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
15	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
16	Swaine's Gold, Italian cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
17	Michelia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
18	Sky Flower	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
19	New Zealand Ngaio	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
20	Mediterranean Cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
22	Mediterranean Fan Palm	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
23	Mountain Coconut, Coco	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
24	Chinquapin	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
25	White Mulberry	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
26	Totara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
27	Australian Frangipani	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949

Commented [VW73]: The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
28	Kauri	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
29	Three Kings Climber	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
30	Norfolk Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
31	Pepper Tree, Peruvian	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
32	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
33	Jacaranda	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
34	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
35	Variiegated Five Finger	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
36	Maidenhair Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
37	Brazilian Coral Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
38	Dogwood	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
39	Houpara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
40	Oleander	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
41	Taupata	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
42	Camphor Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
43	Plum Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
44	Camellia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
45	Kohuhu	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
46	Silver Poplar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
47	Liquidambar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935

I334.6.8. Access

- (1) The primary traffic access to the precinct must be from Carrington Road at locations shown on ~~the~~ Precinct plan 1.

~~(2) Any retail (including food and beverage) fronting the southern bus node, must not have vehicle access directly off Carrington Road.~~

I334.6.9. Parking

(1) No parking is required for activities located within the scheduled heritage building other than for the provision of loading requirements.

~~(2) There must be no parking provided at the bus node for retail activities.~~

New Standard I334.6.XX Integrated Transport Assessment

- (1) Prior to any developments which would result in more than 3,000 dwellings within the precinct, an assessment of the then actual transport characteristics compared to the ITA assumptions must be provided. If the transport network and generation is not consistent with the assumptions within the precinct ITA, then an updated ITA is required prior to residential development in excess of 3,000 dwellings.
- (2) A new integrated Traffic Assessment (ITA) is required as part of any development that will result in the precinct exceeding 4,000 dwellings.

Commented [VW74]: New standards - relocated from special information requirements.

I334.6.10. Building to building set back

Purpose: to ensure adequate separation between taller buildings.

(1) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height the minimum separation distance between buildings shall must be 14m. This control shall be measured 8.5m above ground level.

Commented [VW75]: AUP drafting uses the term 'must' not 'shall'.

I334.6.11 Maximum tower dimension – Height Area 1 and Area 2

Purpose: to ensure that high-rise buildings in Height Area 1 and Height Area 2 on Precinct plan 3 – Te Auaunga Additional Height:

Commented [VW76]: A 14m separation distance between building is insufficient to maintain good levels of amenity between buildings or to the wider area.

- enable an appropriate scale of building to increase land efficiency in this part of the precinct;
- allow adequate sunlight and daylight access to public streets and public open space;
- provide adequate sunlight and outlook around and between buildings;
- mitigate adverse wind effects;
- discourage a high podium base on any one building, in order to positively respond to Area 1's qualities as a visual gateway and its wider landscape setting; and
- manage any significant visual dominance effects by applying a maximum tower dimension.

Commented [VW77]: What is a 'high rise' building?

(1) This standard only applies in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height.

(2) The maximum tower dimensions applying in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height must not exceed the dimension specified in Table I334.6.11.1 below.

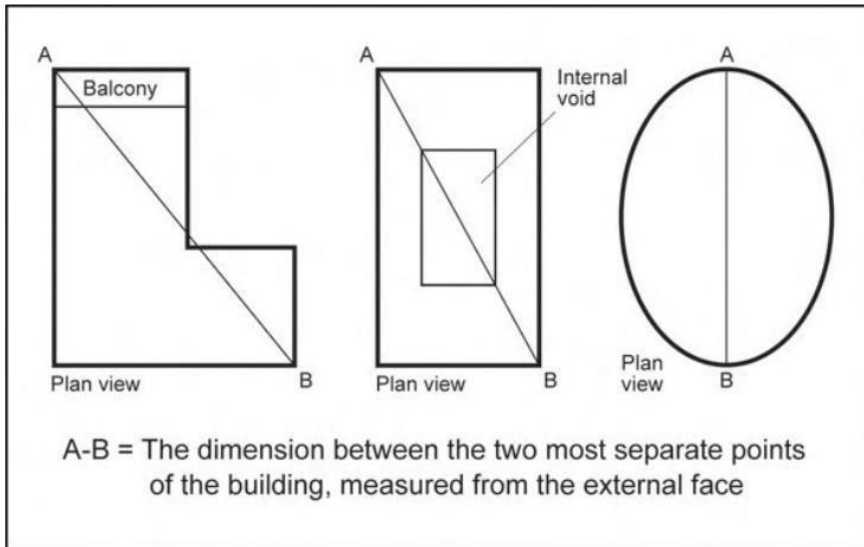
Table I334.6.11.1: Maximum tower dimensions

	Maximum Tower Dimension
<u>Buildings up to 35m</u>	<u>No tower dimension applies</u>
<u>Building with height up to 43.5m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 54m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 72m</u>	<u>42m max. tower dimension</u>

Commented [VW78]: It is not clear what is meant by the term 'high-rise' building in the purpose to Standard I334.6.11 Maximum tower dimension. This standard appears to be in support of building height greater than the 35m height specified in Height Areas 1 and 2 as Table I334.6.11.1 states that no dimension is applied to buildings up to 35m. As 35m is the maximum height enabled in Height Areas 1 and 2 this standard would not apply to any building in the Precinct in Height Areas 1 and 2. This standard only appears applicable to the three buildings with additional height enabled in Height Area 1. Consider that the underlying Business – Mixed Use Zone Maximum Tower Dimension and Tower Separation (H13.6.4) should be retained and be applicable to all buildings in Height Areas 1 and 2. Support tower dimension measurement occurring from 8.5m as in (3).

(3) The maximum tower dimension is the horizontal dimension between the exterior faces of the two most separate points of the building and for the purposes of this standard applies to that part of the building as specified in Figure I334.6.11.2 below. This control shall be measured 8.5m above ground level.

Figure I334.6.11.2 Maximum tower dimension plan view



I334.6.12. Wind

Purpose: to mitigate the adverse wind effects generated by tall buildings.

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(1) A new building exceeding 27m in height and additions to existing buildings that increase the building height above 27m must not cause:

- (a) The mean wind speed around it to exceed the category for the intended use of the area as set out in Table I334.6.12.1 and Figure I334.6.12.2 below;
- (b) The average annual maximum peak 3-second gust to exceed the dangerous level of 25m/second; and

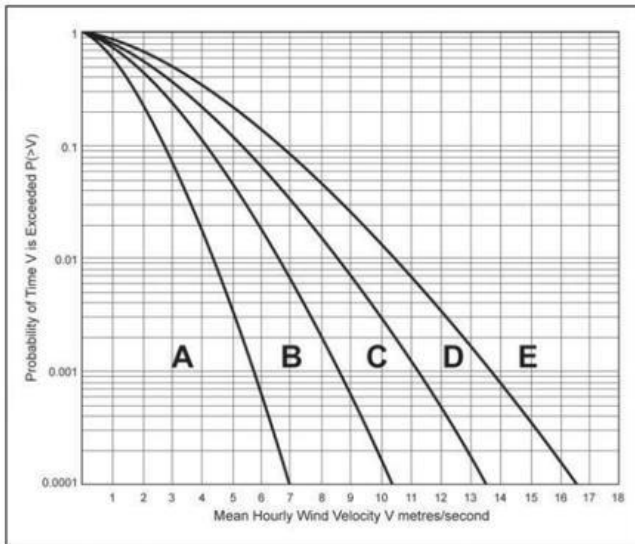
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- (c) An existing wind speed which exceeds the controls of Standard I334.6.12.(1)(a) or Standard I334.6.12.(1)(b) above to increase.
- (2) A report and certification from a suitably qualified and experienced person, showing that the building complies with Standard I334.6.12.(1) above, will demonstrate compliance with this standard.
- (3) If the information in Standard I334.6.12.(2) above is not provided, or if such information is provided but does not predict compliance with the rule, a further wind report including the results of a wind tunnel test or appropriate alternative test procedure is required to demonstrate compliance with this standard.

Table I334.6.12.1 Categories

<u>Category</u>	<u>Description</u>
<u>Category A</u>	<u>Areas of pedestrian use or adjacent dwellings containing significant formal elements and features intended to encourage longer term recreational or relaxation use i.e. public open space and adjacent outdoor living space</u>
<u>Category B</u>	<u>Areas of pedestrian use or adjacent dwellings containing minor elements and features intended to encourage short term recreation or relaxation, including adjacent private residential properties</u>
<u>Category C</u>	<u>Areas of formed footpath or open space pedestrian linkages, used primarily for pedestrian transit and devoid of significant or repeated recreational or relaxational features, such as footpaths not covered in categories A or B above</u>
<u>Category D</u>	<u>Areas of road, carriage way, or vehicular routes used primarily for vehicular transit and open storage, such as roads generally where devoid of any features or form which would include the spaces in categories A-C above</u>
<u>Category E</u>	<u>Category E represents conditions which are dangerous to the elderly and infants and of considerable cumulative discomfort to others, including residents in adjacent sits. Category E conditions are unacceptable and are not allocated to any physically defined areas of the city</u>

Figure I334.6.12.2 Wind Environment Control



Derivation of the wind environment control graph:

The curves on the graph delineating the boundaries between the acceptable categories (A-D) and unacceptable (E) categories of wind performance are described by the Weibull expression:

$$P(>V) = e^{-(v/c)^k}$$

where V is a selected value on the horizontal axis, and P is the corresponding value of the vertical axis:

and where:

P(>V) = Probability of a wind speed V being exceeded;

e = The Napierian base 2.7182818285

v = the velocity selected;

k = the constant 1.5; and

c = a variable dependent on the boundary being defined:

$$A/B, c = 1.548$$

$$B/C, c = 2.322$$

$$C/D, c = 3.017$$

$$D/E, c = 3.715$$

I334.6.13. Sub-precinct A Northern Boundary setback

(1) Buildings on land adjoining the northern boundary of Sub-precinct A must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.

Additional Standards Required

Residential – THAB Zone – H6.6.14 Daylight
Residential – THAB Zone - H 6.6.15 Outdoor Living space

I334.6.XXX Provision of Open Space

Open space must be provided in the Precinct as specified in Table I334.6.XX below and as identified on Precinct Plan I334.10.XX – Precinct Plan X – Open Space

<u>Trigger for Provision of Open Space</u>	<u>Type of open space</u>	<u>Size of open space</u>
<u>Dwelling number?</u>		
<u>Population number?</u>		
<u>Any other trigger?</u>		

Commented [VW79]: Local board considered additional stinkards are required to better provide for good levels of residential amenity in the Business - Mixed Use Zone parts of the Precinct.

Commented [VW80]: Local Board strongly seek the inclusion of new rules and standards requiring the provision of open space throughout the Precinct commensurate with the intensity of development and population, users and visitors anticipated. The rules and standards should be supported by the identification of the location of the necessary open space on a Precinct Plan.

Standards in Sub Precinct A

All activities listed as permitted, controlled and restricted discretionary in Table I334.4.4 must comply with the following standards.

I334.6.14. Height in relation to Boundary

(1) Buildings in Sub-precinct A must not project beyond a 45-degree recession plane measured from a point 3m vertically above ground level along the north and south boundaries of the Sub-precinct.

I334.6.15. Height

(1) I334.6.4 applies.

I334.6.16. Landscaping

(1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions.

I334.6.17. Tree Protection

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(1) I334.6.7 applies

I334.6.18. Sub-precinct A Boundary setback

(1) I334.6.6(2) applies.

(2) Buildings on land within Sub-precinct A adjoining the northern and southern boundaries of the Sub-precinct must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full

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extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.

- (3) Buildings on land within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct must be set back a minimum width of 5m from the external precinct boundary. This setback shall remain landscaped with mature trees, with the Identified Trees in this location supplemented as necessary to maintain a heavily treed frontage.

I334.6.19. Stormwater

- (1) I334.6.3 applies.

I334.6.20. Parking

- (1) No minimum and no maximum parking is required in Sub-precinct A.

I334.7. Assessment – controlled activities

I334.7.1. Matters of control

The Council will reserve its control to the following matters when assessing a controlled activity resource consent application, in addition to the matters specified for the relevant controlled activities in the zone, Auckland-wide, or overlay provisions:

- (1) Connection of Ppprecinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
- (a) traffic effects on adjoining streets and the transport network;
 - (b) amenity and safety of adjoining streets and those within the precinct;
 - (c) design of road connections;
 - (d) benefits of connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (2) Subdivision:
- (a) bBoundaries of the precinct and sub-precincts aligning with the proposed site boundaries.
 - (b) Compliance with existing resource consent (if applicable).

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(c) Site size, shape, design, contour, and location.

(d) Infrastructure.

(e) Historic and cultural heritage.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A:

(a) high quality design and amenity;

(b) functional and operational (including security) requirements;

(c) the integration of landscaping;

(d) safety;

(e) effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network having regard to:

(i) visibility and safe sight distances;

(ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;

(iii) proximity to and operation of intersections;

(iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and

(v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;

(f) The location and capacity of infrastructure servicing:

(i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the Sub-precinct;

(ii) management and mitigation of flood effects, including on buildings and property;

(iii) methods and measures to avoid land instability, erosion, scour and flood risk to buildings and property;

(iv) location, design and method of the discharge; and

(v) management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures.

I334.7.2. Assessment criteria

The Council will consider the relevant assessment criteria below for controlled activities, in addition to the assessment criteria specified for the relevant controlled activities in the zone, Auckland-wide or overlay provisions:

- (1) Connection of ~~Pp~~precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
 - (a) the extent to which the design of the road and associated landscap~~ing~~ creates:
 - (i) access consistent with the local road function; and
 - (ii) street trees, planting and other landscap~~ing~~ features that ensure a good standard of amenity;
 - (b) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and to manage speed;
 - (c) the extent to which the management of the private road through such measures as signage, surface treatment, landscaping and speed restrictions does restrict the use of these roads to only those vehicles with authorised access;
 - (d) the extent of any positive benefits arising from the proposed connection (excluding benefits relating to diversion of traffic from Carrington ~~R~~Road);
 - (e) the provision of walkway and cycleway access is not restricted. The extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways; and
 - (f) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(2) Subdivision

~~(+)(a)~~ The extent to which subdivision boundaries align with the sub-precinct boundaries and with ~~the precinct plan shown in~~ Precinct plan 1 ~~and with~~ ~~Policy I334.3(15A)~~ (or with any approved road network).

(b) Compliance with an existing resource consent.

(c) The effect of the site design, size, shape, contour, and location, including existing buildings, manoeuvring areas and outdoor living space.

(d) The adequate provision of infrastructure provisions.

(e) The effect on historic heritage and cultural heritage items.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A

Commented [VW81]: Support this inclusion.

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- (a) The extent to which the building and associated landscaping contributes to a high quality amenity outcome when viewed from neighbouring land and buildings, including the appearance of the roofscape;
- (b) Whether the design recognises the functional, operational, and security requirements of the intended use of the building, and addresses the safety of the surrounding residential community and the public realm;
- (c) The extent to which effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
 - (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (d) The location and capacity of infrastructure servicing:
 - (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) The extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.

I334.8. Assessment – restricted discretionary activities

I334.8.1. Matters of discretion

The Council will restrict its discretion to the following matters when assessing a restricted discretionary activity resource consent application, in addition to the matters specified for the relevant restricted discretionary activities in the zones, Auckland-wide, or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to~~within 150m of, and accessed from via, Farm Road (A6); and ~~or adjacent to the bus hub or Oakley Hospital building~~Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):

- ~~(a) building interface with any public place~~

Commented [VW82]: All matters of discretion and assessment criteria require amendment and updating to give effect to comments made in Albert-Eden Local Board feedback and throughout this document.

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- ~~(b) safety;~~
- ~~(c) services;~~
- ~~(d) traffic;~~
- ~~(e) travel plans and integrated transport assessments;~~
- ~~(f) design of parking and access; and~~
- (a) matters of discretion I334.8.1(1A)(d) - I334.8.1(1A)(h); and
- ~~(g)(b)~~ degree of integration with other centres.

(1A) New buildings which comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) whether proposed finished contour levels at a subject site abutting land identified as open space on Precinct plan 1 or vested public roads across the subject land area adequately manages pedestrian access from the ground floor level of buildings to the adjoining identified open space land and public roads variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available and buildings are adjoining); and
- (ii) where ground floor dwellings or visitor accommodation is proposed, whether some minor variations between the ground floor level and the level of adjoining open space or street (where adjoining) may be acceptable to provide for the privacy of residents and occupants/users

(b) Building form and character:

- (i) whether building design and layout achieves:
 - (a) separate pedestrian entrances for residential uses within mixed use buildings;
 - (b) legible entrances and exits from buildings to open spaces and pedestrian linkages;
 - ~~(c)~~ articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage the extent of large blank and/or flat walls and/or façades;
 - (d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape;
 - (e) a high quality, clear and coherent design concept utilises a palette of durable materials to express the building form;
 - (f) high quality visual interest through the use of façade modulation and articulation, and/or the use of materials and finishes and ensures any otherwise unavoidable blank walls are enlivened by

Commented [VW83]: The relevant matters of discretion require amendment as currently they only reference 'development' not 'activities'. These matters need to reference 'activities' or 'activity' specific matters need to be provided.

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- methods which may include art work, māhi tōi, articulation, modulation and cladding choice to provide architectural relief;
- (g) rooftop mechanical plant or other equipment is screened or integrated in the building design;
 - (h) any otherwise unavoidable blank walls are enlivened by methods which may include art work, māhi tōi, articulation, modulation and cladding choice to provide architectural relief;
 - (i) parking areas located within or abutting buildings which are visually discreet when viewed from public roads and open space identified on Precinct plan 1;
 - (j) long building frontages are visually broken up by façade design and roofline, recesses, awnings, balconies and other projections, materials and colours;
 - (k) building form is designed to allow a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use;
- (ii) activities at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;
- (iii) outdoor living areas and internal living spaces achieve privacy from publicly accessible areas while maintaining a reasonable level of passive surveillance; and
- (iv) whether any proposed publicly accessible spaces within a development, including pedestrian and cycle linkages, are integrated into the existing or planned pedestrian network;
- (c) Safety including passive surveillance:
- (i) whether new buildings are designed in accordance with Crime Prevention Through Environmental Design principles, including by providing passive surveillance of publicly accessible areas. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within a tertiary education campus(es) will be considered as if they are public open spaces; and
- (d) Services including infrastructure and stormwater management:
- (i) stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area;
 - (ii) location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater

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management features, which incorporate low impact stormwater design principles and improved water quality systems; and

- (iii) the effects of potential contamination of stormwater and ground water arising from discharges from roofing materials.

(e) Traffic:

- (i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct discourage through traffic from outside the Te Auaunga Precinct, and slow traffic with an origin or destination in the Special Purpose - Tertiary Education Zone or southern neighbourhoods.

(f) Travel plans and integrated transport assessments:

- (i) proposed developments are consistent with any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and any corresponding travel plans are provided by way of conditions of any consent prior to occupation;
- (ii) whether any development in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated transport assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and
- (iii) whether any development in excess of 4,000 dwellings either provides an integrated transport assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.

(g) Design of parking structures and vehicular access:

- (i) within the Special Purpose - Tertiary Education Zone avoids parking either at grade or within a building at or above ground level, having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on Precinct plan 1;
- (ii) minimises the extent to which parking within a building at or above ground level directly faces Te Auaunga and the Carrington Road frontage;
- (iii) parking areas are screened;
- (iv) parking structures minimise direct venting to pedestrian environments at ground level;

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- (v) vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and be separated from pedestrian access, or are designed as a shared space; and
- (vi) design of pedestrian routes between parking areas, building entrances/lobbies and the street ensures that these spaces are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.

(h) Landscape:

- (i) landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. Landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways. Landscaping includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas.

(i) Matters applying to the Carrington Road frontage:

- (i) building frontages to Carrington Road are designed to express a scale of development that responds to Policy I334.3(13);
- (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, separation and layout to contribute to the visual character, and articulation of the Carrington Road frontage; and
- (iii) building frontages to Carrington Road are designed to address the perception of a solid walled mass through techniques including building recesses, clear visual breaks between buildings, variation in roofline and overall building silhouette.

(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height, and Buildings within the Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m:

(a) matters of discretion I334.8.1(1A)(a) - I334.8.1(1A)(h):

(b) building design and location:

- (i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki M ākaurau cityscape and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop;
- (ii) The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form.

(c) shading:

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- (i) the extent to which the location and design of buildings ensures a reasonable level of sunlight access (measured at the Equinox) to residential units and open space areas; taking into consideration site and building orientation, and the planned built-character of the precinct.
- (2) Parking buildings/~~structures~~:
 - ~~(a) ground contours;~~
 - ~~(b) building interface with public places;~~
 - ~~(c) safety;~~
 - ~~(d) services including infrastructure and stormwater management;~~
 - ~~(e) traffic;~~
 - ~~(f) travel plans and integrated transport assessments; and~~
 - ~~(g) design of parking and access.~~
 - (a) matters of discretion I334.8.1(1A)(a), and I334.8.1(1A)(d) - I334.8.1(1A)(i).
- (3) Connection of any road to the Precinct with a public road Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A29):
 - (a) traffic;
 - (b) amenity and safety;
 - (c) design of road connections; and
 - (d) benefits of road connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (4) Any development not otherwise listed in Tables I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with ~~the p~~ Precinct plan 1 ~~and Policy I334.3(15A):~~
 - (a) Effects of the location and design of the access on the safe and efficient operation of the adjacent transport network having regard to:
 - (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;

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- (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (b) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area;
 - (ii) ~~T~~he effects on receiving environments from the location and design of the Indicative Stormwater Management Area and stormwater devices including the following:
 - ~~(i)~~ management of the adverse effects on receiving environments, including cumulative effects (which may be informed by any publicly available current stormwater and/or catchment management plans and analyses);
 - ~~(ii)~~ BPO for the management of the adverse effects of the stormwater diversion and discharge on receiving environments;
 - ~~(iii)~~ implementation of stormwater management devices and other measures and programmes that give effect to the BPO;
 - ~~(iv)~~ management and mitigation of flood effects, including on buildings and property;
 - ~~(v)~~ methods and measures to minimise land instability, erosion, scour and flood risk to buildings and property;
 - ~~(vi)~~ location, design and method of the discharge; and
 - ~~(vii)~~ management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures;
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of:
- (i) open spaces which are prominent and accessible by pedestrians;
 - (ii) the number and size of open spaces in proportion to the future intensity of the precinct and surrounding area; ~~and~~
 - (iii) effective and safe pedestrian and/or cycle linkages;
- ~~(ed)~~ ~~T~~he location, physical extent and design of open space;
- ~~(be)~~ ~~T~~he location of anticipated land use activities within the development;
- ~~(ef)~~ ~~T~~he location and physical extent of parking areas; ~~and~~

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- (dg) ~~T~~he staging of development and the associated resource consent lapse period;
- (eh) ~~T~~he location and form of building footprints and envelopes; ~~and~~
- (fi) ~~B~~uilding scale and dominance (bulk and location).
- (5) For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; ~~I334.6.5 Landscaping~~; I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; ~~I334.6.13 Height in relation to Boundary~~; ~~I334.6.17(3) Sub-precinct A Boundary setback~~; the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:
- (a) the matters of discretion in [Rule C1.9\(3\)](#) of the general provisions apply; ~~and~~
- (b) ~~any special or unusual characteristic of the site which is relevant to the standard;~~
- (c) ~~where more than one standard will be infringed, the effects of all infringements considered together; and~~
- (d) the effects on the following relevant matters:
- (i) floodlights – the effects on the amenity values of adjoining residential areas;
- (ii) retail thresholds – the needs of the campus and serving the local demand within the precinct, the role function and amenity of the Point Chevalier and Mt Albert town centres;
- (iii) stormwater – ~~S~~see Matter I334.8.1(4)(c) above;
- (iv) height – the effects on the amenity values of open spaces and adjoining residential areas;
- (v) ~~landscaping – the street edge, the delineation of pedestrian routes, the visual and pedestrian amenity effects caused by access ways, parking and service areas; [deleted]~~
- (vi) precinct boundary set back - ~~h~~interface with the public realm and effects on neighbouring sites, building scale and dominance (bulk and location), and ~~O~~utlook and privacy;
- (vii) trees – ~~S~~see restricted discretionary activity matters of discretion in Matters [D13.8.1](#) Notable Trees Overlay;
- (viii) access – the primary access to the precinct being on Carrington Road, the amenity values of existing residents as a result of the southern connections becoming a direct vehicle entrance to the precinct;
- (ix) parking – the heritage values of the Oakley Hospital ~~main building; the efficiency of operation of the bus hub;~~

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- (x) Boundary setback in respect of buildings within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct – landscape amenity;
- (xi) Height in relation to boundary – visual dominance, overlooking, shading and privacy.
- (6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary:
 - Where buildings do not abut the street frontage
 - (a) the effectiveness of screening and/or landscaping on the amenity of the streetscape;
 - (b) safety;
 - (c) functional and operational (including security) requirements;
 - Where buildings do abut the street frontage
 - (d) the effectiveness of screening and/or landscaping (if any);
 - (e) the maintenance or enhancement of amenity for pedestrians using the adjoining street;
 - (f) measures adopted for limiting the adverse visual effects of any blank walls along the street frontage;
 - (g) measures adopted to provide for the visual interest at the street frontage, while ensuring the security, and functional and operational requirements of the Mason Clinic;
 - (h) safety
- Matters applying to all buildings
- (i) Those matters contained in I334.7.1.(3).

I334.8.2. Assessment criteria

The Council will consider the relevant assessment criteria below for restricted discretionary activities, in addition to the assessment criteria specified for the relevant restricted discretionary activities in the zones, Auckland-wide or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to within 150m of~~, and accessed ~~from via~~, Farm Road ~~and or adjacent to the bus hub or Oakley Hospital building (A6);~~ and Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):
 - ~~(a) Building interface with any public places;~~

Commented [VW84]: All matters of discretion and assessment criteria require amendment and updating to give effect to comments made in Albert-Eden Local Board feedback and throughout this document.

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- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exits to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~
- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use and whether they may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses; and~~
- ~~(ix) the extent to which through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and whether they are:
 - ~~• publicly accessible and attractive; and~~
 - ~~• designed to provide a high level of pedestrian safety.~~~~

~~(b) Safety:~~

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~
- ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~

~~(c) Services:~~

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- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
- ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

~~(d) Traffic:~~

- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~
- ~~(ii) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application.~~

~~(e) Traffic plans and integrated transport assessments:~~

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

~~(f) Design of parking and access:~~

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(g)(b) Degree of integration with other centres:~~

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- (i) the extent to which the location, scale and staging of anticipated activity types in the precinct mitigates potential conflicts with activities within neighbouring centres; and
- (ii) the extent to which the location, scale and staging of ~~offices~~retail ~~does~~ not have adverse effects on the role of other centres, beyond those effects ordinarily associated with trade effects or trade competition.

(1A) New buildings under I334.4.1(A21C) that comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) Refer to Policies I334.3.(13) and (27).

(b) Building form and character:

- (i) Refer to Policies I334.3.(13), (14) and (27).

(c) Safety including passive surveillance:

- (i) Refer to Policies I334.3.(13), (14) and (27).

(d) Services including infrastructure and stormwater management:

- (i) Refer to Policies I334.3.(27).

(e) Traffic:

- (i) Refer to Policies I334.3.(20) and (22).

(f) Travel plans and integrated transport assessments:

- (i) Refer to Policies I334.3. (4)(g), (20), (23), and (27).

(g) Design of parking structures and vehicle access:

- (i) Refer to Policies I334.3.(13), (14), (14A), (14B), (24) and (25).

(h) Landscape:

- (i) Refer to Policy I334.3.(13).

(i) Additional criteria applying to building frontage to Carrington Road:

- (i) Refer to Policies I334.3.(13) and (14).

(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height; and Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m:

- (a) Refer to Policies I334.3(13), (14), (14A), (14AA) and (14B).

(2) Parking buildings ~~and structures:~~

~~(a) Ground contours:~~

- ~~(i) the extent to which the proposed finished contour levels across the subject land area avoid variations between the ground floor level of~~

~~future buildings and adjoining existing and proposed public open space (where information is available); and~~

- ~~(ii) The extent to which where ground floor dwellings or visit accommodation is proposed, some minor variations between the ground floor level and the level of adjoining open space or street may be acceptable to provide for the privacy of residents and occupants/users.~~

~~(b) Building interface with public spaces:~~

- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to these public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exists to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~
- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use. This may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses;~~
- ~~(ix) whether through site links and covered plazas integrate with the existing or planned public realm and pedestrian network and are publicly accessible, attractive and designed to provide a high level of pedestrian safety.~~

~~(c) Safety:~~

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~

- ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~
- ~~(d) Services including infrastructure and stormwater management:
 - ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
 - ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~~~
- ~~(e) Traffic:
 - ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~~~
- ~~(f) Travel plans and integrated transport assessments:
 - ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~~~
- ~~(g) Design of parking and access
 - ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
 - ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
 - ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
 - ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
 - ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by~~~~

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~~people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(a) Assessment criteria I334.8.2(1A)(a) and I334.8.2(1A)(d) - I334.8.2(1A)(h).~~

(3) ~~Connection of any road to the Precinct with a public road~~Extension of Laurel Street, Renton Road, or Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A30):

(a) Traffic:

- (i) the extent to which traffic management measures on roads which connect to the south of the Pprecinct are designed to avoid the southern connection becoming the primary entrance for tertiary education uses or becoming an faster alternative to Carrington Road for non-local traffic;

(b) Amenity and safety:

- (i) whether the design of the road and associated landscaping creates:
- access consistent with the local road function;
 - street trees, planting and other landscaping features that ensure a good standard of amenity; and
- (ii) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and manages speed. Methods could include, but are not limited to, one lane sections, narrow carriageways, intersections designed to slow traffic and interrupt flow, avoidance of roundabouts which facilitate speedy movement through the precinct, and designing the carriageway as shared space with a meandering route.

(c) benefits of road connections (excluding benefits related to diversion of traffic from Carrington Road):

- (i) the extent of any positive benefits arising from the proposed connection (excluding benefits related to diversion of traffic from Carrington Road) and ensure the provision of walkway and cycleway access is not restricted.

(d) provision of walkway and cycle access:

- (i) the extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways.

(e) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone:

- (i) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern

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roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

- (4) Any development not otherwise listed in Tables I334.4.1, ~~and~~ I334.4.3, ~~and~~ I334.4.4 that is generally in accordance with ~~the p~~precinct plan 1 ~~and Policy~~ I334.3(15A):
- (a) The extent to which effects of the location and design of the access on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
 - (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
 - (b) The location and capacity of infrastructure servicing:
 - (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) the extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.
 - (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of and pedestrian and/or cycle connections:
 - (i) ~~F~~the extent to which the design demonstrates the staging of wider network improvements to public open space, including covered plaza, open spaces, pedestrian walkways and cycleway linkages including:
 - the layout and design of open space and connections with neighbouring streets and open spaces;
 - integration with cultural landmarks, scheduled buildings, ~~scheduled~~identified trees and historic heritage in and adjacent to the precinct; and
 - ~~(ii)~~ (ii) the extent to which the location, physical extent and design of open space meets the demand of future occupants of the site and is of a high quality, providing for public use and accessibility, views, sunlight access and wind protection within the application area.

~~(e)~~(d) The location of land use activities within the development:

- (i) the extent to which the location and staging of anticipated activity types and/or the location, orientation or layout of buildings avoids or mitigates potential conflicts between activities within the subject land area; and
- (ii) opportunities to establish community facilities for future occupants of the site and for the wider community are encouraged within the development.

~~(f)~~(e) The location and physical extent of parking areas and vehicle access:

- (i) ~~T~~he extent to which parking, loading and servicing areas are integrated within the application area taking account of location and staging of anticipated activity types.

~~(g)~~(f) The staging of development and the associated resource consent lapse period:

- (i) ~~W~~hether the proposal adequately details the methods by which the demolition and development of the site will be staged and managed to compliment the proposed open space, road and lane network and to avoid, remedy or mitigate adverse effects associated with vacant disused areas of the site.

~~(h)~~(g) The location and form of building footprints and envelopes:

- (i) the assessment criteria of the zone standards for new buildings and/or alterations and additions to buildings apply; ~~and~~
- (ii) the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of ~~the p~~recinct plan 1 ~~and Policy I334.3(15A)~~; including the location of the transport network, open spaces and infrastructure; ~~;~~ and
- (iii) the extent to which buildings that do not comply with the bulk and location and amenity controls demonstrate that the ground floor of a building fronting a street or public open space provides interest for pedestrians and opportunities for passive surveillance of the public realm.
- (iv) Whether buildings activate the adjoining street or public open space by:
 - being sufficiently close to the street boundary and of a frontage height that contributes to street definition, enclosure and pedestrian amenity;
 - having a pedestrian entrance visible from the street and located sufficiently close to reinforce pedestrian movement along the street;
 - providing a level of glazing that allows a reasonable degree of visibility between the street/public open space and building interior to contribute to pedestrian amenity and passive surveillance;

- ~~avoiding~~[minimising](#) blank walls at ground level; and
 - providing convenient and direct entry between the street and the building for people of all ages and abilities.
- (v) Whether dwellings located on the ground floor of a building adjoining a street or public open space positively contribute to the public realm while achieving privacy and a good standard of amenity for occupiers of the dwelling, in particular by:
- providing balconies overlooking the street or public open space;
 - providing a planted and/or fenced setback to the street or public open space. Landscaping or fencing should be low enough to allow direct sightlines from a pedestrian in the street or public open space to the front of a balcony; and
 - raising the balcony and floor plate of the ground floor dwellings above the level of the adjoining street or public open space to a height sufficient to provide privacy for residents and enable them to overlook the street or public open space.
- (vi) The extent to which development that does not comply with the amenity controls demonstrates that:
- landscaping, including structural tree planting and shrubs, defines the street edge, delineates pedestrian routes and mitigates adverse visual and pedestrian amenity effects caused by access ways, parking and service areas. Whether landscaping is planted to ensure sight lines to or from site entrances are not obscured; and
 - where the side or rear yard controls are infringed, any adverse visual amenity and nuisance effects on neighbouring sites are mitigated with screening and landscaping.
- (i) Building scale and dominance (bulk and location):
- (i) the extent to which buildings that exceed the building height, ~~height in relation to boundary, and maximum building coverage~~ demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:
- streets and public open spaces;
 - adjoining sites, particularly those with residential uses; and
 - the proposed building;
- (ii) the extent to which such buildings meet policies in the Special Purpose - Tertiary Education Zone and [Wairaka Te Auaunga](#) Precinct;
- (iii) the extent to which the building is not visually dominating when viewed from the street, neighbouring sites, public open spaces and from distant locations;

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- (iv) ~~F~~the extent to which buildings on corner sites demonstrate that additional building mass and height is appropriate in that location and makes a positive contribution to the streetscape;
- (v) whether activities and buildings that do not comply with the outlook control demonstrate that:
 - ~~(vi)~~ occupants are provided with a good standard of outlook and privacy between useable/occupied spaces on the same and adjacent sites;
 - ~~(vii)~~ the building positively contributes to passive surveillance of the street, rear/sides of site and streetscape amenity; and
 - ~~(viii)~~(vi) where the requirements of the outlook control are met, whether such buildings adversely affect the amenity of any complying new/ existing development on an adjoining site.

(5) For development that does not comply with Standard I334.6.14 (3): Boundary setback in respect of buildings within Sub-precinct A or Standard I334.6.10: Height in relation to boundary.

For buildings which infringe Standard I334.6.14(3) Boundary Setback

- (a) the extent to which a landscaped buffer between buildings and activities and adjoining land is maintained to mitigate adverse visual effects;
- (b) landscaping that is maintained is of sufficient quality as to make a positive contribution to the amenity of the outlook to the site from neighbouring land;
- (c) whether the design recognises the functional and operational requirements of the intended use of the building, including providing for security.

For buildings which infringe Standard I334.6.10 Height in relation to boundary

- (d) the extent to which buildings that exceed the height in relation to boundary standard demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to adjoining sites, particularly those with residential uses;
- (e) the extent to which such buildings are consistent with the policies in the Special Purpose – Healthcare Facility and Hospital Zone, the Wairaka Precinct – General, and the Wairaka Precinct – Sub-precinct A; and
- (f) the extent to which buildings as viewed from adjoining sites are designed to reduce visual dominance effects, overlooking and shadowing and to maintain privacy.

(6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary.

Where buildings do not abut the street frontage

- (a) the extent to which the visual effects of the building are screened by landscaping, comprising the planting of a mixture of closely spaced trees, shrubbery and ground cover;

(b) the extent to which the design of the building and the design of the interface between the building and the adjacent street contributes to a high quality visual amenity (including safety) outcome when viewed from the street while meeting the operational and functional requirements (including security) of the use of the building.

Where buildings do abut the street

(c) the extent to which the visual effects of the building are screened by landscaping;

(d) the extent to which design features can be used to break up the bulk of the building by, for example varying building elevations, setting parts of the building back, and the use of architectural features to achieve a high quality outcome, without compromising the functional requirements of the use of the building;

(e) the extent to which the design of safety measures together with the design of the interface between the building and the adjacent street provide for sensitive design in a high quality urban environment, while meeting the security requirements for the Mason Clinic;

(f) the extent to which the ground floor of the building (where fronting a street) provides interest for pedestrians and opportunities for passive surveillance (including safety) of the public realm while ensuring the functional and operational requirements (including security) of the Mason Clinic;

(g) the extent to which buildings respond to the policies contained in the Special Purpose - Healthcare Facility and Hospital zone, policies the Wairaka Precinct-General, and the Wairaka Precinct – Sub-precinct A;

All buildings

(h) Those criteria contained in I33.7.2(3)(c) and (d).

I334.9. Special information requirements

An application for any subdivision or development must be accompanied by:

Integrated Transport Assessment

- (1) Prior to any developments which would result in more than 3,000 dwellings within the precinct, an assessment of the then actual transport characteristics compared to the ITA assumptions shall be provided. If the transport network and generation is not consistent with the assumptions within the precinct ITA, then an updated ITA is required prior to residential development in excess of 3,000 dwellings.
- (2) As part of any southern road connection (public or private), the first subdivision resource consent application in the Business — Mixed Use or residential zones (other than for controlled activities) or land use resource consent application for any development greater than 2,500m² gross floor area in the Business — Mixed Use Zone or greater than 1,000m² in the residential zones, development that will result in the precinct exceeding 4,000 dwellings, the applicant is required to

~~produce an integrated transport assessment for the precinct. An updated integrated transport assessment for the precinct will be required for all further development in excess of 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an Integrated Transport Assessment that is not more than two years old.~~

~~Stormwater Management Plan~~

- ~~(1) The following applies to land use consent applications for the land in the precinct:~~
- ~~(a) as part of the first land use consent application (excluding developments of less than 1,000m² gross floor area in the Special Purpose—Tertiary Education Zone; and developments less than 2,500m² in the Business—Mixed Use and Terrace Housing and Apartment Buildings zones), a comprehensive stormwater management plan which considers the appropriateness of any identified stormwater quality and quantity management devices to service the development must be prepared for all the land in the precinct.~~
 - ~~(b) the comprehensive stormwater management plan must be prepared in accordance with the information requirements in Requirement I334.9(3) below.~~
 - ~~(c) this standard does not apply where the land use application is in accordance with a subdivision consent previously approved on the basis of a previously approved comprehensive stormwater management plan~~
- ~~(2) A stormwater management plan that:~~
- ~~(a) demonstrates how stormwater management will be managed across the precinct or development to avoid, remedy or mitigate adverse effects;~~
 - ~~(b) applies an integrated stormwater management approach, consistent with Policy E1.3.(10);~~
 - ~~(c) identifies any areas of on-site stormwater management and provides for these in development and subdivision;~~
 - ~~(d) identifies the location, extent and of any infrastructure, including communal stormwater management devices and any proposed new or upgrades to infrastructure;~~
 - ~~(e) integrates/interfaces with the wider stormwater network, including that outside of the precinct; and~~
 - ~~(f) demonstrates compliance with the Council's relevant codes of practice and infrastructure standards; OR~~

Commented [VW85]: These ITA requirements are standards linked to development consideration. They should be relocated into the standard section. They are not 'special' or additional information.

~~(3) Demonstrate how stormwater will be managed in accordance with the stormwater management plan prepared for the precinct.~~

An application for development ~~that is or is not generally in accordance with the precinct plan and Policy I334.3(15A)~~ must include the following:

(1) Plans showing:

- (a) the overall context of the subject land area relative to existing buildings, public open space and transport connections and any approved buildings and approved framework plans generally;
- (b) where changes are intended, the relationship of site contours to existing and proposed streets, lanes, any public open space shown;
- (c) building footprints, profiles and height relative to existing and proposed streets, lanes and any existing or proposed public open space;
- (d) the location and layout of public open space areas ~~(within the control of the landowner or leaseholder)~~, including the general location of soft and hard landscaping areas, such as pocket parks, plazas, pedestrian linkages, walkways, covered plazas and linking spaces that complement the existing public open space network;
- (e) the location and layout of vehicle access, entries, exits, parking areas including number of spaces and loading and storage areas;
- (f) the location and layout of services and infrastructure;
- (g) the location and function of pedestrian, cycling and vehicle routes to and within the precinct, and their relationship to other areas. This must include representative street and lane cross sections showing the width of footpaths, cycle paths and traffic lanes;
- (h) the general location and function of existing and proposed streets and lanes, including cross-sections where applicable; and
- (i) indicative location and layout of proposed sites, including their site areas and buildings types.

(2) Proposed building profile and height as viewed from all existing and proposed street frontages, existing and proposed public open spaces. For the purpose of this requirement, building profile means two-dimensional and three-dimensional building block elevations and building cross-sections showing:

- (a) overall building form and height (as opposed to detailed design);
- (b) indicative proposed floor to ceiling heights of each building storey;
- (c) areas at ground level adjoining public open space intended to be available for active uses; and

Commented [VW86]: Delete the word 'public'. Just use the term 'open space'. Delete - 'within the control of the landowner or leaseholder' and don't restrict park sizes to just 'pocket' parks. All open space areas on a site within the Precinct (public and private) should be identified.

Commented [VW87]: Delete reference to only 'public' open space. This should be applicable to all 'open space areas'.

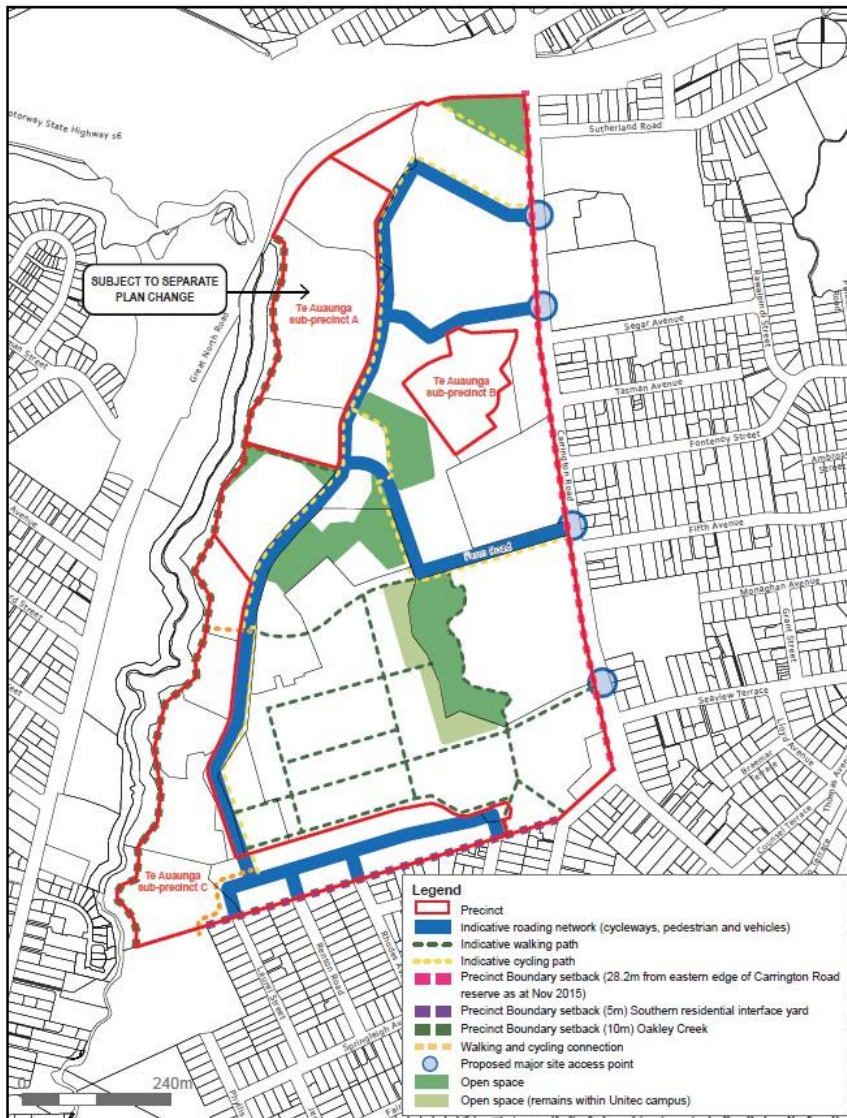
- (d) areas of walls likely to contain windows for principal living areas of accommodation units to demonstrate how the outlook space development control will be met.
- (3) A landscape management plan for any landscaped areas to be covenanted, public open space landscaping, roads and streetscapes and walkways. The plan must provide details on:
- (a) range of appropriate plant species ~~schedules~~;
 - ~~(b) planting specifications including individual tree planting locations;~~
 - ~~(e)(b)~~ weed control and management;
 - ~~(d)(c)~~ implementation; and
 - ~~(e)(d)~~ the location and design of public seating, vehicle barriers, signage, pedestrian lighting, litter receptacles, and other amenity features in line with crime prevention through environmental design principles.
- ~~(4) An infrastructure and stormwater management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding infrastructure and servicing, including:~~
- ~~(a) location and extent of infrastructure, including areas of on-site stormwater management (if applicable) and integration/interface with the wider precinct;~~
 - ~~(b) any proposed new or upgrade to infrastructure;~~
 - ~~(c) staging of development; and~~
 - ~~(d) compliance with the Council's relevant codes of practise and infrastructure standards.~~
- ~~(5) A traffic management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding traffic generation and management, including:~~
- ~~(a) a traffic management assessment demonstrating how the precinct will manage traffic demand, alternate transport options, connections to public transport and key connections to and within the precinct; and~~
 - ~~(b) be prepared in accordance with current best practise guidelines adopted by Auckland Transport.~~
- ~~(6)(4)~~ The general location of activity types with potential to influence the staging and design of development across the subject land area including:
- (a) general proposed activity types at activity interfaces, including activity types to be established adjacent to existing lawful activities (including industrial activities); and
 - (b) proposed staging of demolition, earthworks and building development, and where information is available, the staging of public open space.

Commented [VW88]: Delete reference to only 'public' open space. This should be applicable to all 'open space areas.

Commented [VW89]: Delete reference to only 'public' open space. This should be applicable to all 'open space areas.

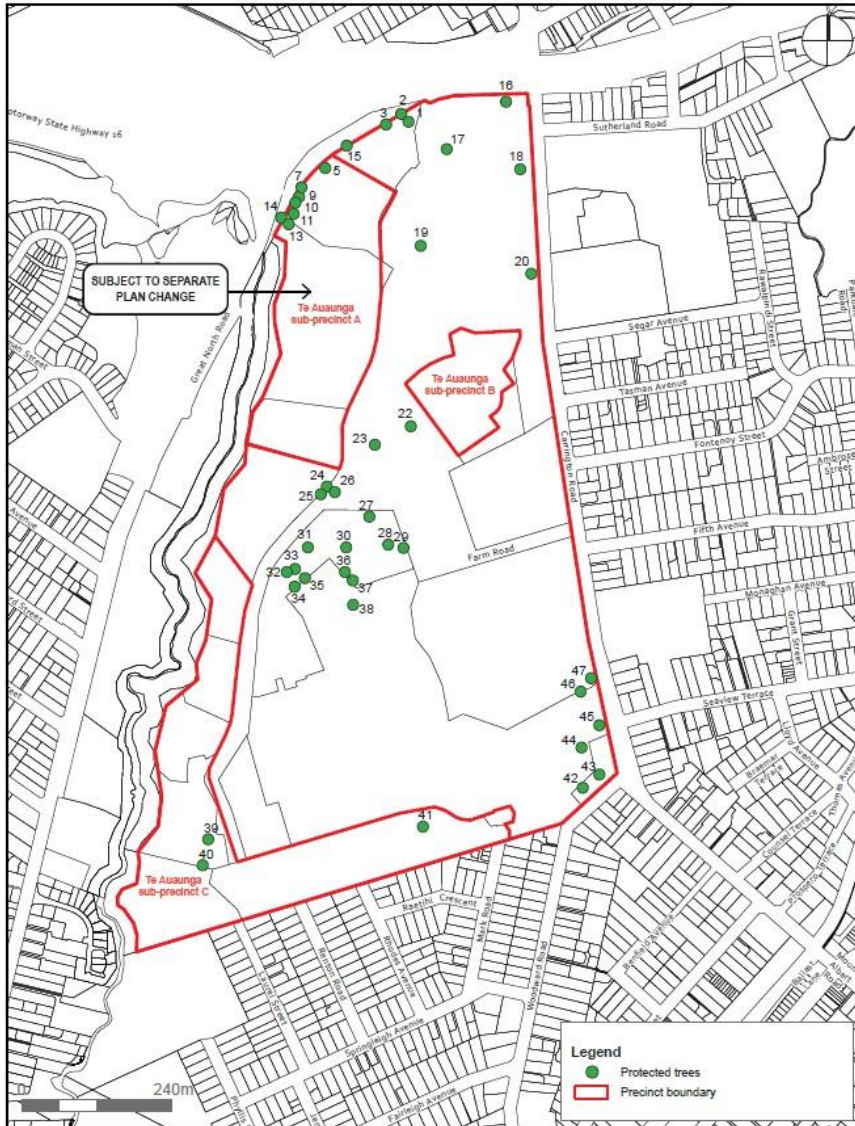
I334.10. Precinct plans

I334.10.1 Wairaka Te Auaunga: Precinct plan 1



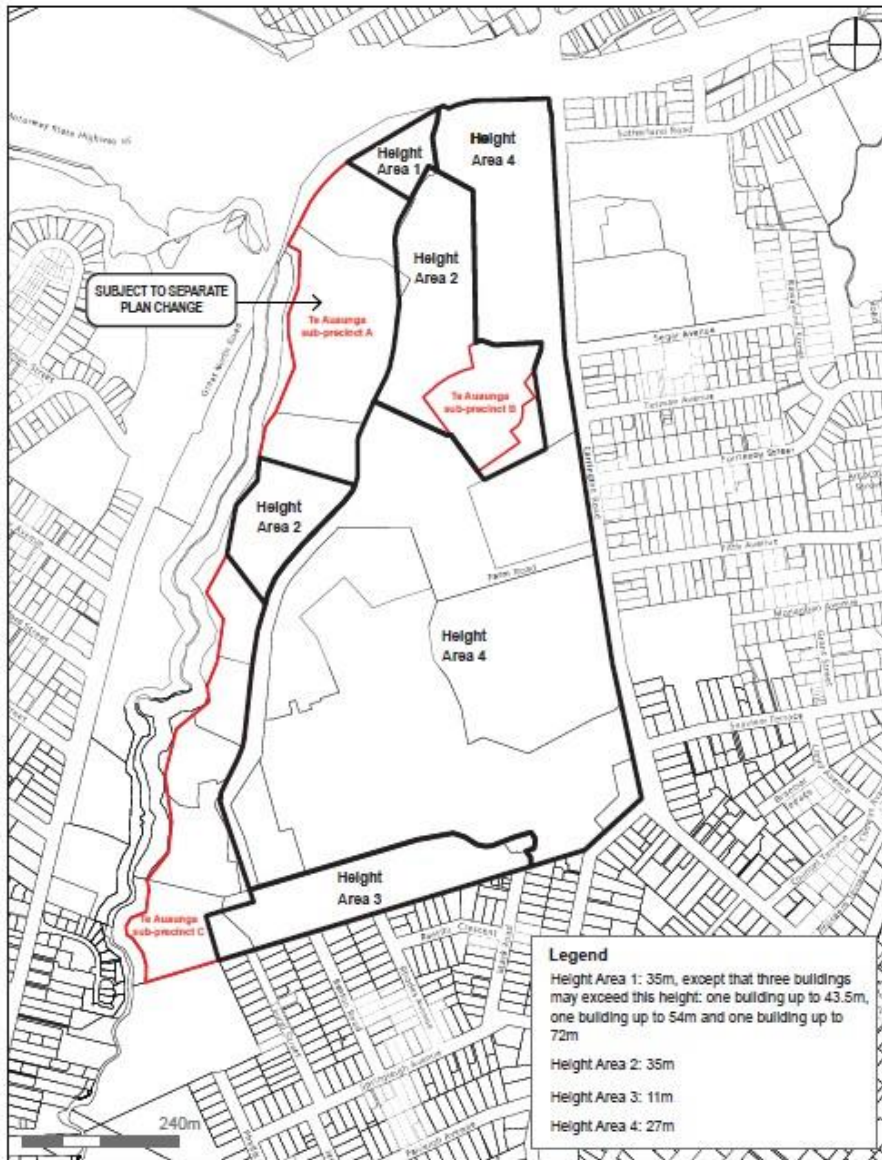
Commented [VW90]: Additional open space with a range of sizes and types should be provided in the Precinct to support development and population enabled in the Precinct. Open space should be identified on either Precinct Plan 1 or a new open space specific Precinct Plan. Details should reference that open space can be either publicly owned or privately owned but publicly accessible in perpetuity.

I334.10.2 Wairaka Te Auaunga: Precinct plan 2 – Protected Trees



Commented [AE91]: The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents6.

I334.10.3 Te Auaunga: Precinct plan 3 – Te Auaunga Additional Height



Commented [VW92]: This Precinct plan should be re-drawn to exclude identified open space areas from being within the additional height areas. If the spaces are identified for open space it is not appropriate to give them additional height. i.e remove northern open space from height areas 2 and 4.

Commented [VW93]: Do not agree with any of the heights proposed in Height Area 1 - as the additional height will adversely effect the identified historic heritage and further amenity. Furthermore, the heights identified throughout the Precinct are greater than the higher order Business - Town Center Zone over the Pt Chevalier town center. Enabling taller buildings in this Precinct will detract from the role and identification of the Business-Town Centre Zone.

Draft Albert-Eden Local Board Feedback on PC 94 (Private): Wairaka Precinct.

Purpose

1. To provide the Albert-Eden Local Board feedback on Plan Change 94 (**PC94**): Wairaka Precinct.

Background

2. PC94 has been requested by the Ministry of Housing and Urban Development (**MHUD**) and relates to a 64.5ha block of land contained by Carrington Road, the North-western Motorway, Te Auaunga/Oakley Creek and a series of local side roads and properties in the Woodward Road corridor in the south. The land is currently identified as being located within the Wairaka Precinct in the Auckland Unitary Plan (Operative in Part) (**the Unitary Plan**).
3. PC94 seeks changes to the existing zoning of land including, rezoning land from Special Purpose - Tertiary Education Zone as well as Residential – Terrace Housing And Apartment Building Zone to Business - Mixed Use Zone and Residential – Mixed Housing Urban Zone. There are also changes proposed to the existing Wairaka Precinct provisions. The most significant being identifying areas within the precinct where additional height can be accommodated, changes to the boundaries of sub-precincts and proposed changes to the areas identified for open space.
4. PC94 is being pursued by the Applicant to facilitate the development of land incorporated in the Treaty Settlement redress package under the Collective Redress Deed/Act. As part of this a number of resource consents and Fast Track consents, under the COVID-19 Recovery (Fast-track Consenting) Act 2020, for development within the Wairaka Precinct have been approved; and one fast track application is still under consideration. Furthermore, recently Plan Change 75 (**PC75**) was approved to enable the rezoning of land within Sub-Precinct A of the Wairaka Precinct used by the Mason Clinic. This approval was subject to a requirement to maintain the existing 7.1 hectares of open space within the whole of the Precinct. PC75 was subsequently appealed on the issue of the provision and extent of open space.
5. The rezoning and changes to the Precinct provisions proposed in PC94 will result in significant increases in intensity of development, and the number of dwellings and population that can be accommodated in the Precinct (i.e. from approximately 2,500 dwellings and 1,000 student units under current Precinct provisions; increased up to between 4,000 to 6,000 dwellings and 11,200 to 16,800 people under the proposed PC94 Precinct provisions).
6. PC94 was publicly notified by Auckland Council on 16 November 2023 with the submission period initially closing on 14 December 2023. However, due to further amendments by the Applicant to the proposed plan change, the submissions period was subsequently extended to 2 February 2024. The Summary of Decisions Requested (**SDR**) was notified on 18 April 2024, with the further submission period closing on 3 May 2024.
7. The SDR provides a summary of the 'primary' submissions received. There are 230 primary submissions and approximately 600 submission points to be considered. Approximately 170 submitters oppose the plan change and 15 seek amendments to it. The main issues raised relate to open space, transport, lack of educational facilities, lack of other facilities / infrastructure, trees, lack of a master plan, built form (including height), the precinct name, ecology and heritage.
8. There have also been 15 further submissions received, both in support and opposition to primary submissions, with the majority supporting submissions that oppose PC94 and/or seek amendments to the proposed precinct provisions.

Local Board Role

9. The purpose of local government is to promote the social, economic, environmental, and cultural well-being of communities in the present and for the future. Auckland Council is comprised of two complementary groups of elected representatives with shared decision-making authority – the Governing Body and local boards. The Governing Body and local boards have different roles and responsibilities and are autonomous within their respective decision-making areas.
10. Local boards have a broad mandate for local decision-making, including the oversight of community facilities in local areas, providing input to regional plans, policies and decisions and engaging with communities to identify needs and preferences. Much of the work contributes to placemaking by working with communities to create unique places that integrate social, cultural, economic and environmental outcomes. Local board work focuses on achieving community outcomes and creating community cohesion.
11. Local boards are important in ensuring the local voice is heard within decision-making at Auckland Council and Auckland’s diversity is reflected in Auckland Council’s decisions.
12. The role of local boards includes:
 - supporting local community, arts, culture, events, sport and recreation and economic development;
 - providing services through libraries, community and recreation centres, and spaces for community use through venues for hire and community leases;
 - maintaining and upgrading town centres and facilities including parks and buildings;
 - caring for the environment and preserving heritage;
 - providing local leadership and developing relationships with the community, community organisations and special interest groups in the local area.
13. Local boards have a statutory role to engage with their constituents and to advocate community views and preferences to the Governing Body and external agencies.
14. A core function of local boards is to understand, engage with, and communicate preferences of their local communities in relation to council strategies, policies, plans and bylaws¹.
15. Local boards have detailed knowledge of local interests and issues, as well as relationships with a network of local community groups and leaders. Local boards will also continue to manage the relationship with local community groups and leaders after development projects are completed, so they have a vested interest in maintaining local trust and confidence in the work of council.
16. The local board has an increasingly important advocacy role in responding to private and public development, in particular where developments have implications for transportation, parks/open space, the environment and the community. The local board has a strong interest in these developments and responds to them on behalf of the community.
17. The Albert Eden Local Board have been engaging with MHUD regarding the development of the Wairaka Precinct since 2020. This relationship was established through an exchange of letters in 2020, which outlined the approach each party wanted to take. The local board also shared a document which outlined the working relationship, local board role and areas of interest they have in the development of the Wairaka Precinct. These areas specifically covered:

¹ (s16(1) Local Government (Auckland Council) Act 2009.

- the opportunity to provide feedback on a Master Plan document prior to its approval; and
 - the local board's interest in open space, community facilities, environment, transport and connectivity, climate change and sustainability, heritage, local economic development and community.
18. More recently, the local board and MHUD have met quarterly, where updates have been provided/received regarding development of the Precinct and intentions for plan changes. Meetings have also been attended by rōpū, or the local board have meet with individual mana whenua where this request was made to them.
19. The Albert-Eden Local Board have reviewed the proposed Plan Change 94 (**PC94**) Wairaka Precinct notified documents and submissions received, and provides the following comments with associated suggested amendments to the proposed Precinct provisions provided in **Attachment 1**.

Local Board Feedback on Plan Change 94 (Private): Wairaka Precinct

20. The Albert Eden Local Board acknowledges that PC94 and the resource consents approved to date (including Fast Track consents) respond to obligations set out within Te Tiriti o Waitangi. The Treaty redress provides that the development rights have been provided by the Crown as commercial redress, and therefore it is imperative that they contribute to building an economic base for the Rōpū. In addition, there are opportunities for the development to contribute to building the spiritual, ancestral, cultural, customary and historical interests of iwi/hapū.
21. This Albert-Eden Local Board feedback is not intended to halt development or Māori economic outcomes, but it is to ensure that any development and activities that are delivered through PC94 provides the correct balance of intensive development, housing and business activity, with a well-considered and sufficient level and quality of open space, community and social facilities to properly support the needs of the existing and future community, and achieve good economic outcomes for Māori.

Local Board Plans and Other Documents

22. Local board plans are an important part of Auckland Council's statutory planning framework. The Auckland Plan sets the overall strategic direction for the region, while local board plans set the local direction².
23. The local board plan lasts for three years and the purpose is to reflect the priorities and preferences of the communities within the local board area, and they inform the development of the next long-term plan.
24. The Albert-Eden Local Board Plan 2023 contains the following objectives and initiatives relevant to PC94 Wairaka Precinct and the following feedback seeks to ensure that these objectives and initiatives can be realised.

Albert-Eden Local Board Plan 2023: Our People	
Challenges:	
<ul style="list-style-type: none"> • High level of damp, mouldy, poorly heated or unaffordable housing, and 46 per cent of households do not own the house they live in. 	
Objective	Initiatives

² S20 Local Government (Auckland Council) Act 2009.

Foster te ao Māori	Nurture our relationships with the iwi and hapu who have interest in our area. ³
Communities of greatest need are a focus of support	Advocate for: affordable housing, better health, education and social services for the Albert-Eden community

Albert-Eden Local Board Plan 2023: Our Community	
<p>Challenges:</p> <ul style="list-style-type: none"> The amount of council-owned open space and facilities in and around our local board area is limited. With housing intensification, our parks are increasingly becoming extensions of back gardens and provide important spaces for our community to come together. 	
Objective	Initiatives
Our parks and open space meet the needs of our changing and growing population	Identify opportunities for play and activities in our parks, even where we don't have playgrounds, to support a fun and safe environment for all ages.
	Acquire open space where we are able, particularly through large-scale developments, and improve existing parks space through land exchanges, reconfiguration and improving linkages and connections.
	Ensure our network of assets will be resilient to the impacts of climate change or severe weather, including when re-instating any assets lost or damaged in storm events, or can assist with managing impacts such as open spaces being used for streams to flood safely. ⁴
	Protect the quality of existing open space from the negative effects of development e.g. excessive shading or increased number of manhole covers.
	Use parks and paths to connect with nature and improve the environment, e.g. information signs, tree planting or supporting pest control groups. ⁵
	Advocate for Auckland Council open space policies and metrics to reflect the future demand that will be put on our parks in high-density, inner city, urban developments, rather than just distance to a park.

Albert-Eden Local Board Plan 2023: Our Places
<p>Challenges: More infrastructure and services are needed to keep up with the rapid pace of large housing developments, which are bringing more people into the area.</p> <p>Opportunity: Large scale developments and transformational projects mean change can be made at a neighbourhood level, with the chance to get things right for the long-term.</p>

³ Māori outcome - Aligns with Kia Ora Tāmaki Makaurau outcome: Kia ora hononga – Effective Māori participation

⁴ Climate outcome - Aligns to climate challenge: minimising climate impacts on the environment and people

⁵ Climate outcome - Aligns to climate challenge: climate action knowledge and education

Objective	Initiatives
The history, identity and character of our neighbourhoods are celebrated	Advocate for: The Auckland Unitary Plan reflects the importance of built and natural heritage and the contribution that heritage makes to the identity, history and story of Tāmaki Makaurau and its people.
	Work with mana whenua to complete dual naming and storytelling of identified parks ⁶
	<u>Protect and celebrate our historic heritage by being good stewards of the assets we own and supporting others to care for theirs</u>
New neighbourhoods are well planned, built and serviced, with a focus on Carrington, Epsom and Owairaka	Work with Ministry of Housing and Urban Development and the iwi creating the Carrington residential development. ⁷
	Review community services and open space in the Carrington development and the surrounding areas.
	Advocate for: Water-sensitive design to be incorporated into developments, ensuring they are resilient to extreme weather, and reduce environmental impacts and risk of flooding and sediment run-off
	Advocate for: Urban growth and regeneration that supports a compact city and density around transport nodes, with spaces that are healthy, multi-functional and have low climate impact.

25. The currently operative Wairaka Precinct (2016) and the approved Mason Clinic Plan Change provisions (2023) provide for a quantum of open space of 7.1 hectares, based on an expected intensity of development at the time of adoption. The development potential and intensity/density is being significantly increased through the PC94 proposal, however the provision of open space identified decreases.
26. Information provided in the PC94 application information, at Attachment 1.1, states that the existing precinct anticipated development of approximately 2,500 dwellings and 1,000 specialist accommodation units, and based on a set of assumptions about likely occupancy, an anticipated population of 8,200. The development enabled by the proposed precinct provisions has been assessed to be up to between 4,000 to 6,000 dwellings and 11,200 to 16,800 people under the proposed Precinct provisions, when the precinct is fully developed.
27. The proposed open space identified on Precinct Plan 1 is 4.5ha across five separate parcels. The Open Space Assessment Report included with the application states:
- “The provision of public open space for the intended population is appropriate to service the needs of the new community. The range of open space areas is intentionally diverse, i.e. to provide for recreational choice for the differing needs of the community. The proposed open space areas have the potential to provide for formal playgrounds for different age groups, informal play areas, passive and informal active recreation (kick-a-ball), picnicking and the like, as well as amenity planting, and access to an extensive public walkway network”.*
28. The Albert-Eden Local Board does not agree with this assessment.

⁶ Māori outcome - Aligns with Kia Ora Tāmaki Makaurau outcome: Kia ora te reo – Te reo Māori

⁷ Māori outcome - Aligns with Kia Ora Tāmaki Makaurau outcome: Kia ora hononga – Effective Māori participation

29. The Auckland Council Open Space Provision Policy and Open Space Acquisition Policy are adopted Council policy. However, there are significant unique contextual factors for the Wairaka Precinct and PC94 development which mean the application of the policy does not achieve good outcomes at this site. Most significantly:
 - The policy's main focus for new open space is greenfield development and, the policy approach is that access to open space based on distance, not on population.
 - Notably, by comparison, the city centre is excluded from the policy and is primarily guided by the City Centre masterplan.
30. The Local Board understand that the above open space policy framework is currently under review by Auckland Council and the review will include the consideration of shortcomings in its application to brownfield development sites, such as the Wairaka Precinct.
31. Given the above, the Albert-Eden Local board seek that quantum of open space be reassessed through thorough analysis of this proposed plan change. The provision of open space in this instance requires a unique and bespoke approach in order to achieve good community outcomes.
32. The Local Board consider that additional open space options are required to be provided in order to achieve high quality, useable and functional open space at a sufficient scale to provide for the intensity/density of development proposed within the Precinct. The Local Board are concerned that with an intensive development of at least 4,500 dwellings that has no existing, publicly zoned open space, many thousands of residents will be poorly provided for.
33. The Local Board consider it necessary to reassess and increase the amount of open space provided for in the proposed precinct given the unique context and scale of development proposed within the already urbanised environment of the Auckland isthmus. The aim of the Local Board is for the precinct, as part of the Auckland Unitary Plan, to provide for a well-designed, low carbon, well-functioning urban environment.
34. In addition, the Albert-Eden Local Board also have the following adopted plans which are relevant to the provision of open space in the Wairaka Precinct and wider surrounding area:
 - Albert-Eden Open Space Network Plan (October 2018); and
 - Albert-Eden Sport & Active Recreation Facility Plan (April 2021).

Albert-Eden Open Space Network Plan (October 2018) (OSNP)

35. The Albert-Eden Open Space Network Plan (October 2018) (**OSNP**) identifies that there are currently gaps in the provision and quality of open space in the local board area, particularly around the PC94 area; and that the intensification of development in the Albert-Eden area will place additional pressure on the existing networks of open space and parks. Furthermore, the OSNP identifies that the communities of Albert-Eden value their open space and see them as places for respite, exercise, play and community empowerment, to bring all parts of the community together; and that the last several years of sharp population growth, which will be further increased under the provisions associated with PC94 Wairaka Precinct, has not been adequately supported with a central government resource.
36. The plan specifically identifies that the Unitec Wairaka Campus redevelopment, such as envisaged under PC94, as providing the opportunity to acquire and/or use land within the development for significant future open space, subject to a needs analysis. Noting the date of the OSNP, and as outlined above, the local board considers that with the increased intensification now envisaged under PC94 a comprehensive needs analysis regarding the provision/amount,

location and type of open space to support the proposed further increased development and population of the Wairaka Precinct and wider local board area, is even more important.

Albert-Eden Sport & Active Recreation Facility Plan (April 2021) (SARFP)

37. The Albert-Eden Sport & Active Recreation Facility Plan (April 2021) (**SARFP**) identifies that the provision of sport and active recreation facilities play an important role in meeting community needs for informal recreation; and that increased housing density and population has wide ranging consequences for sport and recreation, such as:
- increased demand for sport and active recreation;
 - Increased housing density also means a reduction in private recreation space and consequently more people may use open-space and public facilities to provide for their everyday recreation needs; and
 - Changing urban form can directly impact on facilities due to interrelationship of effects e.g. noise from a sports park impacting on residents or increased residential parking reducing the carparking for a park.
38. A key initiative of the SARFP is to deliver high quality parks that provide a diverse range of opportunities including play, pathways and connections; shade and shelter; sport and active recreation; informal recreation; and connections with nature, in order to meet the needs of growing populations and diverse communities.
39. The SARFP identifies the significant development opportunity provided by redevelopment of the Unitec site (Wairaka Precinct) includes the opportunity to develop new sport and recreation facilities such as sports fields and indoor recreation facilities to meet gaps in current sport and active recreation facilities. This aspect is significantly more important now given that the Unitec Sports Centre, National Squash Center and the high ropes course have subsequently been closed and/or demolished, and the land upon which they were located is now vacant and/or awaiting redevelopment.
40. The SARFP recommends that discussions and advocacy with the Crown and their development partners is a priority. However, the local board has made on-going attempts to address issues of concern regarding the provision of sufficient open space, of a suitable size, type and location to support the proposed increased population in the Wairaka Precinct as a result of PC94 and the Fast Track and/or resource consents that have been granted to date. However, to date the Local Board concerns have not been alleviated.

National Policy Statement on Urban Development 2020 – Updated May 2022

41. The Albert-Eden Local Board considers that the National Policy Statement on Urban Development 2020 – Updated May 2022 (**NPS-UD**) is a key document for consideration of PC94. Objective 1 of the NPS-UD seeks that New Zealand has well-functioning urban environments that enable all people and communities to provide for their social, economic and cultural wellbeing, and for their health and safety now and into the future. This objective is supported by Policy 1 which requires planning decisions to contribute to a well-functioning urban environments, which are urban environments that, as a minimum:
- (a) *have or enable a variety of homes that:*
 - (i) *meet the needs, in terms of type, price, and location, of different households; and*
 - (ii) *enable Māori to express their cultural traditions and norms; and*

- (b) *have or enable a variety of sites that are suitable for different business sectors in terms of location and site size; and*
 - (c) *have good accessibility for all people between housing, jobs, community services, natural spaces, and open spaces, including by way of public or active transport; and*
 - (d) *support, and limit as much as possible adverse impacts on, the competitive operation of land and development markets; and*
 - (e) *support reductions in greenhouse gas emissions; and*
 - (f) *are resilient to the likely current and future effects of climate change.*
42. While Policy 3 requires regional policy statements and district plans in tier 1 urban environments, such as Auckland, enable varying building heights based on a hierarchy of zoning and locational characteristics. In this respect city centre zones are expected to realise as much development capacity as possible, to maximise the benefits of intensification; while locations adjacent to town centre zones or equivalent, are required to provide for building heights and densities of urban form commensurate with the level of commercial activity and community services and provide for building heights of at least six storeys within a walkable catchment of existing and planned rapid transit stops, and the edge of city centre zones.
43. The PC94: Wairaka Precinct area is located in proximity to the Business – Town Centre Zone associated with the Point Chevalier town centre and is likely within a walkable catchment of this area. Therefore, buildings of at least six storeys must be enabled. The majority of the Wairaka Precinct is currently zoned Business - Mixed Use Zone and Special Purpose - Healthcare Facility and Hospital or Tertiary Education Zone. There is an amount of Residential - Terrace Housing and Apartment Building zoning and a small amount of Residential – Mixed Housing Urban zoning. Building heights within the precinct currently are enabled up to between 18m to 27m (or between five to seven storeys) depending on proximity to boundaries with other more sensitive zones, or between 16m to 26m (or between four to seven storeys) depending on site size in the Special Purpose - Healthcare Facility and Hospital zone. Or, between 12m to 24m (or between three to six stories) depending on proximity to boundaries with a residential zone in the Special Purpose - Tertiary Education Zone. Therefore, the requirements of the NPS-UD are mostly already realised under the existing Wairaka Precinct provisions.
44. The height of buildings proposed under PC94, to be provided in Height Areas 1 to 4, is up to 35m and with allowance for three buildings of 43.5m, 54m and 72m in Height Area 1; 35m in Height Area 2; 27m in Height Area 4; and 11m in Height Area 3. For the majority of the proposed Precinct this proposed height exceeds the policy expectations of the NPS-UD and appears to be more in line with the requirements for a City Centre Zone.
45. While the Albert-Eden Local board is generally supportive of intensification and the development of additional housing, in this instance the Albert-Eden Local Board is opposed to the additional height proposed for Height Areas 1, 2 and 4 as these heights are ‘a step too far’ in this location. The proposed heights would be taller than the nearby Point Chevalier and Mt Albert Business - Town Centre zones and given the surrounding planned urban character and other environmental characteristics and constraints.
46. In addition, the increased intensity or density the increased building heights will enable are not sufficiently supported by the amenity provisions (i.e. daylight and private outdoor space) that might be expected for residential development; and will not be sufficiently supported by the currently proposed provision of open space, recreational facilities and social facilities to adequately provide for peoples and the community anticipated within the Precincts social

wellbeing and health. As a result, the Precinct does not provide for a well-functioning urban environment and is not consistent with the NPS-UD.

47. The achievement of a well-functioning urban environment can be achieved within the proposed PC94 Wairaka Precinct with amendments to the Precinct provisions to maintain building setbacks and design requirements to Carrington Road and to adjoining areas to the south of the Precinct, reduce building heights in Height Areas 1, 2 and 4 and with the provision of better amenity for residents and an increase in the amount, range, quality, useability and functionality of open spaces, recreational and social facilities, commensurate with an anticipated increased intensity/density and the locational characteristics and constraints of the Precinct.

Key Feedback Points

48. The Albert-Eden Local Board is generally not opposed to development, intensity or height and the efficiency of land use these represent when supported by sufficient levels of open space, community, recreational and social facilities. **However in this instance, the Albert-Eden Local Board overall opposes PC94, in particular the proposed heights; building form; level of amenity; and the amount, type, quality and location of open space that the proposed plan change provisions and/or the proposed Precinct plans as notified will result in. There will be insufficient provision of open space, community and recreational activities; and the intensive development and heights proposed have not been sufficiently considered with regard to the provision of the necessary quality, amenity, social, health and wellbeing outcomes for future residents, such that well-functioning, quality, compact urban form, high-quality development with low climate impacts will not be achieved.**
49. The Local Board's opposition to PC94 would likely be altered if the matters raised above and below, and the amendments suggested in **Attachment 1**, were satisfactorily addressed and/or included.
50. With regard to zoning and building height, the Local Board considers that, there is a sufficient amount of Business – Mixed Use Zone provided for in the Precinct currently. The current level of zoning enables sufficient levels of 'business' activity to support the Precinct, and avoids potential impacts on the economic viability of the nearby Point Chevalier and Mt Albert Business Town Centres. Any additional re-zoning to Business – Mixed Use Zone as proposed, has the potential to result in adverse effects on the economic viability of the Point Chevalier and Mt Albert Business Town Centres given the proposed zones' focus on 'business' outcomes and more enabling focus of activity status for business activities (i.e. Discretionary Activity for other retail (including food and beverage not provided for)).
51. The Local Board would prefer that the re-zoning of the current Special Purpose zones instead be to Residential – Terrace Housing and Apartment Building Zone to better provide for the intended residential development within the Precinct and a sufficient level of residential amenity to support that residential development (i.e. setbacks of buildings, the provision of amenity, daylight and private open space) and to avoid any potential adverse impacts on the viability of nearby Business – Town Centres. However, if the Panel was not of a mind to revise the proposed zoning and if additional Business – Mixed Use Zoning was retained as proposed, then the Local Board considers that additional provisions should be introduced via the Precinct to ensure better amenity outcomes are provided to future residential development and residents in the Precinct. This includes the introduction of the daylight, private open space and landscape standards of the Residential – Terrace Housing and Apartment Zone to ensure these amenity outcomes are provided up front and not missed or reduced and compromised in overall assessment.

52. Again, the Local Board is supportive of more intensive development when it is supported by a sufficient level of open space and amenity (for example, the provision of sufficient quality, well located, useable and functional, open space). However, in this instance, it is the Local Board's view that the wording of Precinct provisions places too much emphasis on the 'intensiveness' of development and use at the expense of other components/outcomes also necessary in an integrated, comprehensively planned urban environment - or a 'well functioning urban environment' - such as the provision of/for high quality 'amenity', 'open space' and 'design - both 'built form and urban design'. The Local Board strongly seeks amendments are made to better provide for necessary open space, recreational and social facilities and amenity outcomes.
53. A comprehensive masterplan of the more intensive form of development and use proposed has not been prepared to support either PC94 or the Fast Track resource consents that have been granted for the area. As a result, the integration of activities and development in the proposed Precinct is not likely to be achieved, and this will be detrimental to future residents, users and visitors, as well as the environment.
54. The currently proposed Precinct Plans 1, 2 and 3 are insufficient in detail to adequately guide the form, and provide the outcomes necessary, to achieve a comprehensive planned and integrated development of all sites within the Precinct as suggested by Objective 2.
55. A master plan would provide for an integrated view of the future development, including how elements fit together and different spaces will be used. A master plan would also assist with understanding open space and how the community will use it. Open space is an important focus of this feedback given the local board role and responsibility over local public open space, the importance of it to the community, and the intensity of development proposed in the proposed plan change.
56. If a master plan is not forthcoming, then the proposed Precinct Plans and precinct provisions require amendment to better outline and highlight the components required, and the form and location of these, to properly enable a comprehensively planned precinct and to enable the achievement of the integration of development of all sites within the Precinct.
57. The Local Board notes that a number of submissions have been made both in support of, and opposition to, the proposed Precinct name change to the Te Auaunga Precinct.
58. Note that the building consents have historically been processed through the Environmental Protection Authority's Fast Track process but request that these developments are also reviewed by the Auckland Council Urban Design Panel as part of the process.
- 58-59. The Local Board considers that the October 2023 ITA as notified should, be further updated to reflect the traffic impact from the maximum potential intensity and population of the proposed Precinct (i.e. at least 4,618 dwellings and up to 16,800 people).
- 59-60. The local board also considers that the vehicular transport arrangements of the Wairaka Precinct should be maintained i.e. with no additional potential to connect the southern streets outside the Precinct to development within the Precinct, as the more intensive use of the Precinct would increase the vehicular traffic flows on those local streets beyond an existing level. Walking and cycling connections are supported however.
- 60-61. Noting the submissions from the Ministry of Education (Submitter 230), Gladstone School (Submitter 20) and Waterview School (Submitter 226), the Local Board considers the proposed plan change will put significant pressure on the existing school network. The local board considers identification and zoning for other educational facilities (beyond just tertiary educational facilities) in the Precinct is essential to support the anticipated population in the Precinct.

Specific Comments on PC 94 Proposed Precinct Provisions

62. Specific wording amendments are identified in **Attachment 1**.

61-63. The local board is concerned about the protection of other 'historic heritage' buildings in the Precinct not already scheduled by Heritage New Zealand or in the Unitary Plan. It is considered that a full heritage assessment should be undertaken to better identify and protect all important historic heritage buildings and structures within the Precinct. In addition, the local board considers that other important 'historic heritage buildings and structures' (such as the Pumphouse and stone wall) should be identified in the Precinct Plans and objectives, policies, rules and criteria included to ensure that these are protected from the adverse effects of development and maintained to acknowledge the historic significance of the Precinct.

Precinct description

62-64. Amend the precinct description to remove repetition in wording; but also add more detail regarding the provision of open space, recreation and social facilities, and the amenity and quality of development sought.

63-65. The Local Board does not support additional heights proposed for Height Areas 1, 2 and 4 as they will adversely affect and have a negative impact on the Former Oakley Hospital main building - an identified Historic Heritage building and the Significant Ecological Area (in the area where re-zoning from Residential – Terraced Housing and Apartment Building Zone to Business – Mixed Use Zone is proposed). Furthermore, the heights identified throughout the Precinct are greater than the higher order Business - Town Centre Zone over the nearby Point Chevalier and Mt Albert town centres; and enabling taller buildings in this Precinct will detract from the role and identification of the Business-Town Centre Zone. In addition, the necessary level of amenity required for residential buildings and activity, and a range of open spaces, recreational and social facilities, is not provided for within the proposed Precinct to support the proposed increased heights.

64-66. The local board supports additional text referring to a range of increased building heights are applied across the precinct as a range of heights and typologies can provide for efficient land use and good urban design outcomes and living situations. However, the extent and locations of additional height proposed in Height Areas 1, 2 4 within PC94 are 'a step to far' in these locations, noting the surrounding planned urban character and other environmental characteristics and constraints.

65-67. The proposed Precinct description states that the indicative primary road network and walking and cycling connections are identified in the precinct. However, resource consent has already been granted for the roading layout and construction is well underway. This should be accurately reflected in the precinct plans and this text updated accordingly. Additionally walking and cycling connections in the proposed Precinct plan have been lost and these need to be included.

66-68. The proposed Precinct description states that to reduce the potential for new development occurring in an uncoordinated manner the precinct encourages landowners to develop the land in accordance with Precinct Plan 1 and relevant policies. This intent is supported however, the co-ordination and integration of development and the supporting requirements for high intensity/density development and use are not sufficiently provided for in the precinct description, precinct provisions and precinct plans. Unless amended, a co-ordinated, integrated and well-functioning urban environment will not be achieved.

~~67-69.~~ It would be preferred that master planning occur for this Precinct to consider, direct and co-ordinate activities and development to appropriate levels and locations. However, if this is not possible then it is strongly suggested that the precinct description, provisions and plans are further amended to better provide for the open space, recreational and social spaces and activities, as well as high quality building design, high quality urban design and high levels of amenity to support the level of intensification/density sought.

~~68-70.~~ Other, specific wording amendments are identified in **Attachment 1**.

I334.2 Objectives

~~69-71.~~ The Local Board generally support objective 2 that comprehensive planning and integrated development of the site is achieved. However, it is considered that the objective should reference all Precinct plans which outline the form that development should take. Noting also the comments throughout this feedback that Precinct plans should be amended to better provide for open space, recreational and social facilities, high quality building and urban design and high levels of amenity required of a high intensity/density, co-ordinated, integrated, and well-functioning urban area.

~~70-72.~~ Add reference in Objective 3 to 'education' and 'recreation' (linked to the provision of open space and social facilities) as activities that should be provided for in the Precinct.

~~71-73.~~ Support the addition to the objectives (currently Objective 3) that a variety of built form typologies is provided for. However, consider that the 'maximisation of the efficient use of land and the provision of a variety of built form typologies' should be separated from the 'activities' of the Precinct. These would be better referred to in two separate objectives - wording is suggested in **Attachment 1** for these.

~~72-74.~~ Additional objective(s) should be added to require the provision of a range of open spaces (type/ size etc) throughout the Precinct for the open space and recreational needs of residents, users and visitors.

~~73-75.~~ Add reference to Precinct Plans in objectives where features referred to in objectives are identified on a Precinct plan (i.e. add reference to Precinct Plan 1 in Objective 7 as this plan identifies the cycling and pedestrian linkages).

~~74-76.~~ Support Objective 9 that southern road connections to the Special Purpose: Tertiary Education Zone are avoided.

~~75-77.~~ Suggest amendments to Objective 10 to 'require' rather than 'promote' comprehensive planning, add reference to Precinct plans and to include the provision of a range of high quality, well located and connected, suitably sized open spaces and high levels of amenity for residents, users and visitors, as these components, required to achieve comprehensive and integrated planning and well-functioning urban environments are currently missing.

I334.3 Policies

General

~~76-78.~~ Amend Policy 4 to 'require' rather than 'promote' comprehensive planning and integrated development, add reference to Precinct plans and to include the provision of a range of high quality, well located and connected, suitably sized open spaces and high levels of amenity for residents, users and visitors, as these components, required to achieve comprehensive and integrated planning and well-functioning urban environments.

~~77-79.~~ Do not support the addition of intensive and high density to policies (4)(d), (6) and (7) given the lack of integrated development, social services and open space provided for in the proposal. If these elements were improved and increased, a more intensive development could be

supported. Also noting there is no proposed objective which speaks to intensive or high-density residential development, only increased height, which is considered to be the wrong focus.

~~78-80.~~ Add an additional policy to provide for opportunities for primary school education within the Precinct to support the level of residential intensification enabled.

Built form and character

~~79-81.~~ Do not support proposed Policy 14A, as do not support the additional height and the need for 'landmark buildings' in the north-western portion of the precinct (assume this is referring to Height Area 1).

~~80-82.~~ Do not support the reference to 'high-rise' buildings in proposed Policy 14AA as it is not clear what 'high rise' means. In addition, consider this objective should be relevant to all buildings, not just 'high rise' buildings.

~~81-83.~~ Furthermore, policies 14AA and 14B should be amended to reference which height areas are being referred to.

Open Space

~~82-84.~~ For the reasons outlined throughout this feedback, amend Policy 15 to require a greater amount and range of types of open space in the Precinct, with high amenity, useability and functionality, in good locations, with good connections, and of a suitable size, commensurate with the intensification and population enabled within the Precinct. Furthermore, all open space areas (existing and the additional space sought) should also be included and identified on a Precinct Plan.

~~83-85.~~ Delete the term 'public' as it relates to 'public open space'. Use the term 'open space' as open spaces can be both public and publicly owned and/or privately owned but publicly accessible.

Other Policies

~~84-86.~~ Delete the term 'encourage' and replace it with 'Require' in Policy 34A(c) to ensure the necessary amenity and design quality can be achieved.

I334.4 Activity Tables

~~85-87.~~ Do not support the restricted discretionary activity status of Rule (A21D) in Activity Table I334.4.1. This should be amended to be Non-Complying given the increase in height the Precinct provides for. Increases above the proposed identified heights should be subject to broader considerations.

~~86-88.~~ Do not support the heights proposed in Height Area 1, therefore consider that Rule (A21E) in Activity Table I334.4.1 should be deleted.

~~87-89.~~ Do not support Rule (A29) in Activity Table I334.4.1 as new road connections into the Precinct should be avoided and prohibited.

~~88-90.~~ Delete the word 'generally' from Rules (A32), (A35), (A42), (A43), (A55) and (A56) in Activity Tables I334.4.1 to I334.4.4 as it is not specific or clear.

~~89-91.~~ Query whether Subdivision Activity Table Rules (A34A) and (A34B) are necessary. Should this just be a reference to 'subdivision' with a blank cell to refer the reader back to the E38 Subdivision - Urban section, as is standard practice in the Unitary Plan drafting.

~~90-92.~~ Retain the word/title 'Residential' when referencing residential zones, as this is standard/correct drafting practice in the Unitary Plan.

~~91-93.~~ Retain the Discretionary activity status of Rule (A48) for any over height buildings in Sub-Precinct C.

~~92-94.~~ Add a new Rule for retail activities not complying with Standard I334.6.2 Retail thresholds to be a ~~non-complying prohibited~~ activity so that any additional retail activity beyond the thresholds is ~~discouraged capped but can be considered~~.

~~93-95.~~ Add a new Rule for proposals that do not comply with new Integrated Transport Standard requirements to be considered as Non-Complying activities, supported by Transport Planning policies (20) – (24).

~~94-96.~~ Rules (A31) and (A32) should include references to all standards as well, not just to the Precinct Plans.

I334.5 Notification

93. Do not support new notification statement / standard I334.5(1B) as currently proposed. The Local Board consider and seek that any over height buildings are publicly notified, or at least, subject to the normal test for notification. Public participation should be provided for more intensive development than anticipated in the Precinct.

I334.6 Standards

I334.6.4 Height

~~95-97.~~ Do not support the proposed height of buildings in Height Areas 1, 2 and 4. In addition, it is considered that the currently proposed height standard is poorly drafted as it does not link height to a 'building' and appears to reference matters which are not present in the Precinct (i.e. Height Variation control). If retained, alternative wording is provided to link height to a building in a height area identified on Precinct Plan 3.

I334.6.5 Landscaping

~~96-98.~~ Do not support the deletion of Standard I334.6.5 Landscaping given that it is not replaced by any other equivalent standards in the Precinct (except for sub-precincts A and C) and given that the underlying Business - Mixed Use Zone landscaping standard has been excluded from consideration in the proposed Precinct. Given the predominately large-scale residential buildings are contemplated in the Precinct suggest at least the THAB zone landscaping standard be applied to this Precinct.

I334.6.7 Tree protection

~~97-99.~~ 98. The trees identified in the Precinct should be further assessed by an arborist against the notable tree criteria for scheduling in the Unitary Plan. Furthermore, all other trees remaining in the Precinct should be assessed for inclusion / identification and protection in the Precinct; and the list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents.
~~The list of trees identified in Table I334.6.7.1 – Identified Trees and on Precinct Plan 2 (I334.10.2) should be updated to those that remain post approved and implemented subdivision and infrastructure consents.~~

I334.6.10 Building to building setback

~~98-100.~~ The Local Board consider that the 14m separation distance between buildings in Height Area 1 is insufficient to maintain good levels of amenity between buildings or to the wider

surrounding area. It is strongly recommended that the separation distance between all buildings in Height Area 1 be increased.

I334.6.11 Maximum tower dimension – Height Area 1 and Area 2

~~99-101.~~ It is not clear what is meant by the term ‘high-rise’ building in the purpose to Standard I334.6.11 Maximum tower dimension. This standard appears to be in support of building height greater than the 35m height specified in Height Areas 1 and 2 as Table I334.6.11.1 states that no dimension is applied to buildings up to 35m. As 35m is the maximum height enabled in Height Areas 1 and 2 this standard would not apply to any building in the Precinct in Height Areas 1 and 2. This standard only appears applicable to the three buildings with additional height enabled in Height Area 1. Consider that the underlying Business – Mixed Use Zone Maximum Tower Dimension and Tower Separation (H13.6.4) should be retained and be applicable to all buildings in Height Areas 1 and 2.

I334.6.12 Wind

~~100-102.~~ Support the standard to mitigate effects of wind from tall buildings.

I334.6.13 Sub-precinct A Northern Boundary setback

~~101-103.~~ Support standard I334.6.13 Sub-precinct A Northern Boundary setback.

Additional standards required

~~102-104.~~ The Local Board consider that additional standards are required to ensure, provide and maintain a high level of amenity for residential development within the Precinct. It is noted that the Business – Mixed Use Zone Standard H13.6. Outlook space remains applicable to the development of buildings containing dwellings in the Precinct, and this is supported and should be retained. However, it is also considered that given the Precinct’s emphasis on providing for more intensive residential development that other amenity standards should be included. Standard H6.6.14 Daylight and H6.6.15 Outdoor living space should be included in the Precinct to ensure that residential dwellings in the Precinct have sufficient access to daylight and are provided with an amount of private outdoor space, additional, to the provision of any other open space provided in the Precinct. The provision of additional open space throughout the Precinct becomes even more critical if no standard for private open space for each dwelling is provided for.

~~103-105.~~ The Local Board strongly recommend the inclusion of new rules and standards requiring the provision of open space throughout the Precinct commensurate with the intensity of development and population, users and visitors anticipated. The rules and standards should be supported by the identification of the location of the necessary open space on a Precinct Plan. A suggested rule and standards re included in **Attachment 1**.

~~104-106.~~ Add in a new rule and standard relating to the triggers and need for an Integrated Transport Assessment (ITA) to ensure an ITA is provided at the appropriate time and to support the avoidance, remedy and/or mitigation of adverse traffic effects given the intensity of development proposed in the Precinct.

I334.8 Matters for Discretion and I334.9 Assessment Criteria

~~105-107.~~ Matters I334.4.8.1(1A)(d) – (h) which are supposed to be applicable to restricted discretionary retail activities I334.4.1(A6) and (A7) only apply to ‘development’ not to ‘activities’. These matters require amendment to reflect that they apply to ‘activities’ as well; and/or ‘activity specific matters are required to be included.

~~406-108.~~ All matters of discretion and assessment criteria require amendment and updating to give effect to comments made throughout this feedback and in **Attachment 1**.

I334.10 Precinct Plans

~~407-109.~~ Precinct Plans should be amended and updated to give effect to comments made throughout this feedback and in **Attachment 1**.

~~408-110.~~ Do not support the vehicle connection between Laurel, Renton, Rhodes and Mark Roads and the rest of the precinct, shown as a blue line in Precinct Plan 1, as this means Mark Road will be connected into the southern end of the development. Furthermore, there is uplift in the intensity of development and use in the Residential - Mixed Housing Urban and Business - Mixed Use zones in the southern area of the Precinct, and this will increase vehicle traffic through these identified local streets.

~~409-111.~~ Precinct plans should be updated to reflect approved resource consents that have been or are intended to be implemented.

~~410-112.~~ Setbacks of any development and use from Oakley Creek should be greater than 10m to ensure the protection of this area.

~~411-113.~~ Additional walking and cycling paths should be identified on the Precinct Plans.

~~412-114.~~ Additional open space, commensurate with the intensity of development and population enabled in the Precinct, should be identified on the Precinct Plans.

~~413-115.~~ The location of a potential primary school should be indicated on the Precinct Plans.

I334.9 Special Information Requirements

~~414-116.~~ The Integrated Transport /Assessment (ITA) required by special information requirements (1) and (2) should be moved into the Standards section. They are requirements for development consideration and not 'special' or 'additional' information.

~~415-117.~~ Amend wording of special information requirement (1)(d), 2(c), (3) and 4(b) to remove reference to only identifying 'public' open space, delete reference to site control and size of parks. The references should be broader to all open space and the site on which development / subdivision is occurring.

APPENDIX 5

Statutory Matters

STATUTORY MATTERS

1. Private plan change requests can be made to the council under Clause 21 of Schedule 1 of the RMA. The provisions of a private plan change request must comply with the same mandatory requirements as council-initiated plan changes, and the private plan change request must contain an evaluation report in accordance with section 32 and clause 22(1) in Schedule 1 of the RMA¹.

Resource Management Act 1991

2. Sections of the RMA relevant to private plan change decision making are recorded in the following table.

RMA Section	Matters
Part 2	Purpose and intent of the Act
Section 31	Outlines the functions of territorial authorities in giving effect to the RMA
Section 32	Requirements preparing and publishing evaluation reports. This section requires councils to consider the alternatives, costs and benefits of the proposal.
Section 67	Contents of regional plans – sets out the requirements for regional plan provisions, including what the regional plan must give effect to, and what it must not be inconsistent with
Section 72	Sets out that the purpose of district plans is to assist territorial authorities to carry out their functions in order to achieve the purpose of this Act.
Section 73	Sets out Schedule 1 of the RMA as the process to prepare or change a district plan
Section 74	Matters to be considered by a territorial authority when preparing a change to its district plan. This includes its functions under section 31, Part 2 of the RMA, national policy statement, other regulations and other matter.
Section 75	Contents of district plans – sets out the requirements for district plan provisions, including what the district plan must give effect to, and what
Section 76	Provides that a territorial authority may include rules in a district plan for the purpose of (a) carrying out its functions under the RMA; and (b) achieving objectives and policies set out in the district plan.
Schedule 1	Sets out the process for preparation and change of policy statements and plans by local authorities. It also sets out the process for private plan change applications.

3. The mandatory requirements for plan preparation are comprehensively summarised by Environment Court in *Long Bay-Okura Great Park Society Incorporated and Others v North Shore City Council* (Decision A078/2008), 16 July 2018 at [34] and updated in subsequent cases including *Colonial Vineyard v Marlborough District Council* [2014] NZEnvC 55 at [17]. When considering changes to district plans, the RMA sets out a wide range of issues to be addressed. The relevant sections of the RMA are set out above and the statutory tests that must be considered for PC74 are set out 1 below.

¹ Clause 29(1) Schedule 1 of the RMA provides “except as provided in subclauses (1A) to (9), Part 1, with all necessary modifications, shall apply to any plan or change requested under this Part and accepted under clause 25(2)(b)”.

A. General requirements

1. *A district plan (change) should be designed to accord with and assist the territorial authority to carry out its functions so as to achieve, the purpose of the Act.*
2. *When preparing its district plan (change) the territorial authority must give effect to any national policy statement or New Zealand Coastal Policy Statement.*
3. *When preparing its district plan (change) the territorial authority shall:*
 - (a) *have regard to any proposed regional policy statement;*
 - (b) *not be inconsistent with any operative regional policy statement.*
4. *In relation to regional plans:*
 - (a) *the district plan (change) must not be inconsistent with an operative regional plan for any matter specified in section 30(1) [or a water conservation order]; and*
 - (b) *must have regard to any proposed regional plan on any matter of regional significance etc.*
5. *When preparing its district plan (change) the territorial authority must also:*
 - *have regard to any relevant management plans and strategies under other Acts, and to any relevant entry in the Historic Places Register and to various fisheries regulations; and to consistency with plans and proposed plans of adjacent territorial authorities;*
 - *take into account any relevant planning document recognised by an iwi authority; and*
 - *not have regard to trade competition;*
6. *The district plan (change) must be prepared in accordance with any regulation (there are none at present);*
7. *The formal requirement that a district plan (change) must also state its objectives, policies and the rules*

B. Objectives [the section 32 test for objectives]

8. *Each proposed objective in a district plan (change) is to be evaluated by the extent to which it is the most appropriate way to achieve the purpose of the Act.*

C. Policies and methods (including rules) [the section 32 test for policies and rules]

9. *The policies are to implement the objectives, and the rules (if any) are to implement the policies;*
10. *Each proposed policy or method (including each rule) is to be examined, having regard to its efficiency and effectiveness, as to whether it is the most appropriate method for achieving the objectives of the district plan taking into account:*
 - (a) *the benefits and costs of the proposed policies and methods (including rules); and*
 - (b) *the risk of acting or not acting if there is uncertain or insufficient information about the subject matter of the policies, rules, or other methods.*

D. Rules

11. *In making a rule the territorial authority must have regard to the actual or potential effect of activities on the environment.*

E. Other statutes:

12. *Finally territorial authorities may be required to comply with other statutes. This includes, within the Auckland Region, the Local Government (Auckland) Amendment Act 2004.*

APPENDIX 6

Specialist peer review reports

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review Urban Design on behalf of Auckland Council

Alistair Ray

11th September 2024

Introduction

1. My name is Alistair Ray.
2. I have qualifications in both Town Planning and Urban Design. I have a BA Hons and Post Graduate Diploma in Town Planning, and a Masters degree in Urban Design, all from the University of Newcastle upon Tyne, UK.
3. I have over 30 years' experience in urban planning and urban design. I have been the Head of Urban Design at JASMAX since 2008 and have carried out work across New Zealand for a range of clients in both the public and private sector. Prior to this I worked as a Senior Urban Designer for Auckland City Council.
4. I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:
 - Review the original plan change application documents.
 - Visit the site.
 - Identify matters, within my area of expertise, that required further information from the applicant, and assessing the applicant's response.
 - Review the submissions and further submissions.
 - Identify issues relevant to my area of expertise.
 - Give my expert opinion on the issues, with recommendations where appropriate.
 - Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.
5. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

Summary

6. I rely on the reporting planner to explain PPC94 including its location and what the plan change is seeking.
7. Section 6.2 of the applicant's S.32 Planning Report identifies six key elements to the Ta Auaunga Plan Change. However, the plan change is also seeking changes to the Precinct Plan that are not included within the six identified elements – in particular changes to the amount and location of open space. So, I consider this is also an element to be addressed.
8. I will address each of these in turn from an urban design perspective. Below is a summary of my findings on each of these elements. The following sections of this report will discuss each of these in more detail.

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- (a) Changes to the Precinct Plan 1, including, but not limited to, the amount and location of open space – I have some concerns about this proposal which stem from the lack of clarity around the intended built form and design outcomes, which arise due to the current weak relationship between the planning provisions and the masterplan that has to date informed the precinct proposals.
 - (b) Rezoning of land acquired by HUD from Unitec – I support this proposal.
 - (c) Amendments to promote Māori economic development – I do not consider this to be an area within my expertise.
 - (d) Identification of areas within the precinct where additional height can be accommodated
 - a. Carrington Road – increase from 18m to 27m – I support an increase in height along Carrington Road but with amendments to the proposed standards. I recommend an increase to 21m (street-wall) and up to 27m in height for elements set back 6m from the street-wall.
 - b. Across most of the precinct, an increase in height limit from 27m to 35m – I generally support this proposal, subject to resolution of issues around building separation and impact on adjacent open space.
 - c. North-western corner – an increase in height to 35m (as above) but in addition, one building up to 72m, one building up to 54m and one building up to 43.5m – I generally do not support this proposal.
 - d. Southern boundary – an increase in height to 11m, consistent with the new Enabling Act – I support this proposal.
 - (e) In areas where taller buildings are allowed, additional development controls are proposed – as stated above, I do not support the area for tall buildings. If tall buildings are allowed in this area, I consider that the controls need some amendments as I have concerns about the potential bulk/massing of the taller building elements and their potential visual impact.
 - (f) Detailed design criteria are proposed to ensure all buildings, particularly the taller buildings, achieve high-quality design and functionality – I generally support these proposals, subject to comments relating to my wider comments regarding the relationship with the masterplan.
 - (g) Amendments are proposed to the precinct provisions to equitably redistribute retail provision within the precinct – I generally support this proposal, but subject to my wider comments around the relationship with the informing masterplan.
9. From an urban design perspective, I generally support the overall thrust and intent of the proposed plan change to provide further intensification opportunities on this strategically well-located land with excellent transport links, open space provision and access to local amenities and services.
10. However, for an urban project of this size and complexity, I am concerned about the lack of clarity regarding the intended design vision and built form character, the design process and how a successful new urban community will be delivered over time, maintaining a high standard of design outcomes. Whilst a masterplan document has been referenced as part of the applicant's submission as informing the proposed precinct plan, it is unclear how the outcomes described in this document are linked to the planning provisions.
11. I will elaborate on the reasons for this perspective in the body of my report below.

General – the relationship to a guiding masterplan

12. It is noted that the proposal is for a plan change and change to existing precinct provisions and is not for a resource consent. The applicant states that there is no statutory requirement to submit a masterplan or equivalent as part of this plan change. Following Clause 23 requests for further information, the applicant has referenced a masterplan produced in 2019 as informing the proposed precinct plan and the associated planning provisions. I refer to this masterplan as the Grimshaw masterplan.
13. This masterplan is a comprehensive document containing a thorough site analysis, key shared values between all the parties involved and design key moves. It also provides a detailed illustrative development scenario together with illustrative yield and key metrics.
14. Notwithstanding this is a masterplan (and is not a detailed proposal – it is creating a framework to guide subsequent development) it provides a clear picture (in words and illustrations) of the intended design outcomes and character for the site. It depicts a series of mid-rise buildings (generally 6-10 storeys) that are predominantly residential in use, in a heavily landscaped setting with an abundance of space around the buildings depicted as usable amenity space. Roads and car parking are kept to a minimum and handled discretely, not dominating the space. The result is an intensive residential neighbourhood, but one set in a parkland type setting.
15. With any large scale proposal that will take many years to deliver, there is always the tension between flexibility and certainty. The land-owner generally wants to retain as much flexibility as possible to allow for changes in direction, whether unforeseen or otherwise. Whilst those assessing the proposal seek more certainty in knowing what is going to be delivered, in order to make a full and proper assessment.
16. This tension is difficult to resolve. A good masterplan should provide both of the above – sufficient flexibility whilst also painting a picture of the intended outcomes, even if the actual proposal may differ in size, location etc. Crucially, the overall vision and aspirations are set, and subsequent design proposals should be assessed against this picture.
17. The difficulty in this case is that there is no formal way of consenting the masterplan and the proposed precinct plan and its provisions are relatively light in describing the outcome. Whilst they would allow for the illustrative outcome depicted in the masterplan, they could also potentially allow for quite different outcomes that may not be acceptable given the site's location and existing character.
18. I therefore consider that the links between the masterplan and planning provisions need to be stronger, with the provisions describing or prescribing a clearer picture or vision of the intended outcome and giving the ability for proposals to be assessed against this higher-level vision.
19. It is noted that this site is probably the largest brownfield / regeneration site in New Zealand and that the Crown are the applicant. One would expect the Crown to set a high bar or an exemplary approach to delivering design quality. I understand that at present, if PC94 is successful, the next steps in the consenting process will simply be for individual resource consents for individual or small groups of buildings and at this stage I think it will be difficult to assess buildings on whether they are consistent with the vision described in the masterplan, especially as the vision is not clearly described in the proposed precinct plan.
20. The applicant's planning report (p.10) states that:

Each of the Rōpū will continue to progress their own masterplan for their respective parts of the site. Each Rōpū will, at the appropriate time, obtain resource consents and advance their development projects, with some of these granted as above, and further consents underway through the COVID Fast-Track process.
21. There is no requirement for each of the Rōpū to submit a masterplan and no requirement to ensure co-ordination between the masterplans.
22. So for example, as stated earlier, the masterplan describes a built outcome that is generous in open space provision around buildings so the character of the neighbourhood will be one of buildings in a landscaped

setting. The masterplan identifies the site coverage of the illustrative scenario as being just less than 50% of the developable area. This is not 50% of the total site...but 50% site coverage of the developable area once open space and roads have already been removed.

23. This is a relatively low figure but is an important indication of the intended character. But there is nothing in the planning provisions either as standards or matters of assessment that relate to site coverage. If a proposal is submitted that otherwise meets the planning standards but has a much higher building coverage and large areas of surface parking, I am unsure whether the provisions as written will be strong enough to resist such an approach, even though the proposal is counter to the intended outcomes.
24. One would also expect a masterplan to provide an indication of how the various supporting community elements (such as retail, food and beverage, health, leisure, early childhood education, community uses) as well as infrastructure elements will be delivered, by who and at what point in time. This includes elements such as roads and open space, clarifying who will own and maintain such assets. Whilst there is an upper limit on the amount of retail, there is nothing else in the proposed precinct plan that identifies what if any other amenities will be provided. This is important for the success of such a large, intensive community.
25. I also see no formalised site-specific design review process, as has worked well for both Hobsonville Point and Wynyard Quarter, the two largest regeneration projects in New Zealand. In both of these cases, there was a review process independent of the statutory consenting process that was able to review proposals against the bigger picture vision and design outcomes, set out in a guiding masterplan document.
26. The specific changes requested with respect to land use zoning and height are all relatively minor things with respect to urban design. I am generally supportive of such changes, subject to a few modifications.
27. However, from an urban design perspective I am most concerned about how a successful or well-functioning urban environment will be achieved without stronger links and references in the precinct plan to a well-considered guiding masterplan, with vision, design principles and guiding spatial design controls.

Changes to Precinct Plan 1 including the location and amount of open space

28. The plan change proposes changes to Precinct Plan 1 mainly around the allocation of open space.
29. Whilst the accompanying landscape report provides a good summary of the intent and purpose of each of the proposed open spaces, it is unclear when this open space will be provided, by who, and who will own and maintain it.
30. It is also unclear whether the open space shown on Precinct Plan 1 is completely sufficient to serve the intended population or whether there is an expectation on individual developments to provide additional private / communal open space.
31. As stated above, the Grimshaw masterplan describes a built form outcome with buildings set in large landscaped spaces with cars and traffic discretely handled. Whilst it is unclear how much of this space will be available for the public to use, the illustrative example points to an abundance of open space even if most of this space remains in private ownership. However, again as described above, the planning provisions as written do not require that buildings provide this level of open space and the built form outcomes could be quite different to that illustrated.
32. Mr Rob Greenaway will tackle the amount of open space provided in greater detail as this is his area of expertise. But from a higher-level urban design perspective, if the outcomes described and illustrated in the masterplan are delivered, I would be quite comfortable that the levels of open space and outdoor amenity (including the quality of supporting streets and walkways) are sufficient. But if a series of buildings are proposed with no or little additional supporting open space (whether private, communal or available for public use) then I would be concerned that insufficient open space is being provided for such a potentially large community.

Re-zoning of land

33. There are two blocks proposed for re-zoning from Special Purpose: Tertiary Education to Business Mixed Use. In addition, there are several minor zoning corrections.
34. The reason for this proposed re-zoning is that these parcels of land are no longer held or required by Unitec for educational purposes and are not likely to be in the future.
35. It therefore makes sense from a planning and urban design perspective to re-zone this land to allow for intensive residential development to zones commensurate with the location adjacent to other non-educational zones. I see no benefit in insisting that this land remains zoned for educational purposes when it is not required, when there is clearly high demand for further housing development in central Auckland.
36. However, I am slightly confused as to the vision and intent of the precinct. Most of the precinct would be zoned for mixed use and yet there is also a tight restriction on the amount (and location) of retail that can be provided.
37. Whilst I accept that other business or employment uses can be provided within the mixed-use zone, there is little discussion around the intended provision in terms of quantum or location of non-residential uses whether this be business / employment or uses required to support a community of over 10,000 people such as (early-childhood) education, medical and health and community uses.
38. One assumes that this will be left to the market to provide, given that the zoning will allow such uses. However, given the scale of this new community, it seems odd and risky to leave this important element of community making to the market alone. Especially as the next steps in delivery are individual resource consents where it will be impossible to insist that individual developers provide important community resources if none have yet been provided.
39. Notwithstanding these higher-level concerns around design process, I generally support the zoning changes as proposed.

Amendments to promote Māori economic development

40. As stated in my summary in Paragraph 5, this is not an area of my expertise and so I do not provide comment on this particular element.

Identification of areas within the precinct where additional height can be accommodated

41. There are several areas proposed for increased height:
 - The proposed change in zoning from Special Purpose: Tertiary Education to Business Mixed Use zoning (as described above) will have the effect of also increasing the allowed height to 27m in these areas – which will be consistent with most of the remainder of the precinct.
 - Increase in allowed height along Carrington Road from 18m to 27m
 - Increase in height allowed in “Area 2” in the central/western part of the precinct allows buildings up to 35m.
 - Increase in allowed height in “Area 1” in the north-west corner of the precinct to provide for buildings up to 35m with three buildings achieving additional height – one building each to a height of 43.5m, 54m and 72m respectively.
42. These proposed increases in height are accompanied by proposed changes to the development controls / standards and matters of discretion which will be covered separately below.

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43. I will address each of the above requests for additional height as set out above in turn, but first deal with a wider issue raised by the request for additional height.

Increase in yield afforded by this additional height and impact on open space provision.

44. As covered in paragraphs 28-32, I have some concerns over the levels of provision of open space.
45. The existing Wairaka Precinct Plan allows for a significant amount of intensification and provides for a certain level of open space provision. As an existing plan, that cannot be re-examined. The additional height requested in various places across the precinct collectively allows a significantly increased yield over and above the existing Wairaka Precinct Plan. Yet the amount of clearly identified open space provided has not significantly changed.
46. As discussed in paragraphs 28-32, the Grimshaw masterplan provides an illustration of the intended building form and character of the new precinct which is a series of apartment buildings sitting in high-quality landscaped spaces that are either private, communal or public open spaces providing for a range of outdoor amenity. Combined with the identified open spaces on the precinct plan, this would represent an abundance of open space for this new high-density community with a wide variety of types of spaces linked by great walking and cycling opportunities and would reinforce the character of the existing site – buildings in a parkland setting.
47. But in the absence of requirements within the proposed precinct plan to provide high levels of open space per individual building proposal, then I am concerned that the increased yield afforded by the requested changes in building height is not matched by sufficient open space provision. As stated, I will defer to Mr Rob Greenaway for a detailed assessment of open space provision.

i) Proposed change in zoning from Special Purpose: Tertiary Education to Business Mixed Use zoning – allowing buildings up to 27m

48. As discussed earlier in my report, I support the change from educational to mixed use zoning. This makes sense given the lack of need for educational purposes and provides consistency with the remainder of the precinct which allows buildings up to 27m across much of the precinct. In this respect, I support this aspect of the plan change.

ii) Increase in allowed height along Carrington Road from 18m to 27m

49. Currently the height limit along Carrington Road is 18m. The proposal seeks to allow buildings up to 27m along the Carrington Road frontage to be consistent with the height limit across the majority of the precinct.
50. Given the strategic location of the site, important public transport corridor linking the centres of Pt Chevalier and Mt Albert and the proposed width of the corridor, I generally support an increase in building height along Carrington Road, subject to one suggested amendment as described below.
51. The zoning on the eastern side varies. For approximately one third of the length of the Carrington Road frontage within the precinct, the site faces Special Purpose Healthcare and Hospital zone with a height limit of 26m. The proposed 27m is therefore very similar.
52. However, for approximately one third the Carrington Road frontage within the precinct faces a proposed Terrace House and Apartment zone (THAB) (within Plan Change 78) with a proposed height limit of 21m. This will result in a difference in height of 6m between the opposite sides of the street. Gladstone Primary School takes up almost half of this section of Carrington Road frontage, which is unlikely to change in the near future despite the THAB zoning.
53. The approximate remaining third of the Carrington Road frontage faces the Residential Mixed Housing Urban zone with a height limit of just 11m (+1m roof zone). For this length of Carrington Road, the difference in height would therefore be 16m if the new height limit is allowed. This is quite a significant difference and is likely to

look incongruous and unbalance in the street scene. Especially given the fragmented ownership pattern of single-family homes on the east side that means there is likely to be little change for some considerable time. The existing homes are predominantly single storey and so range between 4m and 6m in height thus making the difference even more pronounced.

- 54. I understand that Carrington Road is proposed to be widened from its existing 21m to 26.5m. With building setbacks this means that buildings are likely to be at least 28m apart. I also recognise that regardless of PC94, the character of Carrington Road will change considerably from that of a relatively low-rise suburban character with stand-alone houses on the east (and formerly the park-like ground of Unitec to the west) to one of a much more intensive urban character with multi-level apartment buildings. This is appropriate given the strategic location, the proximity of nearby centres and amenity and the quality of public transport along this corridor. This is reflected in the proposed amendments to the Auckland Unitary Plan in Plan Change 78 as a response to the National Policy Statement on Urban Development (NPSUD).
- 55. In that regard, I agree that an increase in height is appropriate on the Wairaka precinct (west side) of the street. However, given the built form height of the street on the east side, even if fully developed to its allowed height, will be lower than the Wairaka precinct side, I consider that the proposed increase in height needs to be amended.
- 56. A 27m height limit would allow for 8 levels of residential development. In the Auckland context this is quite high for a street that is not in the city centre, metropolitan or town centre.
- 57. For comparison, the new development along Great North Road in Arch Hill is approximately 21m tall (see below image). Note that this is also zoned Mixed Use, but on both sides of the street. Great North Road in this section is 27m wide. I consider the relationship between buildings and street is appropriate in an Auckland context on a major arterial not in a city, metropolitan or town centre. Closer to the city the height limit increases to 27m, but this is very close to the fringe of the city centre and is on both sides of the street in an already commercial area.



- 58. A common approach (Auckland and Christchurch both use this) is to allow additional height over and above a particular street-wall height (typically around 21m or 6 storeys) but with that part of the building stepped-back from the street-wall. The amount of this setback varies but is typically 3m – 6m depending on the additional

height provided. This reduces the visual impact of buildings and shading directly on to the adjacent street but still allows additional height on the building.

59. Given the particular circumstances of this street – a large strategic growth opportunity on the west side, but existing suburban housing on the east side with some ability to transform over time, I consider that this approach would represent the best compromise from an urban design perspective.
60. I would therefore recommend that the building height along the Carrington Road frontage could be increased from the existing 18m to 21m in height, but then the building could step up to 27m in height if these additional floors are setback by 6m. This would provide for a 45-degree angle between the top of the street-wall part of the building and the very top of the building, thus reducing the visual impact and shading on the street of these upper floors. (see sketch below showing the 3 different approaches).
61. Indeed, the AUP mixed-use zone has this amongst its development controls and so it would not be inappropriate to use this in this location. The control is that buildings must be setback 6m above 18m when facing residential zones, and 6m setback above 27m for all other zones. In this case I would recommend a middle ground of 6m setback above 21m.
62. I also have comments around the ground floor of these buildings facing Carrington Road. The zone is Business Mixed Use, and the broad intent of the mixed-use zone is to provide for residential activity as well as predominantly smaller scale commercial activity that does not cumulatively affect the function, role and amenity of centres. The zone is typically located around centres and along corridors served by public transport.
63. Notwithstanding there is a cap on the amount of retail provided across the precinct, the frontage facing Carrington Road is the ideal location for other non-residential uses such as small commercial uses, medical / health or other supporting services.
64. Whilst on-street parking will not be provided along Carrington Road and vehicles stopping may be discouraged, the frontage facing the street is still considered most suitable for such non-residential uses and probably more appropriate than having ground floor residential uses next to a busy street, particularly as much of the Wairaka / Te Auaunga precinct is intended to be very low or even no car ownership.
65. It would represent an excellent urban design outcome if the ground floors allowed for non-residential uses by having larger floor to floor heights, even if residential uses are used initially before demand increases for other non-residential uses. This is a policy not uncommon in mixed use areas.
66. H13.3 Policy 6 of the Auckland Unitary Plan – Business Mixed Use zone points to this approach:
- 6. Encourage buildings at the ground floor to be adaptable to a range of uses to allow activities to change over time.
67. I therefore would recommend an addition to the planning controls that ensures that ground floors facing Carrington Road have a floor-to-floor ceiling height of at least 4m. This would allow the ground floor to be used for a range of uses over time, even if used for residential in the short term. In particular, it could allow for the ground floor to be used as small-scale businesses.

iii) Increase in height allowed in “Area 2” in the central/western part of the precinct allows buildings up to 35m.

68. I generally support this proposal, given the strategic location of the site and the fact that the area proposed for this increased height will have no direct impact on existing residents given the distance from nearby houses.
69. However, I have several observations to make from an urban design perspective that I consider require amendments in some form to the proposed planning provisions.

Space between buildings – outlook

70. In the AUP, only 6m outlook is required from primary living spaces. This means that buildings containing facing habitable rooms can technically be just 12m apart. Research shows that people can make out and recognise faces up to 18m away. At 12m, you can easily make out faces which can then feel like an invasion of privacy. In my experience this becomes more important as the building becomes both higher and longer. At lower levels, one can still look up and see plenty of sky. Or for short buildings you may be able to see around the building. With taller buildings, this becomes much harder.
71. Admittedly the existing provisions allow for buildings up to 27m in height and rely on the outlook controls in the AUP, which means buildings can be just 12m apart. But with the proposed buildings increasing to 35m in height, I am concerned that 12m is quite inadequate to offer suitable levels of both privacy and outlook for higher density living. I consider this to be still insufficient and would recommend a minimum separation distance of 18m between buildings if they contain significant numbers of facing habitable rooms.
72. It is noted that the Grimshaw masterplan has a series of lines of buildings oriented in a north-south direction facing each other, but the sections show that these are typically 18m apart. As discussed in detail earlier in my report, the Grimshaw masterplan presents an illustrative built form that I consider represents a good urban design outcome. But the difficulty is that the proposed planning provisions provide no certainty that that particular outcome will be sought and could allow other scenarios that would be unacceptable in my view in terms of outlook and privacy. I consider that alternative controls need to be in place, either by linking the outcomes described in the masterplan or by stating that facing buildings at 35m in height need to be at least 18m apart.

Impact on adjacent open space identified in Precinct plan 1 – shading / building dominance.

73. Again, the built form illustrated in the Grimshaw masterplan provides buildings set in generous space with no buildings immediately along the boundary with the neighbourhood park.
74. However, the planning provisions, without being tied to the masterplan, technically allow for a much denser built form. In particular, if allowed as proposed, it would allow for 35m tall buildings (up to 10 residential storeys) surrounding the proposed (public) open space including the proposed neighbourhood park. Buildings rising up to 35m immediately to the north and east of this neighbourhood park would cause undue shading and building dominance to the point that I would consider the neighbourhood park severely compromised.
75. In the proposed precinct plan provisions, I334.8.1 Matters of Discretion 1A (b) (i) criterion (k) states
- building form is designed to allow a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use;
76. Whilst this may allow an assessment of a building proposal, it only covers daylight. It does not address sunlight nor building dominance. Also, the impact on the open space comes from the cumulative impact of buildings and the overall configuration of the built form. If this assessment criterion is applied on individual proposals, it is difficult to assess the cumulative impact if other buildings have yet to be proposed.

iv) Increase in allowed height in “Area 1” in the north-west corner of the precinct to provide for buildings up to 35m with three buildings achieving additional height – one building each to a height of 43.5m, 54m and 72m respectively.

77. I consider that from an urban design perspective, taller building elements may be acceptable on this site. It is a large site and strategically well-located and is well suited to high-levels of (residential) intensification. It also benefits from a degree of separation from immediate adjacent residents thus reducing any issues regarding overlooking, over-shadowing or over-bearing (dominant) buildings.

78. However, I have two major issues with the taller building elements as proposed.

Rationale for a tall building cluster

79. Firstly, I feel that the rationale behind the proposed location of these taller elements in the north-west corner of the site has not been well made. Typically, international best practice urban design would suggest tall building clusters are placed at strategic locations – as way-finding elements in the bigger urban environment context, to help signify something important is happening – perhaps a node or centre, or important public transport interchange. This location is none of these things. It appears that the only reason is that it is next to a motorway interchange and therefore the impact on adjacent residents is relatively low.
80. Notwithstanding the impact on residents, I consider that the wider impact on the legibility of the urban environment is important in making successful cities. A cluster of taller buildings in a location which makes no strategic urban planning sense could undermine the legibility of the urban environment.
81. The site does not form part of the Pt Chev town centre, it is too removed to feel part of that centre. Even if it were closer, the town centres across Auckland are typically zoned for buildings between 4-8 storeys. The proposed height at 72m would allow a building approximately 22 storeys in height.
82. Again, this relates back to the relationship to the guiding masterplan. One of the weaker areas of the Grimshaw masterplan is the lack of clarification on how a successful community will be created. This is potentially a new population of 10,000 people – the size of a medium size NZ town – but there is no indication of where the social heart of this community is, and what other non-residential supporting amenities and facilities will be provided.
83. Whilst I know there is nervousness about undermining Pt Chev and Mt Albert, there is still justification to have a focal point, a central gathering point where some retail, food and beverage, health and community facilities are provided.
84. From a best practice perspective, it would make more sense if there were to be any taller building heights (at the height proposed) they would be located at the focal point or social heart of the community is. And naturally this would make sense being more in the centre of the site.
85. This would also help reduce the visual impact of the taller buildings on the protected former Carrington Hospital buildings an issue Mr Stephen Brown and Ms Carolyn O’Neil will cover from a landscape visual impact and heritage perspective respectively.
86. There are several examples of taller residential towers across Auckland, including on the Ponsonby Road and Remuera Road ridge. The towers in both these locations significantly pre-date urban design best practice around strategic planning, but even so these buildings are approximately only 50m tall and have very slender building footprints.
87. New taller elements are springing up in Metropolitan centres (e.g Manukau, New Lynn) enabled by generous height controls but this is a purposeful approach to give primacy to these centres.
88. In terms of recent precedents outside of Metropolitan centres, two new towers have been consented (or enabled by a plan change) in Hobsonville Pt and on the site of the former Harbourside Church on Esmonde Road. I was directly involved in both.
89. The Hobsonville Pt tower was for consent for a single tower, not part of a cluster. It was justified on the basis it was part of the Launch Bay masterplan providing a marker point immediately adjacent to the ferry terminal and retail / food and beverage precinct. The tower was 54m tall with a maximum horizontal tower dimension of 35m, helping to result in a relatively slender single tower. It underwent significant design review to achieve an appropriate design outcome.
90. The Esmonde Road tower (enabled by plan change 85) is also a single tower. It’s rationale was that it signified a gateway to Takapuna and formed the heart of a new, high-density urban village containing a range of supporting facilities to support a small new community. Although the planning provisions also include the

aforementioned maximum horizontal tower dimension from the central city (55m maximum dimension) other provisions included a height control spatial plan with complex site coverage rules for each of the spatial areas, it means that the maximum tower that can actually be achieved can only achieve a maximum tower dimension of approximately 30m. With a height limit of 52m (max. 16 storeys), again this results in a relatively slender tower. Again this was subject to considerable design review.

Additional development controls

91. My second concern with the additional height requested in the north-west corner relates to the proposed development controls.
92. If a cluster of taller building elements is to be allowed in the north-west corner (Area 1), then I have concerns over the appropriateness of the planning standards to deliver a good urban design outcome particularly in relation to the bulk/massing that would be enabled by the planning standards.
93. Notwithstanding PC94 is effectively seeking approval for an envelope (as opposed to specific building proposals), I consider the envelopes as shown in the supporting Assessment of Landscape and Visual Effects to be overly bulky and visually dominant, particular when viewed from Pt Chev and illustrated in viewpoints 5,6,7,8,& 9. Mr Stephen Brown will cover this issue in greater detail.



VS 6A – Assessment of Landscape and Visual Effects

94. It is noted that the height (and width) of the taller buildings shown in the supporting Grimshaw masterplan is not clear, but they are oval-shaped, which reduces their visual impact considerably. The planning provisions do not however require oval-shaped, and whilst the assessment criteria can allow an assessment of the design and appearance of the taller buildings, the height and horizontal dimension will be less questionable if it has met the defined standards.
95. The most successful taller residential buildings are where there is a clear “tower” form – that is where the building is significantly taller than it is wide. Such buildings tend to have less visual impact (regardless of their height). Buildings where the width (or depth) is similar to the height generally appear squat and more visually imposing, less comfortable in the environment.
96. The proposed planning standards have drawn from the horizontal dimension controls from the mixed-use zone in the AUP. However, I’m not aware of any mixed-use zone in Auckland having height allowed over 32.5m. So, there is not a precedent where these tower dimension controls have been tested. The controls come directly from the central city (or the metropolitan centre zone), where they are used to control the design of towers up to 180m tall. The city centre has historically been the place for taller buildings, many of which are commercial towers that typically require larger footprints to make them commercially viable for office use. The tower dimension control is therefore suitable for such taller and larger buildings, in amongst other taller buildings, and the same applies although to a lesser extent in the Metropolitan centre zone.

97. But in the case of the Wairaka precinct, there are no other taller buildings and there is not a need for a commercial tower sized footprint.
98. As stated in paragraph 90 above, PC85 enabling a taller building at Esmonde Road used the 55m horizontal tower dimension. But it was accompanied by a height control spatial plan that effectively limits the tallest element to just 30m dimension. For comparison, the Sentinel in Takapuna is 120m tall and has a maximum horizontal dimension of approximately 38m.
99. I would therefore recommend that if taller buildings (that are significantly taller than the rest of the precinct) are to be allowed then the standards need to be amended to reduce the horizontal dimension, and /or assessment criteria need to be added that can address the overall bulk and massing of the buildings (and as a group, not just individually).

Detailed design criteria

100. I have reviewed the proposed assessment criteria and I am broadly supportive of the provisions as proposed.
101. However, as discussed above I would recommend the addition of further criteria to cover the following issues, noting that some of these issues may need to be assessed cumulatively over multiple proposals, not just on individual consents:
- Building / site coverage – achieving high-levels of landscaped space around buildings.
 - Treatment of spaces between buildings, ensuring discrete handling of parking, servicing and vehicle movement. Discrete design of parking areas (this should apply throughout, not just from open space identified on Precinct Plan 1 as proposed in the provisions).
 - The provision of private or communal open space.
 - Provision of appropriate measures to achieve privacy for ground floor residential uses.
 - Providing additional height on ground floors facing Carrington Road and potentially other key streets to allow for flexibility for providing non-residential uses.
 - Impact on the open spaces identified in Precinct Plan 1 – not just from daylight, but also from sunlight and building dominance.

Amendments to the distribution of retail provision

102. Amendments are proposed to the precinct provisions to equitably redistribute retail provision within the precinct.
103. I generally support this proposal with respect to the distribution of the retail area given changes in ownership, the lower demand likely by Unitec for retail and the removal of the bus hub.
104. However, I repeat my comments regarding the relationship between the proposed precinct plan and the guiding or informing Grimshaw masterplan. The vision and supporting illustrative development scenario within the masterplan point to a consistent height building form. This suggests that any non-residential uses are carefully incorporated as genuine mixed use-buildings. This would represent a good design outcome. The already consented Maungarongo proposal for apartments over a small supermarket also demonstrates a good design outcome.
105. However, I'm also aware of the trend that retailers prefer single storey retail or commercial units. There are no minimum heights or the requirement to do mixed use buildings in the retail area, so I am slightly concerned that this may allow single level retail buildings if the residential apartment market demand drops and the retail market chooses to take this approach. Again, I would suggest changes that avoid single storey retail components.
106. Also on a related note, to create a successful community at this scale, other supporting uses will need to be provided. Otherwise, there will be little to create community cohesion and provide the essential facilities

needed. I am unsure if the retail cap covers food and beverage use, or other supporting uses such as medical, health, financial and professional services.

107. Notwithstanding the total cap which is intended to protect the nearby centres of Pt Chevalier and Mt Albert, a new population of over 10,000 people will require a wide range of supporting services and the mixed-use zoning allowing (and encouraging) active ground floor uses is perfect for this. But the retail cap (if it applies to these other uses) could be quite restrictive in achieving a genuine and successful mixed-use community.
108. As per my paragraph 82, there is no indication even in the Grimshaw masterplan where the social heart of this community is, and what additional non-residential elements will be provided to support the community. This appears to be left to the market / *Rōpū* to provide such facilities if they so desire, but no requirement on any party to provide such facilities. I consider this to be a weakness in the proposed precinct plan, but I am unsure how this could be resolved.

Response to Submissions

109. I have reviewed the submissions on PC94. There are a significant number of comments made on matters related to urban design, with multiple submitters raising similar issues. There are too many comments to make specific responses to each of them in turn.
110. There are significant numbers of comments on the issue of the lack of a masterplan, and the clarity that such a masterplan would provide over topics on height, provision of community services, provision of open space, protection of trees. This is consistent with the comments extensively throughout this report on the relationship between the proposed precinct plan and the guiding Grimshaw masterplan.
111. There are also significant numbers of comments around the provision of open space, and the general lack of open space and the function of these spaces. Again, I largely sympathise with these comments and have covered this issue in detail.
112. There are many comments around seeking lower building heights, greater setbacks and building separation due to effects on privacy, dominance and shading. Specifically, there are several submissions seeking a gradation of building heights with lower building heights along Carrington Road and taller building heights in the topographically lower parts of the Precinct, so that buildings better integrate with the environment and minimise the adverse effects. Or seeking to reduce or retain the existing height limits along Carrington Road and increase the width of the area that is limited by height. I have covered these issues in detail and described where I consider height to be appropriate and suggested changes.
113. Several submissions relate to the landscape grounds around Building 48 and seek these to remain as part of the Unitec campus. I sympathise with these comments and agree that the landscape grounds contribute to the character of Building 48. However, this is not an area of my expertise and defer to Ms Carolyn O'Neil in this regard.
114. A submission requests that Precinct Plan 1 includes a small-scale community and retail centre located in the central part of the precinct. I have addressed this issue in part in several places in my report and agree that it would benefit the proposed community to have such facilities provided and identified on the plan.

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review Built Heritage on behalf of Auckland Council

Carolyn O'Neil

Introduction

1. My name is Carolyn O'Neil. I am a heritage consultant and director of The Heritage Studio Limited, an Auckland-based built heritage consultancy established in 2012. I hold a first class honours degree in Architectural and Building Conservation from the University of South Wales, and have over 20 years' experience in the field of built heritage. Following several years working as a local government Conservation Officer in the United Kingdom, I have spent the past 15 years working in New Zealand – initially as a specialist heritage officer (architecture) at Auckland (City) Council and subsequently as a heritage consultant.
2. During that time, I have acquired a sound working knowledge of the Auckland Unitary Plan (AUP), particularly the historic heritage criteria and Historic Heritage Overlay provisions. I have also gained considerable experience preparing historic heritage evaluations and providing specialist built heritage advice on proposals for resource consents and private plan changes that relate to historic heritage matters. Relevant examples include:
 - A private plan change for increased building height within the context of several significant historic heritage places, including the Auckland War Memorial Museum;
 - A resource consent for the subdivision of land within the Kingseat Precinct, which incorporates specific provisions to support the protection of heritage resources at the former hospital site;
 - Response to a plan change submission, which sought additional height at the Viaduct Harbour Precinct, specifically in relation to the site of a historic heritage place; and
 - A resource consent for an 11-storey building with the Karangahape Road Historic Heritage Area.
3. I am a full member of the Institute of Historic Building Conservation and the International Council on Monuments and Sites New Zealand.
4. I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:
 - Review the original plan change application documents;
 - Visit the site;
 - Identify matters, within my area of expertise, that required further information from the applicant, and assessing the applicant's response;
 - Review the submissions and further submissions;
 - Identify issues relevant to my area of expertise;
 - Give my expert opinion on the issues, with recommendations where appropriate;
 - Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.

5. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

Summary

6. I rely on the reporting planner to explain PPC94 including its location and what the plan change is seeking.

7. I have identified the following issues relevant to my area of expertise:

- (i) The effects of increased height on the historic heritage values of the Oakley Main Hospital Building.
- (ii) The protection/management of other historic buildings within the precinct's historic landscape.

8. The recommendations I make in respect of these issues are:

- (i) That the precinct plan adopts a stronger set of targeted provisions to appropriately manage and mitigate effects on historic heritage values, that consideration is given to framing the matters of discretion and assessment criteria to specifically manage the relationship between taller development and the adjacent scheduled Oakley Hospital Main Building, and that the Precinct Description recognises the historic heritage values of the Oakley Hospital Main Building and ensure there is a clear linkage through to the precinct plan provisions. Recommendations are set out in paragraphs 32 and 52 of this Review.

- (ii) That the precinct plan provides for a greater level of management and/or protection of other historic buildings within the precinct through the identification of the following four buildings as **'identified historic buildings'**:

- No. 1 Auxiliary Building (Building 48)
- Pumphouse (Building 33)
- Medical Superintendent's Residence/Penman House (Building 55)
- Farm Building/Stables (Building 28)

In my opinion, these buildings should be managed in much the same way as 'identified trees' in the precinct plan, with the use of an identification table and location plan alongside rules associated with the retention of the buildings. Recommended changes to several provisions to include 'identified historic buildings' are set out in paragraphs 32, 50 and 51.

- (iii) That the built heritage terms used in the precinct plan are clear, consistent, and definable. To provide clarity around the wording of the scheduled building, I suggest that the name **"Oakley Hospital Main Building"** is used consistently throughout the plan rather than the variously used "scheduled building", "heritage and character buildings", "heritage

building”, “scheduled part of the heritage building”, etc. Recommendations include those set out in paragraphs 50 and 51 of this Review.

Heritage context

9. The Wairaka Precinct (**precinct**) covers an area of land that once formed part of Oakley Hospital¹, one of New Zealand’s oldest purpose-built psychiatric hospitals. The complex was established on 200 acres of farmland, which developed to comprise a series of buildings that supported the hospital’s functioning, growth, and evolution during the late nineteenth and early twentieth centuries. Further incremental development occurred in the late twentieth and early twenty-first centuries when the site was used as the main campus for Unitec².
10. Evidence of the hospital’s historic landscape continues to exist within the precinct. This includes a collection of historic buildings and features associated with the hospital’s early development that are now interspersed among modern structures or in areas currently under construction. Chief among these is the Oakley Hospital Main Building (Building 01).
11. Built in stages between 1865 and 1905, the Oakley Hospital Main Building is an imposing two-to-three-storey polychromatic brick structure that has stood as a distinctive and recognisable landmark in the local landscape for nearly 160 years. The building is included in Schedule 14.1 Schedule of Historic Heritage in the AUP as a Category A historic heritage place of outstanding significance well beyond its immediate environs. Its identified historic heritage values are historic, social, physical attributes, aesthetic, and context heritage values.³ The Historic Heritage Overlay Extent of Place (**EOP**) for Oakley Hospital Main Building encompasses the building and surrounding land, extending to the Carrington Road and Great North Road off ramp boundaries to the east and north respectively.⁴ The place is also listed by Heritage New Zealand Pouhere Taonga (**HNZPT**) as a Category 1 heritage place of special or outstanding historical significance.⁵
12. Another historic building within the precinct is the unscheduled Pumphouse (Building 33), which was built in 1904 as part of Mount Albert Road Board’s water supply station. It is understood that the protection of the Pumphouse via restrictive covenant was a condition of consent for the land use application for new infrastructure and roading works granted by Auckland Council in 2022.⁶
13. Several other unscheduled historic buildings associated with the former hospital are identified in the PC94 documents, are raised in submissions, and/or form the basis of discussions in this Review. For context, a site location map, photographs, and a brief record are included in **Attachment 1**. Since the lodgement of PC94, some of these buildings have been demolished following resource consent applications. These include the No. 3 Auxiliary Building (Building 076) that was built in 1915 as accommodation for male patients, and the Nurses Home (Building 08 and 09) built in 1927.

¹ Known variously as Carrington Hospital, Auckland Mental Health Hospital, Avondale Hospital, Whau Lunatic Asylum.

² Founded as Carrington Technical Institute in 1976.

³ AUP, Schedule 14.1 Schedule of Historic Heritage, ID 01618.

⁴ Refer to Attachment 1, which shows the Historic Heritage Overlay EOP for Oakley Hospital Main Building.

⁵ New Zealand Heritage List/Rārangi Kōrero, List No. 96.

⁶ Resource Consents BUN60386270 and LUC60386272, also known as the ‘Carrington Backbone Works’.

Positive features of the plan change

14. In respect of built heritage, I support the following features of the plan change:
 - (i) The retention of precinct plan provisions that provide for the long-term future of the scheduled Oakley Hospital Main Building through adaptive reuse.
 - (ii) The Open Space identification on the proposed Precinct Plan 1 within the EOP of the Oakley Hospital Main Building, which encompasses the hospital's northern formal garden.

Built heritage issues

15. I have reviewed the submissions made on PC94, focussing on those that raise built heritage matters. I note that while most of these submissions oppose the plan change, some seek amendments if the plan change is not declined. Those who support or take a neutral position on the plan change do so with requested amendments.
16. Relevant submission points have been grouped under two key built heritage issues that form the basis of my analysis. As noted above, these are the effects of increased height on the historic heritage values of the Oakley Main Hospital Building and the protection/management of other historic buildings within the precinct's historic landscape.

Issue 1: Effects of increased height on the historic heritage values of the Oakley Hospital Main Building

17. PC94 seeks to introduce a revised precinct plan and provisions, with one of the principal changes being to facilitate greater height. At present, the maximum height enabled in the precinct is 27m. Through PC94, a range of building heights are proposed, the most significant being in 'Height Area 1' at the northwestern corner of the site. Here, the plan change proposes an enabled height of 35m except that three buildings may exceed this height: one building up to 43.5m, one up to 54m, and one up to 72m. Height Area 1 is located adjacent to the Oakley Hospital Main Building and borders the western boundary of its EOP.
18. To the south, the Oakley Hospital Main Building EOP is bordered by 'Height Area 2', which proposes a maximum building height of 35m. The EOP itself is in 'Height Area 4', which seeks a maximum building height of 27m.
19. Relevant to this issue is the proposed changes to precinct plan provisions pertaining to increased height adjacent to the scheduled Oakley Hospital Main Building. Proposed amendments to Policy I334.3(14) removed reference to the scheduled historic heritage building to focus the policy on the relationship of development with the significant ecological area. In response to a clause 23 request, Policy I334.3(14AA), which relates to the scheduled building, has been introduced. Other provisions relevant to this section of the Review include proposed standard I334.6.11, matters of discretion I334.8.1, and assessment criteria I334.8.2.

Submissions

20. A number of submitters raise concerns about the proposed increased heights across the precinct for reasons relating to built heritage. The main area of concern is the potential for significant adverse effects on the historic heritage values of the scheduled Oakley Hospital Main Building, particularly those generated by the cluster of three tall buildings proposed in Height

Area 1. Contrary to the conclusions reached in the applicant’s technical assessments, all consider that the proposed increased height in proximity to the scheduled building is problematic.

21. In its submission, HNZPT considers that the proposed increased heights in Height Area 1 and the urban design focus on creating a “landmark” for the precinct does not provide adequate focus on the existing historic heritage values of the Oakley Hospital Main Building. It contends that the proposed changes will result in visual dominance adverse effects on the historic heritage place and the intended prominence of the three tall buildings will detract from “the primacy of the building”. It also considers that the increased heights in height areas 1, 2 and 4 do not adequately consider the potential impact of the visual effects to the setting of the Oakley Hospital Main Building. Consequently, HNZPT seeks various amendments to the proposed plan change provisions to ensure that the most appropriate level of assessment is applied to manage the height interface between the scheduled building, its EOP, and height areas 1, 2 and 4, and mitigate effects.⁷
22. Civic Trust Auckland (CTA) is similarly concerned by the proposed increased height, particularly that of the three “massive towers” in proximity to the Oakley Hospital Main Building and opposes the increased heights to the south and east of the building. It submits that the development enabled through the plan change would result in adverse environmental effects on the scheduled building and compromise its historically prominent position. CTA seeks a transition to greater heights for a more sensitive interface with the heritage building.⁸
23. Springleigh Residents Association considers that the visual effects of the “tower buildings” are severely understated, questions the findings of the applicant’s built heritage technical assessments, and submits that the cumulative effects on heritage are not assessed. It seeks that proposed Policy 14AA is deleted.⁹

Analysis

24. I recognise the worthiness of the redevelopment of the precinct with high-density housing, and the ongoing intention to secure the long-term future of the scheduled Oakley Hospital Main Building through adaptive reuse. I am also mindful that in considering impacts on the historic heritage values of this scheduled building, the 27m height enabled within large parts of the precinct currently provides for a marked change to the precinct’s environment and how the Oakley Hospital Main Building would be experienced in that environment.
25. I also acknowledge the matters raised by submitters in relation to the proposed building heights, particularly in Height Area 1, which are substantially greater than those currently enabled under the AUP. The proposed precinct plan provisions would enable a cluster of three buildings in this area to reach heights of 43.5m, 54m, and 72m, the tallest of which is up to *three times* higher than the adjacent Oakley Hospital Main Building. Coupled with the potential for bulky built forms and the lack of focus in the proposed provisions to manage effects on historic heritage, I agree that there is potential for adverse impacts on the historic heritage values of the Oakley Hospital Main Building. While the increased building heights proposed in height areas 2 and 4 are less substantial and, in principle, less of a concern from a built heritage

⁷ Heritage New Zealand Pouhere Taonga (submission 162.4, 162.6, 162.7, 162.9, 162.10, 162.11, and 162.12).

⁸ Civic Trust Auckland (submission 223.4).

⁹ Springleigh Residents Association (submission 57.17 and 57.30).

perspective, when taken with Height Area 1, I accept that there is also potential for cumulative adverse effects to occur.

26. In my opinion, the heritage values of the Oakley Hospital Main Building that are at most risk of compromise are *aesthetic* and *context*. Among other things, these values speak to the distinctive visual and landmark qualities of the scheduled building and its contribution to, or association with, its wider historical context and setting.¹⁰ Cognisant of the applicant's focus on creating a new "landmark" through the introduction of tall buildings in Height Area 1, combined with limited provisions to manage their relationship with the Oakley Hospital Main Building and overall heritage effects, I consider there is potential to undermine these heritage values by distracting from the scheduled building's streetscape presence and by diminishing its landmark qualities.
27. Given that the location of Height Area 1 is directly adjacent to the scheduled building but beyond its EOP, the matter of setting is also an important consideration. The AUP defines the setting of a historic heritage place as follows:
- The setting of a historic heritage place includes elements of the surrounding context beyond the identified extent of place within which a historic heritage place is experienced. The setting of a historic heritage place includes the sea, sky, land, structures, features, backdrop, skyline and views to and from the place. It can also include landscapes, townscapes, streetscapes and relationships with other historic heritage places which contribute to the value of the place.*¹¹
28. Oakley Hospital Main Building is best experienced from the north, where the physical and visual qualities that contribute to its heritage values can be most appreciated. From the public realm, the area around the Great North Road/Point Chevalier Road/Carrington Road intersection offers a key vantage point. Here, the scheduled building currently has an open backdrop and is experienced as a relatively conspicuous (though partially screened) structure at this gateway site. As demonstrated in visual simulations VS6, VS7 and VS8 provided in the applicant's Landscape and Visual Effects Graphic Supplement¹², the height and massing of development, particularly in Height Area 1, enabled through PC94 would result in a marked change to the setting of the scheduled building, even when compared to the heights currently enabled in the AUP. This change would be even greater when experienced within the EOP of the Oakley Hospital Main Building.
29. The potential effects of the proposed provisions, particularly in relation to increased heights, on the historic heritage values and setting of the Oakley Hospital Main Building have been explored in the applicant's built heritage technical assessment¹³. In reviewing this report, I have taken on board comments made around how the proposed location, topography, and arrangement of the three tall buildings in Height Area 1 are considered to provide a spatial layering that allows the scheduled building to remain appreciable as a prominent feature in the wider townscape and mitigates dominance. I also acknowledge the suggestion that the articulation of the open space in the foreground of the scheduled building could be enhanced to support the development as a permeable threshold to the town centre. The report concludes

¹⁰ AUP, Policies B5.2.2.(1) (a) to (h).

¹¹ AUP, D17.1 Background.

¹² Boffa Miskell, Te Auaunga Precinct Plan Change: Landscape and Visual Effects Graphic Supplement, July 2023, Revision 2, Version 3.

¹³ Archifact, Assessment of Effects on Historic Heritage, July 2023.

that “Overall, the proposed change in height in Height Area 1 adjacent to the west of, but beyond the EOP associated with, the former Oakley Hospital is unlikely to have a significant adverse effect on its historic heritage values.”

30. In my opinion, greater height *per se* may not necessarily be a problem from a built heritage perspective. I accept that the large footprint, strong horizontal alignment, and monumental frontage of the Oakley Hospital Main Building contribute to an architectural quality and strength of presence that may maintain its prominence in the foreground of taller development, particularly if greater permeability could be achieved at the front and side of its EOP. However, given the outstanding significance of the Oakley Hospital Main Building, I remain concerned that the plan provisions continue to place insufficient emphasis on the scheduled building and lack adequate direction to manage historic heritage values.
31. On the matter of provisions, I acknowledge the inclusion of proposed Policy I334.3(14AA). However, when compared to Policy I334.3(14), I find it unduly limiting from a built heritage perspective. While Policy 14 addresses buildings, structures, infrastructure, and additions to existing buildings, Policy 14AA focusses only on built form. I therefore consider that a stronger set of more targeted provisions are needed to appropriately manage and mitigate effects on historic heritage values, and that consideration is given to framing the matters of discretion and assessment criteria to specifically manage the relationship between the taller development and the adjacent scheduled building.
32. In my opinion, some options that could be considered to address these issues are set out below (recommended amendments in blue). Some of these link to suggestions made in Issue 2 of this Review.

(i) **Policies I334.3(14) and (14AA)**

Retain the reference to the scheduled building in Policy 14 with focus on heritage values and remove Policy 14AA OR reword Policy 14AA to align with proposed Policy 14 but with a focus solely on built heritage:

(14) Require proposals for new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to [Oakley Hospital Main Building and identified historic buildings](#) ~~the scheduled historic heritage buildings, and/or~~ and the significant ecological area of ~~Oakley Creek~~ Te Auaunga to be sympathetic and provide appropriate native landscaping and contemporary and high-quality design, which enhances the precinct’s built form, heritage values and natural landscape.

OR

(14AA) Require proposals for new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to Oakley Hospital Main Building and identified historic buildings to provide appropriate native landscaping and contemporary high-quality design, which enhances the precinct’s built form, heritage values and natural landscape.

(ii) **Standard I334.6.11 Maximum tower dimension – Height Area 1 and Area 2**

Include a bullet point under *Purpose* to ensure that high-rise buildings in these areas:

- [provide a positive relationship with the Oakley Hospital Main Building.](#)

(iii) **Matters of discretion I334.8.1(1A)(b)(i)**

Under (b) *Building form and character*, include (i) whether building design and layout achieves:

- [a positive relationship with the Oakley Hospital Main Building and identified historic buildings.](#)

(iv) **Matters of discretion I334.8.1(1B)(b)**

Under (b) *Building design and location*, enable due consideration to be given to the relationship between the design and location of new buildings in Height Area 1 and the Oakley Hospital Main Building through the inclusion of:

[\(iii\) Buildings adjacent to the Oakley Hospital Main Building:](#)

- [The degree to which the proposed buildings are located and designed to have regard to the built form and significant historic heritage elements of the place](#)
- [The degree to which the proposed buildings use materials and/or design detail that respect rather than replicate any patterns or elements existing in the place.](#)

(v) **Assessment Criteria I334.8.2(1B)**

(a) Refer to Policies I334.3(13), (14), (14A), (14AA – *pending suggestion above*) and (14B).

(b) [Buildings adjacent to the Oakley Hospital Main Building:](#)

- (i) [Whether the proposed buildings are located and designed to have regard to the built form and significant historic heritage elements of the place including ensuring that the form and design of buildings minimises the effects of dominance;](#)
- (ii) [Whether the proposed buildings use materials and/or design detail that respect rather than replicate any patterns or elements existing in the place, including the potential for new and contemporary interpretations in form and detail to be used.](#)

(vi) **Precinct plan 3 I334.10.3**

Require that the Oakley Hospital Main Building historic heritage overlay EOP is shown on the plan to help articulate how the height areas shown on precinct plan 3 relate to the Oakley Hospital Main Building and its EOP.

Issue 2: Protection/management of other historic buildings in the precinct's broader historic landscape

32. PC94 proposes changes to the small number of precinct plan provisions that relate to built heritage. These include amendments to the wording of an existing objective and policy, and the inclusion of a new policy. Relevant to the matters raised in this section of the Review, these provisions are set out below. Amendments requested by the applicant are shown by an underline (addition) and a strikethrough (deletion).

- (i) Objective I334.2(6) – Identified heritage values are retained through the adaptation of the scheduled buildings and retention of identified trees, together with the management of

the historic heritage, and Māori sites of significance on ~~Oakley Creek~~ Te Auaunga land, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.

- (ii) Policy I334.3(11) – Encourage the retention and adaption of the heritage and character buildings, and elements identified within the precinct.
 - (iii) Policy I334.3(30A) – Encourage the adaptive re-use of the existing buildings with historic value for retail and other activities.
33. As previously noted, the Wairaka Precinct is a historic landscape that comprises, among other attributes, a collection of surviving buildings that have an important association with the development of the former hospital site during the late nineteenth and early twentieth centuries. With the exception of the scheduled Oakley Hospital Main Building, the precinct plan does not explicitly identify any of these historic buildings but does, through the wording of its provisions (above), refer more broadly to “heritage and character buildings” and “existing buildings with historic value”.

Submissions

34. The precinct’s historic landscape and/or surviving historic buildings are the subject of several submissions on PC94. While there is general support for the provisions that encourage the retention and adaptation of the scheduled Oakley Hospital Main Building, many of the submissions consider more could be done to improve built heritage outcomes across the precinct through the identification, retention, and/or protection of other historic buildings and the broader historic landscape.
35. CTA, for example, considers that insufficient account has been taken of the contribution of heritage to the potential success of the residential development that would be enabled through PC94, and contends that the existence of only one scheduled building in the precinct does not mean that other heritage items cannot be incorporated into the plan. It seeks that Building 06 (former No. 2 Auxiliary Building) and Building 28 (former Farm Building/Stables and Mitchell Stout building¹⁴) are considered for protection, and infers that the collection of heritage buildings within the precinct may meet the threshold as a Historic Heritage Area.¹⁵
36. This opinion is shared by other submitters who similarly request that other heritage buildings are retained and adaptively reused. Christopher Casey, like CTA, uses Building 06 and Building 28 as examples worthy of protection, while Dennis Katsanos identifies Building 55 (Penman House) as an iconic landmark that should be preserved.¹⁶ Open Space for Future Aucklanders Incorporated (**the Society**) also seeks that “prominent character buildings” on the site be adaptively reused, with particular reference made to Building 55 and Building 54.¹⁷
37. To meet the relief sought in their submissions, several submitters request changes to the wording of precinct plan provisions (listed above). The Society, for example, looks to strengthen

¹⁴ The Mitchell Stout building is understood to have been a courtyard structure added to the historic Farm building/Stables (Building 28) in c.2000s. The courtyard structure is now demolished.

¹⁵ Civic Trust Auckland (submission 223.5).

¹⁶ Christopher Casey (submission 115.1) and Dennis Katsanos (submission 51.2).

¹⁷ Open Space for Future Aucklanders Incorporated (submission 25.19).

the wording of Policy I334.3(11) by requesting the replacement of the opening word “Encourage” with “Require”.¹⁸ It also seeks an amendment to Objective I334.2(6) to mitigate the effects enabled by the plan change and provide for the potential for additional buildings to be protected, a request shared by Geoffrey John Beresford. Both submitters seek the inclusion of “and identified character buildings” to the objective.¹⁹

38. The focus of HNZPT’s submission is on the importance of the historic heritage, cultural and archaeological values of the whole precinct, which includes the pre and post 1900 buildings and structures associated with the former hospital complex, and the need to recognise historic heritage as a matter of national importance per Section 6(f) of the Resource Management Act. HZNPT seeks that the values of the historic landscape are recognised and provided for through the proposed plan provisions and should inform the future incremental development of the precinct and supports proposed Policy I334.3(30A).²⁰ It also requests that a statement is made within the Precinct Description to include references to the historic heritage values of the site to ensure there is clear linkage through into the relevant objective, policies and standards.²¹

Analysis

39. I acknowledge the requests made by submitters to improve built heritage outcomes across the precinct by identifying, retaining, and protecting other historic buildings that form part of its historic landscape. I also support the need for greater clarification in relation to this issue. At present, it remains unclear how built heritage is being comprehensively considered, integrated, and managed across the precinct. I consider this issue to be especially important given the piecemeal nature of the fast-track consent applications occurring alongside the proposed plan change, which have already resulted in the demolition of historic buildings in the precinct despite calls for them to be retained.
40. I note the applicant’s position that no other buildings, structures, or features are proposed to be protected as part of the plan change.²² However, the proposed precinct plan Policy I334.3(30A) encourages the adaptive reuse of “existing buildings with historic value”. What remains unclear, however, is which buildings this policy refers to. The use of interchangeable and indefinable terms to describe built heritage, such as “character buildings” and “existing buildings with historic value”, and a lack of means to identify them in the plan, does cause confusion. Moreover, the applicant’s proposed amendments to Objective I334.2(6) and Policy I334.3(11), seek to singularise the word ‘buildings’, creates uncertainty around the policy intent.
41. In the absence of an up-to-date masterplan, I refer to the 2019 document ‘A Reference Masterplan & Strategic Framework’ (**Report**), which recognises the value of integrating other buildings into the development of the precinct. The Report records the site’s significant landscape and other fragments of its history as unique, and acknowledges that character-filled places are created through the combination of old and new. Key to the issue raised in this section of my Review, the Report recommends investigating the retention and repurposing of existing buildings, which informs one of its ‘key moves’. It is also specific in its identification of buildings and possible uses that could be explored:

¹⁸ Ibid. (submission 25.39).

¹⁹ Ibid. (submission 25.28) and Geoffrey John Beresford (124.16).

²⁰ Heritage New Zealand Pouhere Taonga (submission 162.1, 162.2 and 162.3).

²¹ Ibid. (submission 162.1).

²² Response to Clause 23 Request H8.

*“Possibilities for those buildings which have value and adaptability for community purposes include the Pump House [Building 33] as a ‘café in the park’ and the former Stables [Building 28] and associated Courtyard building [now demolished] as a community centre or project office/information centre”.*²³

42. Of further note, the Report’s site analysis of existing built fabric and heritage²⁴ also identifies the following buildings:
- (i) Building 55 (Penman House) as a “heritage structure”;
 - (ii) Building 06 (No. 2 Auxiliary Building), Building 28 (Farm building/Stables), Building 54, and Building 76 (No. 3 Auxiliary Building) for consideration for adaptive reuse; and
 - (iii) Building 48 (No. 1 Auxiliary Building) for potential reuse.
43. While this Report may set the framework for positively retaining other historic buildings as part of the broader development of the precinct, this has not been carried through into the proposed precinct plan. Moreover, some of the buildings identified in the report (e.g., Building 76 and the courtyard structure (also referred to as the Mitchell Stout building) attached to Building 28) have already been demolished as part of the site’s redevelopment.
44. Almost all of the buildings identified in the Report and in the submissions are surviving hospital buildings that form part of the broader historic landscape of the former Oakley Hospital complex. Beyond the Oakley Hospital Main Building, none of these buildings are currently scheduled in the AUP, but do, in my view, have an important association with the historical development of the former hospital site and positively contribute to its sense of place. Dispersed across the precinct, they demonstrate the expansive nature of the former hospital site and have the potential to be positively integrated into the redevelopment of the site in a proactive, compatible and sustainable way.
45. In my opinion, at least some of these historic buildings meet the threshold for scheduling as historic heritage places in the AUP. Based on a preliminary analysis of the information currently available on these buildings and guided by the AUP’s historic heritage criteria²⁵ and associated methodology²⁶, I consider them to be:
- (i) No. 1 Auxiliary Building (former) (Building 48)
 - (ii) Pumphouse (Building 33)
 - (iii) Medical Superintendent’s Residence / Penman House (Building 55)
 - (iv) Farm Building/Stables (Building 28)
46. The preliminary analysis has been prepared as statements of significance and are included as supporting information in **Attachment 2**.
47. I therefore support the clearer identification and protection of these four historic buildings in the precinct through the plan. In my opinion, this could be achieved by managing these

²³ Grimshaw, A Reference Masterplan & Strategic Framework, Ngā Mana Whenua Tāmaki Makaurau & Crown, 4 February 2019, 42 and 110.

²⁴ Ibid., 55.

²⁵ AUP, Policies B5.2.2.(1) (a) to (h).

²⁶ Auckland Council, Methodology and guidance for evaluating Auckland’s historic heritage, August 2020, Version 2, <https://www.aucklandcouncil.govt.nz/arts-culture-heritage/heritage/protecting-our-heritage/Documents/methodology-guidance-evaluating-aucklands-historic-heritage.pdf> (accessed 6 September 2024).

buildings as ‘**identified historic buildings**’ through the precinct plan, in much the same way as ‘identified trees’. This would require an identification table and location plan alongside rules associated with the retention of the buildings.

48. In the absence of scheduling, this approach would, in my view, provide a level of certainty and protection sought by some submitters while contributing to a more positive and considered built heritage outcome overall.
49. On the matter of terminology, I strongly encourage that the built heritage terms used in the precinct plan are clear, consistent, and definable. To provide clarity around the wording of the scheduled building, I suggest that the name “**Oakley Hospital Main Building**” is used consistently throughout the plan rather than the variously used “scheduled building”, “heritage and character buildings”, “heritage building”, “scheduled part of the heritage building”, etc. In my view, the use of “character buildings”, in particular, should be avoided as this term is associated with the Special Character Areas Overlay in the AUP, which has no relationship with the Wairaka precinct.
50. With this in mind, the following changes are required (recommended amendments in blue):
 - (i) I334.1 Precinct Description (final bullet point, page 6) – The ~~Historic Heritage overlay of the former~~ Oakley Hospital ~~main~~ **Main Building** and historic heritage overlay extent of place, identified historic buildings, and identified trees on site.
 - (ii) Objective I334.2(6) – Identified heritage values are retained through the adaptation of the ~~scheduled buildings~~ Oakley Hospital Main Building, identified historic buildings and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on ~~Oakley Creek~~ Te Auaunga land, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.
 - (iii) Policy I334.3(4)(i) – Identification and protection of significant landscape features, the adaptation of the ~~scheduled historic buildings~~ Oakley Hospital Main Building, identified historic buildings, identified trees and integrated open space network.
 - (iv) Policy I334.3(12) – Provide for the adaptation of the ~~scheduled part of the heritage building~~ Oakley Hospital Main Building and identified historic buildings for economically viable activities which ensure ongoing sustainability for ~~these~~ these buildings and ~~its~~ their integration into the ~~Wairaka~~ Te Auaunga Precinct.
 - (v) Policy I334.3(21) – Enable parking areas to service the ~~scheduled heritage building~~ Oakley Hospital Main Building.
 - (vi) Standard I334.6.2(2) – The total gross floor area of retail (including food and beverage) in the ~~Historic Heritage Place~~ Oakley Hospital Main Building must not exceed 1,000 m² subject to Standard I334.6.2(1)(a) above, provided that any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct.

- (vii) Standard I334.6.9(1) – No parking is required for activities located within the ~~scheduled heritage building~~ Oakley Hospital Main Building other than for the provision of loading requirements.
 - (viii) Matters of discretion I334.8.1(5)(d)(ix) – parking – the heritage values of the Oakley Hospital ~~main building, the efficiency of operation of the bus hub;~~
 - (ix) Assessment criteria I334.8.2(4)(c)(i) (second bullet point) – integration with cultural landmarks, ~~scheduled buildings~~ Oakley Hospital Main Building, identified historic buildings, ~~scheduled-identified~~ trees and historic heritage in and adjacent to the precinct;
51. On the matter of whether Policy 30A should be retained, given its similarity to the wording in Policy 11, I do question whether its inclusion is warranted. To ensure that aspects of Policy 30A that are not accounted for elsewhere in the policies are captured, however, consideration could be given to rewording Policy 11 as follows:
- (i) Encourage the retention and ~~adaption~~ adaptive re-use (e.g., retail and other activities) of the ~~heritage and character buildings~~ Oakley Hospital Main Building, identified historic buildings and elements identified within the precinct.
52. Finally, I support the inclusion of a paragraph in I334.1. Precinct Description that ensures a clear linkage through to the precinct plan provisions as sought by HNZPT.²⁷ I also suggest that the Precinct Description recognises the historic use of the precinct and speaks to the significant historic heritage values of the Oakley Hospital Main Building and the broader historic landscape of the precinct. To set the scene, I recommend consideration is given to including the following paragraph (as paragraph 2 in the description):
- The Precinct covers an area of land that once formed part of the Oakley Hospital, one of New Zealand’s oldest purpose-built psychiatric hospitals. The complex was established on 200 acres of farmland, which developed to comprise a series of historic buildings that supported the hospital’s functioning, growth, and evolution during the late nineteenth and early twentieth centuries. Chief among these is the Oakley Hospital Main Building, a scheduled historic heritage place of outstanding significance that has long stood as a distinctive and recognisable landmark in the local landscape.
53. I have reviewed the Applicant’s revised provisions provided on 20 September 2024 and note that there are no changes proposed to the provisions relating to built heritage.

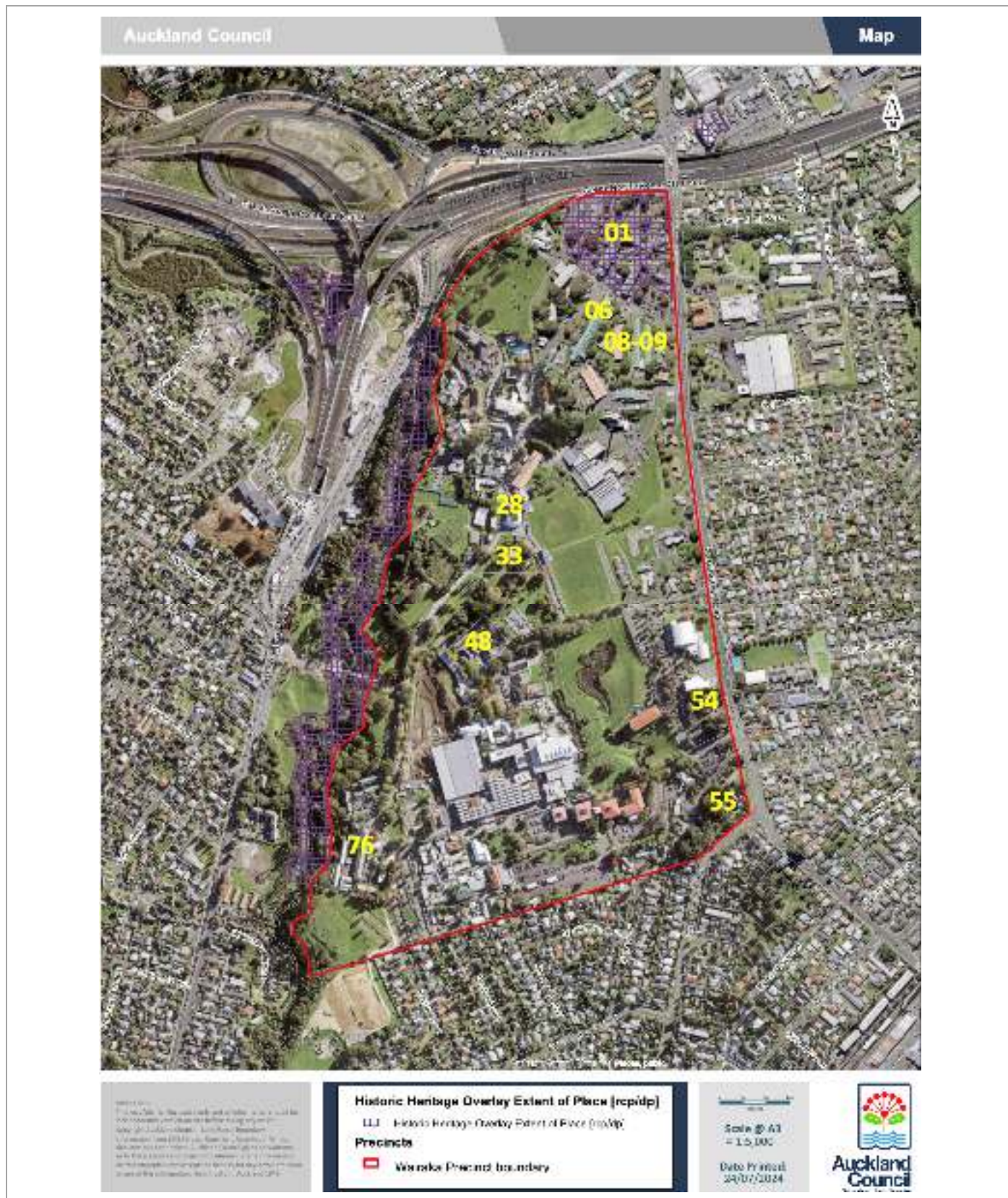
Carolyn O’Neil

3 October 2024

²⁷ Heritage New Zealand Pouhere Taonga (submission 162.1).

ATTACHMENT 1: Wairaka Precinct – Heritage context

The following identifies the location and provides a brief description of several historic buildings in the Wairaka Precinct that form the basis of discussions in this Review. These buildings made an important contribution to the historical development of the former Oakley Hospital and exist(ed) as important vestiges of this historic landscape. For consistency across documents, the Unitec building numbers have been used. The aerial image below was taken from Auckland Council’s GeoMaps, dated 2017. Photographs were taken by the author on 27 June 2024, unless recorded otherwise.



Building 01: Oakley Hospital Main Building – Scheduled



Built in stages between 1865 and 1905 as the main hospital building, the imposing two-to-three-storey polychromatic brick structure has stood as a distinctive and recognisable landmark in the local landscape for nearly 160 years.

The building is scheduled in the AUP as a Category A historic heritage place of outstanding significance well beyond its immediate environs and recognised for its historic, social, physical attributes, aesthetic, and context heritage values.²⁸ The Historic Heritage Overlay Extent of Place for Oakley Hospital Main Building encompasses the building and surrounding land, extending to the Carrington Road and Great North Road off ramp boundaries to the east and north respectively. The place is also listed by Heritage New Zealand Pouhere Taonga as a Category 1 heritage place of special or outstanding historical significance.²⁹



Building 06: No. 2 Auxiliary Building – Unscheduled

Built in 1914 as further accommodation for female patients, the two-storey brick building was known for a time as 'Park House'.

Image: Google Street View, 2017



Building 08 and 09: Nurses Home – Demolished

Built in 1927 as the hospital's nurses' home, the buildings were demolished in c.2023-4 to make way for residential development.

Image: Auckland Council, 2012

²⁸ Schedule 14.1 Schedule of Historic Heritage, ID 01618.

²⁹ New Zealand Heritage List/Rārangi Kōrero, List No. 96.



Building 28: Farm Building / Stables – Unscheduled

Built prior to 1900 as the hospital’s milking shed/dairy, the building is also known as the Stables. The two-storey rendered structure was extended in the early 2000s. The extension was a courtyard structure (also known as the Mitchell Stout building) and used as Unitec’s Landscape and Plant Sciences block. The courtyard extension was demolished in 2023-4.



Building 33: Pumphouse – Covenanted

Built in 1904 as part of Mount Albert Road Board’s water supply station, the brick structure utilised water from the hospital springs. It is understood that the protection of the unscheduled Pumphouse via restrictive covenant was a condition of consent for the land use application for new infrastructure and roading works granted by Auckland Council in 2022.³⁰

Image: Auckland Council, 2012



Building 48: No. 1 Auxiliary Building – Unscheduled

Built in 1896 as further accommodation for hospital patients, the substantial and largely intact two-storey rendered brick building was later known as ‘Oakleigh Hall’, and most recently as Unitec’s School of Architecture.

³⁰ Resource Consents BUN60386270 and LUC60386272, also known as the ‘Carrington Backbone Works’.



Building 76: No. 3 Auxiliary Building – Demolished

Built in 1915 as additional accommodation for male patients, the two-storey polychromatic brick building was demolished in 2024 to make way for residential development.

Image: Google Street View, 2019



Building 54 – Unscheduled

Possibly built as the new residence for the medical superintendent in c.1930 when the earlier residence (Building 55) was converted into an additional hospital unit.



Building 55: Medical Superintendent's Residence / Penman House – Unscheduled

Built in 1909 as a house for the hospital's medical superintendent, the building occupies a conspicuous location on the corner of Carrington and Woodward roads. In 1930, it was converted into an additional unit for female patients known as 'The Lodge'/'Grey Lodge', and later used as a hostel by the Baptist City Mission for former patients named 'Penman House'.

ATTACHMENT 2: Supporting information – Historic heritage values of ‘identified historic buildings’

The following provides statements of significance that, in my opinion, support the identification of four historic buildings in my Review as ‘identified historic buildings’ in the precinct plan. The statements have been guided by Auckland Council’s Methodology and Guidance for Evaluating Auckland’s Historic Heritage³¹. They rely on information available at the time of writing. Research was not exhaustive and additional research may yield new information about the places.

For information, **Bold** text within the statements denotes the criteria that meets considerable value and thereby meets the threshold for an identified heritage value. Where criteria are not mentioned in the statements, it is because the values are considered less than moderate at this time.

Former No. 1 Auxiliary Building (Building 48)

The former No. 1 Auxiliary Building was established as part of Oakley Hospital, one of New Zealand’s earliest psychiatric hospitals. Built in 1896 to provide further accommodation for patients, the place has **considerable historical value** for reflecting changing patterns and attitudes in the country’s care of the mentally ill and for its association with an early period of growth and expansion at Oakley Hospital. As an early extant building on the expansive hospital site, the place has moderate knowledge value for its potential to play an important role in enhancing public understanding and appreciation of important aspects of the country’s medical history and institutionalised care, possibly through the use of on-site interpretation.

The former No. 1 Auxiliary Building was designed under the direction of Engineer-in-Chief, William H. Hales, and constructed in brick using the co-operative labour system under the supervision of resident engineer, Charles R. Vickerman.³² It has **considerable physical attributes value** as a good representative example of late-Victorian institutional architecture by the Public Works Department that retains a remarkably high level of physical integrity in its form, fabric and detailed design.³³ Its two-storey central block and single-storey wings create a strong axial and symmetrical arrangement that is enhanced by decorative elements such as the turned verandah posts and fretwork, central cupola, and finials. The place has **considerable aesthetic value** for its strong visual appeal and presence that derives from the aesthetic qualities of its largely intact exterior, particularly when viewed from the northwest.

As one of several inter-related buildings, structures and features associated with the former Oakley Hospital complex, the former No. 1 Auxiliary Building has **considerable context value** for the important contribution it makes to a historic landscape that, despite change, has become increasingly uncommon within the region and nation. The lawn and mature trees within the immediate surrounds of the building are of note as vestiges of the site’s early farmland and park-like setting and contribute to its sense of place in an otherwise changed environment.

In my opinion, the former No. 1 Auxiliary Building has overall **considerable historic heritage significance** and meets the threshold for scheduling as a Category B place in the AUP.

Pumphouse (Building 33)

Built in 1904 as part of Mount Albert Road Board’s water supply station and utilising water from Oakley Hospital springs, the Pumphouse has **considerable historical value** for its close association with the exponential expansion of Mount Albert and Oakley Hospital during the early twentieth century and for reflecting new developments in

³¹ Auckland Council, Methodology and guidance for evaluating Auckland’s historic heritage, August 2020, Version 2 <https://www.aucklandcouncil.govt.nz/arts-culture-heritage/heritage/protecting-our-heritage/Documents/methodology-guidance-evaluating-aucklands-historic-heritage.pdf>

³² Page 8 Advertisements Column 8, Auckland Star, Volume XXVI, Issue 268, 9 November 1895, Papers Past; Our Illustrations., New Zealand Graphic, Volume XXI, Issue VI, 6 August 1898, Papers Past; The Auxiliary Asylum., Auckland Star, Volume XXVI, Issue 124, 25 May 1895, Papers Past; Auckland Auxiliary Asylum Contract, Drawings/Specification 17551, ID: R25279509, 1895, Archives New Zealand.

³³ Auckland Libraries Heritage Collections NZG-18980806-0165-01, <https://kura.aucklandlibraries.govt.nz/digital/collection/photos/id/115536/rec/1> (accessed 26 September 2024); Auckland Auxiliary Asylum Contract, Drawings/Specification 17551, ID: R25279509, 1895, Archives New Zealand, https://ndhadeliver.natlib.govt.nz/delivery/DeliveryManagerServlet?dps_pid=IE37643676 (accessed 26 September 2024).

public health through the promotion of improved sanitation, the safeguarding of water supplies, and the protection of food at that time.³⁴ The place also has moderate knowledge value for its potential to provide information and enhance understanding about early developments in water infrastructure within the region.

Designed by civil engineer, Henry H. Metcalfe, the single-storey brick structure has **considerable physical attributes value** as a good representative example of an early twentieth century pumphouse, of which few survive in the Auckland isthmus. Despite the loss of its chimney and some modifications, the place retains the key characteristics of its type, evidenced in its utilitarian form, composition, design and fabric.

As one of several inter-related buildings, structures and features associated with the former Oakley Hospital complex, the Pumphouse has **considerable context value** for the important contribution it makes to a historic landscape that, despite change, has become increasingly uncommon within the region and nation.

In my opinion, the Pumphouse has overall **considerable historic heritage significance** and meets the threshold for scheduling as a Category B place in the AUP.

Former Medical Superintendent's Residence / Penman House (Building 55)

Built in 1909 as the residence for Oakley Hospital's Medical Superintendent, Dr R. M. Beattie, Penman House was converted into an additional neuropathic unit in 1930 that provided accommodation for around 20 female patients, and later utilised as a hostel by the Baptist City Mission.³⁵ The place has **considerable historical value** for its association with the growth and expansion of Oakley Hospital and for reflecting the development of mental health and welfare during the early decades of the twentieth century. It also has value for its notable association with New Zealand poet, journalist and novelist, Robin Hyde (1906-1939) who wrote her novel, 'The Godwits Fly' and several poems while a voluntary patient at the house (then known as 'The Lodge'/'Grey Lodge') during the 1930s.³⁶ The treatment that Hyde received there reputedly had a profound influence on her development as a writer.³⁷

Penman House has at least moderate social value as a marker that the local community identifies with and likely holds in high esteem, and moderate knowledge value for its potential to play a role in enhancing public understanding of New Zealand's medical history, particularly around mental health welfare and changing medical beliefs about treatment and cure.

Designed by the Public Works Department and constructed mainly by hospital patients and members of staff, Penman House has **considerable physical attributes value** as a good representative and largely intact example of a substantial two-storey transitional villa. With the exception of the conversion of its return verandahs into sleeping porches in the 1930s and the recent loss of one of its four chimneys, the building appears to have experienced little change.³⁸ The alterations that have occurred are not considered to compromise its overall physical integrity and legibility.

Occupying a conspicuous location on the corner of Carrington and Woodward roads and an elevated position within its broader site, Penman House has **considerable aesthetic value** for its visual appeal and qualities that exemplify a past aesthetic taste. Its scale, articulated roof form and chimneys, and architectural features make it a distinctive feature within the streetscape. As one of several inter-related buildings, structures and features associated with the former Oakley Hospital complex, Penman House has **considerable context value** for the important contribution

³⁴ Page 8 Advertisements Column 8, Auckland Star, Volume XXXV, Issue 43, 19 February 1904, Papers Past; Lisa J. Truttman, Wairaka Waters: The Auckland Asylum Springs, August 2007; Auckland Council Heritage Unit's records.

³⁵ The Mental Hospital., Auckland Star, Volume LX, Issue 205, 30 August 1929, Papers Past; Auckland Council Heritage Unit records; Timespanner, Unitec's Penman House, Saturday September 8, 2012; Unitec, A new life for Penman House from Advance: Research with impact, Spring 2013, https://issuu.com/unitecnz/docs/advance_nov_2013 (accessed 26 September 2024).

³⁶ Robin Hyde, URL: <https://nzhistory.govt.nz/people/robin-hyde>, (Manatū Taonga — Ministry for Culture and Heritage), updated 28-Nov-2022 (accessed 26 September 2024); Jacqueline Matthews. 'Hyde, Robin', Dictionary of New Zealand Biography, first published in 1998. Te Ara - the Encyclopedia of New Zealand, <https://teara.govt.nz/en/biographies/4h41/hyde-robin> (accessed 26 September 2024); Unitec, A new life for Penman House from Advance: Research with impact, Spring 2013, https://issuu.com/unitecnz/docs/advance_nov_2013 (accessed 26 September 2024).

³⁷ Unitec, A new life for Penman House from Advance: Research with impact, Spring 2013, https://issuu.com/unitecnz/docs/advance_nov_2013 (accessed 26 September 2024).

³⁸ Auckland Council Heritage Unit records.

it makes to a historic landscape that, despite change, has become increasingly uncommon within the region and nation. The place is also of note for occupying its original site of lawns, mature trees, and driveway that contribute to its setting and sense of place.

In my opinion, Penman House has overall **considerable historic heritage significance** and meets the threshold for scheduling as a Category B place in the AUP.

Former Farm Building / Stables (Building 28)

The former Farm Building/Stables is believed to have been built prior to 1900 (possibly as early as the 1880-90s) as a milking shed/dairy, and originally formed the northern wing of a complex of farm buildings on the extensive Oakley Hospital site.³⁹ As the only known surviving farm building, the place has **considerable historical value** as a tangible reminder of the former hospital site's partial functioning as a farm and its association with providing "healthful recreation" for patients by encouraging community involvement through farming activities, gardening and domestic chores as part of their rehabilitation.⁴⁰

The place has moderate knowledge value for its potential to provide new information on past human activity and enhance public understanding of the functioning, growth and ways of life of late-nineteenth and early-twentieth century psychiatric hospitals. The two-storey rendered brick structure also has moderate physical attributes value as a remnant of an early farm building. Although it no longer forms part of a complex of farm buildings, the place appears to retain a high level of external fabric and features. The modern courtyard structure (sometimes referred to as the Mitchell Stout building) that replaced other earlier farm buildings was recently demolished (2024).

Despite changes to its setting, the former Farm Building/Stables forms part of a group inter-related buildings, structures and features associated with the former Oakley Hospital complex and has **considerable context value** for the important contribution it makes to a historic landscape that, despite change, has become increasingly uncommon within the region and nation.

In my opinion, the former Farm Building/Stables has overall **considerable historic heritage significance** and meets the threshold for scheduling as a Category B place in the AUP.

³⁹ Ella Ussher (CFG Heritage), Carrington Backbone Works project: archaeological assessment, 12 August 2021.

⁴⁰ Warwick Brunton, 'Mental health services - Lunatic asylums, 1840s to 1900s', Te Ara - the Encyclopedia of New Zealand, <http://www.TeAra.govt.nz/en/mental-health-services/page-2> (accessed 26 September 2024).

Private Plan Change 94 - Wairaka Precinct (PPC94)
Specialist Review - Arboriculture on behalf of Auckland Council
(Christy Reynolds – Greenscene Ltd)

Introduction

1. My name is Christy Reynolds, I have a Bachelors Degree in Biodiversity Management from Unitec. My experience includes 8 years in providing planning and reporting on arboricultural matters, including providing master planning documents for large scale development, resource consent applications and plan change submissions.
2. I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:
 - (a) Review the original plan change application documents;
 - (b) Visit the site;
 - (c) Identify matters within my area of expertise that required further information from the applicant, and assessing the applicant's response;
 - (d) Review the submissions and further submissions;
 - (e) Identify issues relevant to my area of expertise;
 - (f) Give my expert opinion on the issues, with recommendations where appropriate; and
 - (g) Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.
3. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

Summary

4. I rely on the reporting planner to explain PPC94, including its location and what the plan change is seeking.
5. I have identified the following issues relevant to my area of expertise:
 - (a) No arboricultural report has been provided for PPC94.
 - (b) The protected trees need to be identified/assessed in the PPC94.
 - (c) The applicant needs to identify what protected trees (if any) have been removed from the Wairaka Precinct.
 - (d) Only 32 of the 42 protected trees detailed in the Wairaka Precinct Plan are now present.
 - (e) Only four of the five Notable trees are now present.

6. The recommendations I make in respect to the above issues are:
- (a) The applicant should provide an arboricultural report to identify all trees on site, including protected trees within the Wairaka Precinct Plan.
 - (b) The applicant should provide a tree management plan to retain and protect all identified trees on site.
 - (c) As Kauri trees are present on site, the applicant should provide a Kauri Dieback Management Plan
 - (d) The applicant should identify additional trees to be included in the Wairaka Precinct Plan.
 - (e) The applicant should identify all trees within the Wairaka Precinct with regards to proposed open space zones.
 - (f) The applicant should identify where tree removal has occurred and what protected trees within the Wairaka Precinct Plan have been affected/removed.
 - (g) The applicant should identify the percentage of canopy cover across the site (prior to tree removals taking place) and provide an assessment on proposed canopy cover change/loss (i.e. impact of any proposed/actual tree removals on the Urban Ngahere within the site).

Open Spaces

Responses provided to Auckland Council under Clause 23 with regards to '*quality urban design protects and enhances distinctive landforms, water bodies and indigenous plants and animals*' states the following:

The plan change retains operative provision I334.6.7, which protects identified trees, including a number of native species, and the open space network provided for both contains some of these trees, and will allow for additional, extensive native plantings.

Contrary to this, protected trees have been removed and proposed open space zones seem to exclude more trees than previously provided for (in the existing Precinct Plan).

Trees

Whether protected under the Wairaka Precinct Plan or scheduled in the Notable Tree Overlay, I am of the opinion that inadequate consideration has been given to trees on site, i.e. no arboricultural report has been provided by the applicant to address trees on site as part of the PPC94, recent removal of protected trees, lack of effective tree protection of trees growing within the vicinity of ongoing physical works, etc.

Submissions

Many of the submission responses to the PPC94 proposal highlight the need to address trees on site. 44 submissions were directly associated with trees, with requests for tree protection be included in the PPC94 application. Most submissions request more trees to be protected and highlight areas where tree protection should occur.

Submission 25 from Open Space for Future Aucklanders Incorporated (the Society) raise the following concerns with regard to trees:

- Retain and strengthen existing tree protection provisions.
- Retain all Notable trees in 1334.10.2 Wairaka / Te Auaunga: Precinct Plan 2 - Protected Trees (Precinct Plan 2).
- Provide for the retention of additional mature vegetation in the Precinct to mitigate adverse visual and stormwater effects of more intense development enabled by the Change.
- Include additional trees in Precinct Plan 2, particularly all mature trees in the following parts of the Precinct:
 - The area between the Squash Centre and the Gate 4 Accessway around Building 054.
 - The Oak and Magnolia trees lining the Gate 4 Accessway.
 - The flat areas surrounding Building 054 (Penman House) and the sloped area behind it.
 - The Unitec Memorial Garden area (mature/juvenile trees).

Submission 34 from Coral Anne Atkins seeks to:

- Have additional tree protection measures included in the application.
- Include the knoll within the Open space plan and to protect trees on the Knoll.

Submission 124 from Geoffrey John Beresford identifies the following concerns:

- Retain and extend existing tree protection provisions.
- Increase the area of land required to be soft landscaped on sites in the Precinct.

Submission 223 from the Civic Trust Auckland seeks:

- The remaining mature trees be protected and integrated into the development.
- Protection areas recommended include the following sites:
 - Northern open area.
 - Knoll open space.
 - Building 48.

Submission 105 from Ngati Whatua Orakei Wai Rawa Limited seeks the following:

- Three Precinct trees (Trees 39, 40 and 41) previously removed under granted resource consent to be removed from Precinct Plan 2.

PPC94

No change has been proposed to the list of protected trees. As previously stated, no arboricultural report has been provided for the proposed Plan Change. In addition to this, the Grimshaw report (A Reference Masterplan & Strategic Framework, dated February 2019) makes no mention of trees.

My review is that no consideration to/of trees, whether protected under the Wairaka Precinct Plan, listed within the Notable tree schedule or trees present on site that are significant enough to warrant consideration, has occurred by the applicant.

Furthermore it appears that removal of a number of protected trees, located either within the Wairaka Precinct Plan or within the Schedule of Notable trees, has already taken place.

Wairaka Precinct

In addition to an assessment of the submissions provided, I have undertaken a further assessment of the following:

- Update the list of protected trees in the AUP's Wairaka Precinct
- Review the precinct tree provisions in the Wairaka Precinct
- Identify other trees that may be worthy of protection either as notable trees or added to the precinct list of protected trees.

My review of the Wairaka Precinct (I334) Table I334.6.7.1 - Identified Trees has revealed the following:

- The tree table has trees listed from 1 – 47.
- However only 42 trees are protected under the Wairaka Precinct Plan
- The tree numbers are not sequential, with Tree Nos 4, 6, 8, 12 and 21 not present in the table.
- Pōhutukawa trees listed in the protected tree table have their common name spelled incorrectly.
- Tree locations in the Wairaka Precinct Plan 2 are not accurate to tree locations found on site.

A review of the Notable Tree Overlay has revealed the following:

- Only 4 Notable trees were identified on site and not the 5 that were stated.
- One Notable Tītoki is not included in Table I334.6.7.1 - Identified Trees.
- Of the three Brazilian coral trees identified in the Notable Tree Overlay #173, only one was located on site.
- Only 1 Brazilian coral tree is included in Table I334.6.7.1 - Identified Trees. It is considered that this table entry should be 3 trees (or 2 trees accounting for the loss of one Notable tree as part of PC83). I am of the opinion that one of the Brazilian coral trees was removed as part of PC83, as the other species listed were accounted for.

My review of the Wairaka Precinct document in conjunction with a site visit to identify protected trees on site could only identify 32 trees in total. Four trees 29, 39, 40 and 41 have been removed under previous resource consents, Tree 19 had consent for works in the dripline, not for removal but this tree could not be found. In addition, 5 tree species listed in Table I334.6.7.1 - Identified Trees were not found on site. These include:

ID 18 Skyflower

- ID 20 Mediterranean Cypress
- ID 22 Mediterranean Fan Palm
- ID 31 Pepper Tree, Peruvian
- ID 35 Variegated Five Finger

I consider the applicant should provide an explanation of this variance.

Figure 1 below shows the location of the protected trees that were identified on site. The tree locations provided in Figure 1 were GPS located on site and adjusted based on latest aerial imagery.

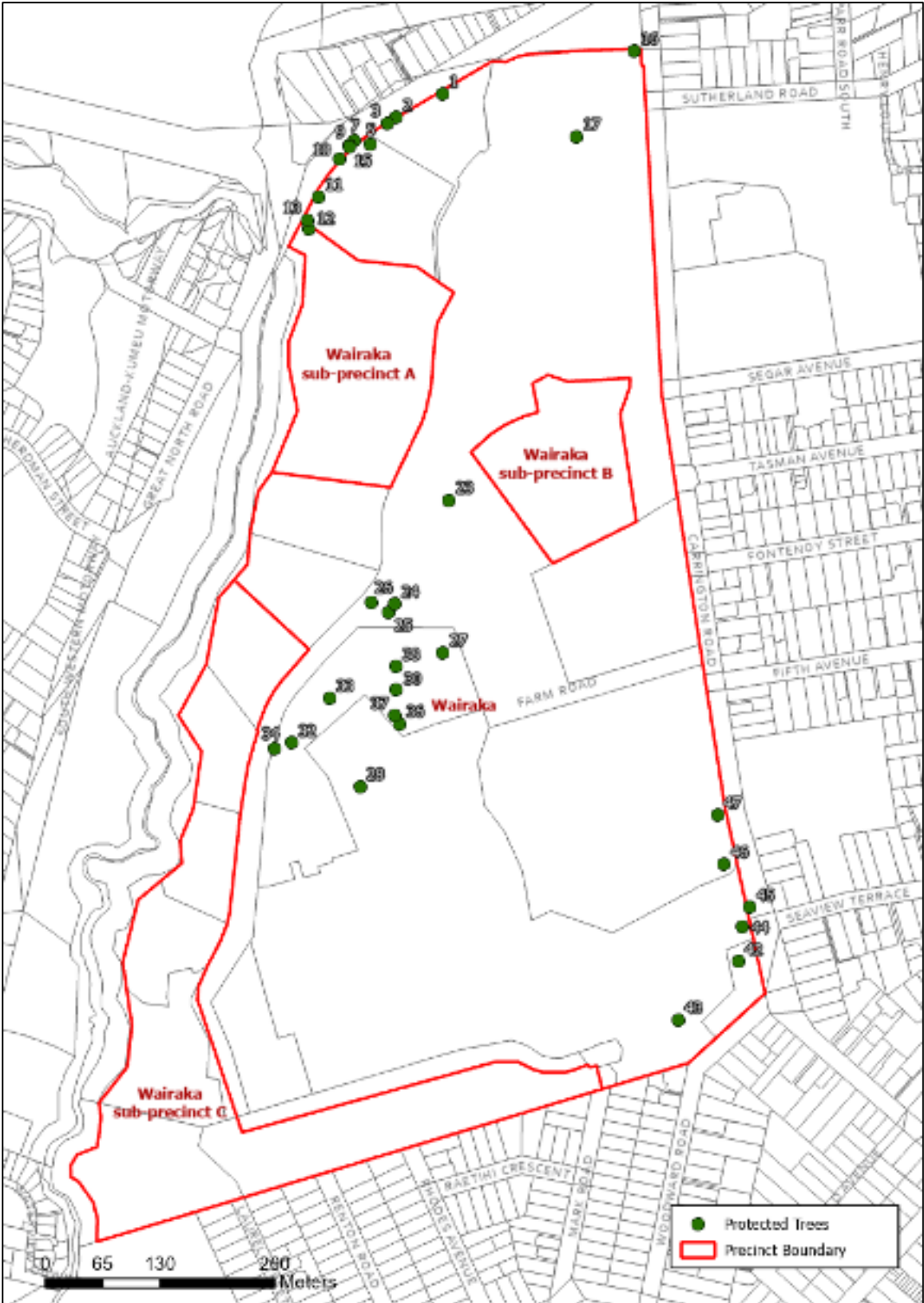


Figure 1: Protected trees identified on site

Wairaka Precinct – Possible Notable & Precinct Tree Candidates

Notable Tree Candidates

In my opinion four trees assessed on site are significant enough to be included in the schedule of Notable Trees. My recommendations relating to the identified specimens are based on tree-specific factors, including age, character and form, and size. Details of these trees are provided below. These trees have also been included in the list of recommended Precinct trees.



Species: Bay Laurel (*Laurus nobilis*)

Age and Health	Character and form	Size	Visual contribution	Score
6	5	5	5	21



Species: Japanese Tanoak (*Castanopsis cuspidata*)

Age and Health	Character and form	Size	Visual contribution	Score
6	5	5	5	21



Species: Boxelder (*Acer negundo*)

Age and Health	Character and form	Size	Visual contribution	Score
6	5	5	5	21



Species: Holly (*Ilex aquifolium*)

Age and Health	Character and form	Size	Visual contribution	Score
6	5	5	5	21

Precinct Tree Candidates (*Includes The Above Notable Tree Recommendations*)

Table 1: Recommended Additions to Table I334.6.7.1 - Identified Trees (New Tree Numbers TBC)

ID	Common name	Auckland district	Number of trees	Location/ Street address	Legal description
1	Pōhutukawa	Isthmus	1	3 Carrington Road, Mt Albert	LOT 2 DP 531494
2	Pōhutukawa	Isthmus	1	3 Carrington Road, Mt Albert	LOT 2 DP 531494
3	Pōhutukawa	Isthmus	1	3 Carrington Road, Mt Albert	LOT 2 DP 531494
5	Oak	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
7	Karaka	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
9	Oak	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
10	Oak	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494

11	Oak	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
12	Oak	Isthmus	1	81A Carrington Road, Mt Albert	Lot 2 DP 156226
13	Oak	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
15	Pōhutukawa	Isthmus	1	3A Carrington Road, Mt Albert	LOT 1 DP 531494
16	Italian cypress	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
17	Michelia	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
23	Mountain Coconut	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
24	Chinquapin	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
25	White mulberry	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
26	Totara	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
27	Australian frangipani	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
28	Kauri	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
30	Norfolk Island pine	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
32	Golden Ash	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867

33	Jacaranda	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
34	Golden Ash	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
36	Maidenhair Tree	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
37	Brazilian Coral Tree	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
38	Dogwood	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
42	Camphor tree	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
43	Plum Pine	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
44	Camellia	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
45	Kōhūhū	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
46	Silver Poplar	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO

					573867, SECT 5 SO 573867
47	Liquidambar	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
48	Pōhutukawa	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
49	Bay laurel	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
50	English holly	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
51	Japanese Tanoak	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
52	Boxelder	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
53	Pōhutukawa	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
54	Camphor tree	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
55	Pōhutukawa	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
56	English oak	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867

57	English oak	Isthmus	1	123 Carrington Road, Mt Albert	Lot 2 DP 314949
58	Pūriri	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
59	Copper beech	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
60	European ash	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
61	London plane	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
62	Totara	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
63	Tītoki	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
64	Fern pine	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
65	Dragon tree	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
66	Liquidambar	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
67	London plane	Isthmus	1	81A Carrington Road, Mt Albert	Lot 2 DP 156226
68	Pōhutukawa	Isthmus	1	3 Carrington Road, Mt Albert	LOT 2 DP 531494
69	Liquidambar	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
70	Pūriri	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi

71	Pūriri	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
72	Pōhutukawa	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi

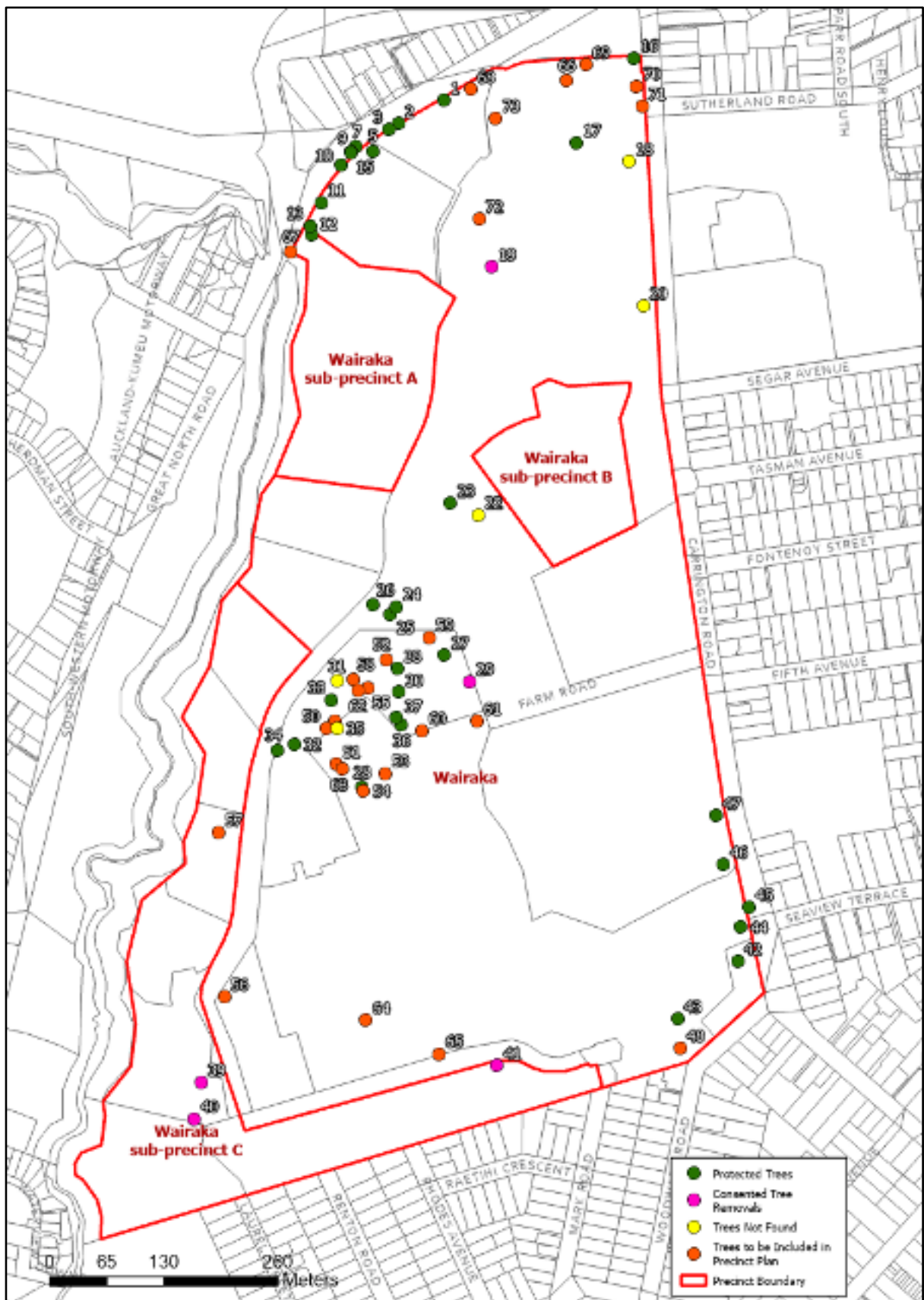


Figure 2: Recommended Additions (in orange) To The Plan I334.10.2 Wairaka: Precinct Plan 2 - Protected Trees

Conclusion

Based on the review of the PPC94 and the tree survey undertaken on site, there are a number of issues that require resolution; these being:

- What protected trees remain on site?
- What trees will be retained and protected going forward?
- What the effects PPC94 will/may have on protected trees within the Wairaka Precinct?
- What trees will be included/protected in proposed open space zones?

Christy Reynolds
September 2024

Landscape Architecture Specialist Advice for:

Peter Reaburn | Consultant Planner
On Behalf of Auckland Council



23rd September 2024

Landscape Architectural Review of the Wairaka Precinct (PPC94)

1. Introduction:

My name is Stephen Brown. I have qualifications in both Town Planning and Landscape Architecture – from the University of Auckland and Lincoln University. I am a Fellow of the NZ Institute of Landscape Architects and have over 42 years experience as a practising landscape architect – in NZ, the UK and Australia.

I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:

- Review the original plan change application documents;
- Visit the site;
- Undertake a Clause 23 assessment and review of the application and, in particular, the specialist landscape assessment undertaken by Boffa Miskell Limited;
- Review the Clause 23 response;
- Review submissions and further submissions to PPC94;
- Review the PPC94 application and its anticipated landscape effects in light of that information (this report); and
- Provide input to
- Council's s.42A report for the Council Commissioners.

In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

2. My Clause 23 Review:

In my Clause 23 review of the Wairaka Plan Change application and associated reports, I raised concerns about a range of matters, including the need for:

- a) Assessment of the PPC94 site's existing characteristics and values – as the foundation for evaluation of the effects that the Plan Change would have on them;
- b) Additional assessment of effects in relation to Carrington Road, Woodward Road, Great North Road, the Te Auaunga Shared Path, and the Mason Clinic;

- c) More specific and detailed assessment of the effects associated with the height controls proposed for Height Area 1 – including in relation to heritage effects;
- d) Assessment of the likely effectiveness of the 10m setback control between Height Area 1 and the adjoining Te Auaunga / Oakley Creek Reserve;
- e) Explanation of the implications of not having a Tower Dimension Control within Height Area 1;
- f) Explanation of the need for a new ‘landmark’ building next to Pt Chevalier and the historic Oakley Hospital Building;
- g) The expansion of Policy 14 to also address the issue of a sympathetic relationship between new development and the scheduled, Oakley Hospital Building;
- h) New policies to address the ‘exceptionality’ of proposed built forms within Height Area 1;
- i) New policies to also address the realisation of ‘high quality’ built forms within the Precinct;
- j) Reframing of Policies 14A and 14B (i334.3) which address over-height development so that they provide a platform for critical evaluation of such proposals – not tacit support for them;
- k) New policies on Open Space (i334.3) to address the proportionality between open space (passive and active) to the residential and education activities proposed;
- l) New policies to address the future integration of streets, pedestrian thoroughfares and cycleways with the North-western Cycleway, the Great North Rd / Te Auaunga Cycleway / walkway, Carrington Rd and Phyllis Street Reserve;
- m) New policies to address streetscape values – both within the Precinct and on its margins;
- n) New Matters of Assessment for over-height buildings to address such matters as:
 - Effects on the A13 Maunga Viewshaft;
 - Visual over-dominance;
 - Over-shadowing outside the Equinox periods;
 - Effects on privacy;
 - The streetscapes of Great North Road, Carrington Rd and the Pt Chevalier town centre;
 - Effects on the MHS and MHU Zones south and east of the PC site;
 - Effects on Te Auaunga; and
 - Effects on the heritage values of the Oakley Hospital Building.
- o) New Matters of Assessment for buildings that do not meet the Precinct Boundary Set-back Control to address effects on the wider public domain, including local streetscapes, the town centre and Te Auaunga / Oakley Reserve.

In response to the Clause 23 requests, Boffa Miskell provided an updated Assessment of Landscape and Visual Effects (LVEA), dated 3rd July 2023, which addresses RFIs L01-L06 [Points a) and b) summarised above], while a series of separate replies respond to RFIs L7-L21 [Points c) to o) – again, summarised above].

The revised LVEA incorporates several new vantage points for detailed assessment of PPC94's built form effects, supported by additional photo simulations, including some relocated within the Pt Chevalier town centre, as requested. The updated LVEA also addresses the rationale for more elevated building heights within Height Area 1 and the relationship of that development with the historic profile and values of the historic Oakley Hospital Building. However, the RFI addressing policy matters are addressed separately, and not within the body of the LVEA.

3. Submissions:

A sizeable number of submissions respond to the PPC94 proposals. Many of those opposing the Plan Change, either in whole or part, raise issues that are encapsulated by Submission 5 from Trevor Crosbie, who summaries his concerns as follows:

2. Increased height of buildings. *I support an increase in height of buildings, provided it results in more usable open space in the precinct for the community. I note that the applicant states that under Plan Change 78 it is proposed that the eastern side of Carrington Road will change from Residential-Mixed Urban Housing allowing up to 3 stories to Terraced and Apartment buildings from 5-7 stories, so the increased height sought by the applicant would fit the proposed PC 78 for the east of Carrington Road. According to Auckland Council's map of proposed zones, the increased height only applies south of Fifth Avenue and in the north the small section from Sutherland Road to the Northwestern motorway. Most of the east of Carrington Road remains Residential-Mixed Urban Housing. It is extremely unlikely that that the land on which Gladstone School is based will become part of the intensified housing. The net result is that most of the east of Carrington Road will not change.*

3. Masterplan: *Auckland Council states that in the application there is no masterplan for the precinct. A masterplan would indicate the probable footprints of buildings, retail areas, and open space areas for recreation or passive use.*

The applicant considers that masterplans have already been prepared for the precinct, and refer to the 2019 document "A Reference Masterplan & Strategic Framework" which was agreed between Mana Whenua and the Crown (<https://www.hud.govt.nz/assets/Uploads/Documents/A-ReferenceMasterplan-Strategic-Framework-1.pdf>). This document sets out the high level linkages for infrastructure such as transport and communication corridors, and likely number of dwellings and open space. The applicant states that development proposals have also been informed from plans for the precinct prepared by Unitec's former land company, the Wairaka Land Company. The applicant says that details about buildings and such-like will come when each iwi group submits for consent.

The Cabinet Business Meeting of 29 June 2022, released 20 October 2022, noted Page 1, para 5: "Over the second half of 2018, Auckland iwi/ hapū and the Crown jointly prepared a high-level masterplan (Reference Plan) to guide development of the Site." Noted on page 2, paragraph 9, that with Unitec opposing the release of this Reference Plan, that it had delayed several key steps including "detailed master-planning". <https://www.hud.govt.nz/assets/Uploads/Documents/Cabinetmaterial-Acquisition-of-additional-land-from-Unitec-for-housing.pdf>. As the Unitec land A concern is that the current approach is approved, then a "first in, best dressed" may follow – for example, the first in build as much as they can and leave it to other iwi to find the required open space or service facilities that Auckland Council requires for the precinct.

2. Open space: *in the application around 5.1 ha has been identified as public open space (i.e., vested to Auckland Council, if they accept it). However, nothing in the plan change application has been indicated about the quantum of private open space (i.e., open space not vested to Auckland Council) available or where it will be located except in very generalised terms. [Note: Currently the open space in the precinct is*

considered “private open space” as it is not vested to Auckland Council, and has been looked after by Unitec and, more recently, the Crown.]

In the 2019 document “A Reference Masterplan & Strategic Framework” which was agreed between Mana Whenua and the Crown the open space was given as 7.72 ha of the 26.6 ha they had purchased, with an additional 3.56 ha coming from road reserve (page 12); effectively around 42% open space of varying uses and qualities. The document did not divide the open space into the proportions of what would be public open space and private open space.

Subsequently a further 10.67 ha was purchased in the precinct by the Crown. This second tranche of purchase makes up the bulk of the proposed zoning change to business mixed use from educational. This zone change can be supported, as it is no longer used for its main purpose of education.

Plan Change 94 information now indicates there will be 4000-4500+ dwellings for the precinct, up from around 2500+ at the time of the 2019 document. Note, however, that the **ground infrastructure being put in place now has the capacity to service approximately 6,000 dwellings** (page 58, in the file pc94-attachment-01-planning-report-and-s32-analysis-final.pdf). If this is the case, what is the expected percent of open space (public and private) available in the precinct when there will be around 4000 dwellings, and then when up to 6000 dwellings may be in the precinct? The applicant only gives information on the expected ratio of public open space that will be available from the 5.1 ha.

Auckland Council notes that recreational space is being removed from the precinct (playing fields, Unitec Sports Centre, and eventually Squash Centre.) The applicant states that there will be a couple of areas 30 x 30 m available for kicking around balls (not sports fields) – recreational areas are a regional (Auckland Council) issue and not one that needs addressing for the precinct.

Open space in connection with Sanctuary Mahi Whenua community gardens. There is apparently no recognition of variation 25.4 of the sale and purchase agreement between Unitec and the Crown settled in April 2018 to preserve about 0.7 ha of this area. This was noted in the Cabinet Business Meeting of 29 June 2022 also, on page 2, footnote 4: 9age 2, footnote 4:

“4 Unitec’s other significant issue is the illustrations which show the community gardens moving to allow development. HUD and mana whenua have made no decisions on the community gardens and there is no intention of allowing development on any culturally significant sites, as will be reflected in the detailed master-planning.”

In the Reference Plan, page 104, the developable area (lots) is given as 122,955 m². However, adding up the lot sizes for the 7 precincts comes to 116,183 m², a 6772 m² difference. This is explained by the lot size of Precinct 7, Te Auaunga North on which the Sanctuary Mahi Whenua is placed, is only 11,000 m² [the only precinct which is not stated to the 1 m²], and knowing that variation 25.4 was to preserve approximately 7000m².

In Submission 18, from Susan Wake of the School of Architecture, Unitec Te Pukenga, concerns are also raised about the loss of existing trees, and what other submissions refer to as an ‘urban forest’, across the former campus and hospital site, and the need for acknowledgement of the historic character and context of Building 48 – the former Māori Mental Health Unit. The Tree Council / Tiakina Rakau’s submission (#30 amplifies many of these points, including as follows:

2. Lack of Evaluation of Remaining Trees as Notable Trees

Page 5 of 10# 30 The documentation provided should include an arborist’s report, compiled by a qualified arborist, evaluating and specifically identifying the remaining trees and assessing them against the Notable Trees criteria for scheduling in the Unitary Plan.

3. Lack of Tree Protection / Tree Works Methodologies

The documentation states that the retention of trees on the site will “counterbalance the increased residential density and built scale of development” (Open Space Framework, Appendix 4), while not providing for any process that will ensure the retention and legal protection of any of the trees other than those already legally protected as Notable Trees.....

Referring to A 05.

Open Space Assessment 2.3 We note the increase and redistribution of open space proposed from 3.6ha to 5.2ha, but also note that this is only achieved by purchase and rezoning of existing open space from Unitec Te Pukenga which decreases the open space ratio for that institution.

6. Landscape and botanical character around Building 48

The open space around Building 48 is a particularly significant area of landscape and botanical value. The treed rolling landscape has elevation, views and grandeur when considered in combination with the building.

Recommendation:

That the notable trees around Building 48 remain as part of the Unitec campus, connected to their raison d’etre. This would require moving the plan change boundary by 20m to the north of Building 48

7. Masterplan and Landscape & Visual Effects Assessment

The documentation lacks a masterplan to enable the public to evaluate detailed plans for the open space designs ie. which trees will be retained.

The Landscape and Visual Effects Assessment prepared by Boffa Miskell, focused almost exclusively on the visual effects of the proposed development from public viewing positions looking into the site. There is very little comment on the amenity provided by the existing mature trees, most of which are not protected. Instead, the Landscape and Visual Effects Assessment relies on new planting and urban design to provide landscape amenity. The report acknowledges that there are Notable Trees on site, but it is not made clear whether the bulk and location drawings have included these trees in the concept plans. In the earlier master planning documents prepared by Boffa Miskell, “high amenity trees” and existing urban ngahere is identified, but the more recent Landscape and Visual Effects Assessment hardly mentions existing trees apart from Scheduled/Notable Trees and the cluster of trees around Building 48 that fall into a green space. They mention that “some trees will be removed” but this is as far as the report goes.

Whilst we acknowledge that most of the mature trees on site no longer have legal protection, from a landscape planning and visual effects perspective, integration of at least some of these trees into the urban design should be considered.

The Tree Council’s submission also identifies issues in respect of the proposed Northern and Central Open Spaces, the Te Auaunga Access Park, and the Knoll Open space, while a significant number of submissions appear to support their concerns.

Other submitters, such as Jennifer Goldsack (#38), raise concern about the cluster of 35-72m high buildings proposed for the north-western corner of the site, while others – such as that of Dennis Katsanos (#51) raise concern about the visual effects of high buildings on neighbouring properties and the impact of such development on the historic Penman House at the corner of Carrington and Woodhouse Roads.

Finally, in a slightly different vein, Ockham Residential’s submissions seeks a height limit of 35m down Carrington Road near Pt Chevalier within Height Area 4. Part of this area would face the residual MHU Zone

north of Fifth Avenue that retains a height limit a 3-storey limit at present, and the northern end of it would wrap around the former Oakley Hospital Building – potentially ‘competing’ with it in views from the nearby town centre. On the other hand, 9-11 storey development has already been consented in the same area, opposite the Special Purpose Healthcare Zone between Segar Avenue and Sutherland Avenue. Taking these contrasting factors into account, it is my view that the height control down the western side of Carrington Road should have a degree of continuity that respects the sequence of THAB and MHU zoning south of Segar Avenue, as well as the signature qualities of the heritage hospital. As a result, it is my opinion that a 21m height control, with a 20m setback into taller development, should apply down the length of Carrington Road – as is discussed in Section 4 of this report (*The Carrington Road Precinct Edge*).

Returning to the diverse range of issues otherwise raised in the submissions, a number of common themes are apparent that relate to the Plan Change’s landscape effects:

- The absence of some form of masterplan and related uncertainty about the future location, extent and profile of development across the PPC94 site;
- The reduced area of open space to be provided, both in relation to the 2019 Reference Plan and the increased number of dwellings (and occupants) now anticipated across the site;
- Uncertainty over how Building 48 and its surrounds will be addressed;
- Uncertainty over how the former Oakley Hospital Building will be addressed in the future, beyond the retention of open space in front of it;
- Uncertainty over the future of the Sanctuary Mahi Whenua community gardens;
- Uncertainty over the future functioning, character and amenity value of the proposed open spaces and trees within them;
- The more widespread loss of mature trees and an ‘urban forest’ across the entire site, including mature trees near Unitec Entrance 4;
- The over-dominance, overshadowing and other effects potentially associated with excessively tall development - primarily within Height Areas 1 and 2.

4. The Updated LVEA:

I have reviewed the updated LVEA prepared by Rachel de Lambert of BML and concluded as follows:

Existing Values:

The description and analysis of the site’s existing values, including those pertaining to its historic buildings, open spaces (including the adjoining Te Auaunga / Oakley Creek reserve), and tree stock, remain limited, eg. page 8:

There is a range of vegetation, including individual trees and groups of trees, across the site of variable age, scale and robustness / health. Much of the larger scaled vegetation is located toward the west with a grove of mature specimen trees also grouped on the central knoll close to Building 48. Enabling works associated with the consented infrastructure upgrades of the site are currently proceeding on the site including the removal of some trees.

Overall, the site has the character of a broadacre, ad hoc campus with large areas of unprogrammed open space, buildings and surface car parking located somewhat haphazardly in a largely open landscape. The site is however largely already zoned for intensive, medium density, residential development through its B-MU zone including buildings up to 27m in height.

The Nature and Extent of Open Space:

Again, even though Section 4.1 of the LVEA refers to ‘analysis’ of the open space proposals, the description of them is also quite limited, eg. on page 11:

In summary, within Te Auaunga Precinct, a series of open spaces that will be connected along the internal roading network are proposed, including the land to the north of the Former Oakley Hospital Building, which incorporates its northernly curtilage and maintains the visual connection of Building 1 to Pt Chevalier and Carrington Road, through to a central public open space connected via walkway to Te Auaunga / Oakley Creek walkway and south via the Wairaka Stream to the open space associated with the central stormwater ponds. The considerations that have informed this provision of open space relative to the features of the site are illustrated in Figure 8 below.



Figure 8: Diagrams expressing the way in which open space provision has been informed within the precinct.

Other than indicating the network of spaces proposed would offer “walkable amenity, destinational open space and varied recreational opportunities for future residents *whilst also leveraging the value and amenity of the immediately adjacent Te Auaunga / Oakley Creek esplanade and walkways*” the LVEA provides little interpretation of the open space’s likely character, functions, and contribution to the values of the future Precinct. In effect, the open space to be provided remains rather nebulous.

Viewpoint Locations and Photo Simulations:

The range of viewpoints now employed to assess the effects of built form under the Precinct height controls are now, in my opinion, more representative of the range of receiving environments and audiences found around the Wairaka site. In addition, the repositioned and, in some cases, reoriented, photo simulations now provide a better appreciation of the proposed built form ‘blocks’ relative to their surroundings and key vantage points – like the Te Auaunga / Oakley Creek Walkway / Cycleway, different parts of Carrington Road and Pt Chevalier’s town centre. In turn, this affords a better appreciation of the scale and height of both complying built form under the AUP with that proposed under PPC994. The scale, mass and height of future development with the Precinct relative to existing development, both within and outside it, is also captured in BML’s images.

Viewpoint Assessment:

Turning to the effects identified by BML in relation to Viewpoints 1-11, I generally agree with the findings and effects ratings for Viewpoints VS1-VS3. However, I remain concerned about the effects associated with the built forms represented for Viewpoints VS4-VS9 (addressing the three tall built forms within Height Area 1) and VS10 and VS11 (pertaining to the height and mass of built form down Carrington Road) – for the following reasons:

Height Area 1:

- The cluster of three tall buildings within Height Area 1 would often read as stand-alone elements that have very little sense of connection to the lower built forms of the Oakley Hospital Building, Pt Chevalier's town centre, or those generally anticipated across the Precinct. Moreover, the grouping would appear incongruous to motorists and cyclists approaching Pt Chevalier from the west – down the North-western Motorway and cycleway from the west. This situation is captured in the photo simulation for Viewpoints VS4 and VS5, in particular, but also VS8 and VS9 to a lesser degree.
- The scale and form of those same buildings would be redolent of development that is more aligned with a City Centre or Metropolitan Centre, but not a Town Centre, ie. Pt Chevalier. In my assessment, it has the potential to appear incongruous and at odds with the built form of both Pt Chevalier and the Wairaka Precinct.
- Although not within Maunga Viewshaft A13, the cluster of buildings would compete with Mt Albert in views from the North-western Motorway as it approaches Pt Chevalier. In my assessment, there is no justification for this 'competition'.
- It also has the potential to be particularly incongruous and visually disruptive in relation to the historic Oakley Hospital Building, which, for better or worse, has long remained a signature feature of both Pt Chevalier and the Unitec Campus. The exceptional height and 'stacks on the mill' profile of the three buildings anticipated within Height Area 1, which have the potential to visually overpower the former hospital, without offering any real feeling of elegance or distinction in their own right. A greater degree of sympathy and 'breathing space' might alternatively be created by locating a grouping of less high, less challenging, buildings that anchor the western end of the hospital building in a more complementary fashion. Yet, this approach is not adopted, and the height 'steps' proposed within Height Area 1 remain devoid of any real objective or meaning: instead, they appear quite arbitrary.
- In my opinion, the PPC94 proposals and Clause 23 responses fail to provide meaningful justification for the 'exceptional' Height Area 1 development proposed: it would be devoid of any sense of connection with Pt Chevalier and the wider landscape that surrounds it. As a result

As a result, I do not support the height limits proposed for Height Area 1. Instead, it is my opinion that the height limit for Height Area 1 should be 35m – aligned with that of neighbouring Height Area 2.

The Carrington Road Precinct Edge:

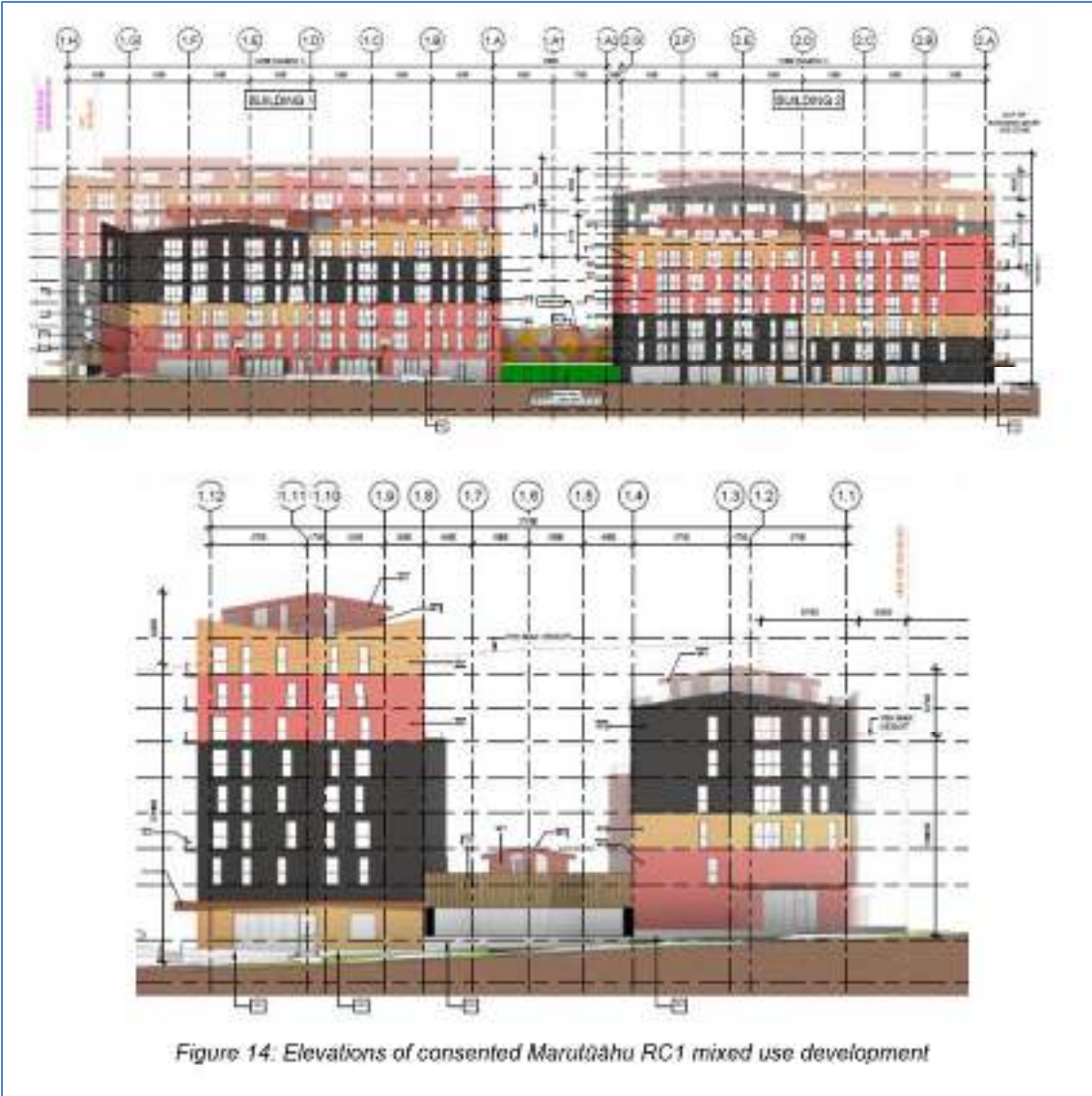
- I accept that the consented Marutūāhu RC1 buildings, with their step up from 5-6 storeys next to Carrington Road into 8-9 storeys away from the road corridor, represent an appropriate outcome

for that road corridor, given the THAB, MHU and Special Purpose Healthcare zoning down its eastern side.

- On the other hand, development to 27m without any transition could appear unbalanced and over-dominant, as BML's photo simulations for Viewpoint VS10B and BML's Figure 14 (overleaf) appears to suggest – even in relation to an expanded THAB Zone (embracing the Baldwin Avenue Train Station catchment south of Fifth Avenue). It conceivably goes beyond a 'tipping point' where a feeling of compatibility would remain between the built forms both sides of the road corridor.
- North of Fifth Avenue, a jump from 3-storeys down the eastern side of the road to 8 storeys down its western flank would be even more pronounced and, conceivably, unbalanced. In my view, this would go appreciably beyond the 'tipping point' just referred to.



BML's Photo Simulations: VS 10B



To put this analysis and these concerns in context, such development has the potential to be similar to, and conceivably taller than, virtually all the commercial buildings currently found down the northern side of Fanshawe Street in Auckland’s central city – as shown below.





Views from the edge of Victoria Park across Fanshawe Street (August 2023)

Again, it appears that development to such heights at the edge of the Precinct would be more redolent of that expected near a City Centre or Metropolitan Centre than a Town Centre. I therefore have a strong preference for sleeving the taller development generally proposed within Height Area 4 by limiting the height of development down Carrington Road’s western frontage. Using the consented Marutūāhu RC1 development as a model, I consider that 21m – equating to approximately 6-7 storeys – would be appropriate for this purpose. This would achieve a 1 storey ‘step up’ from full-height THAB development and a 3 story ‘step up’ from Carrington Road’s MHU development. Development to a maximum height of 27m could then occur behind this frontage, 20 or so metres from the road corridor.

As such, I am generally comfortable with the level of development more generally depicted in Height Areas 2 and 4 behind the Carrington Road frontage (other than near some proposed open spaces, which I address separately). In other words, I am not concerned about the height controls more generally applicable to the Precinct away from Carrington Road.

Looking at the viewpoints and related assessment as a whole, I note that Ms de Lambert has attributed the following ratings to her viewpoints (overleaf):

Viewpoint:	Height Area 1 Effects:	Height Area 2 & 4 Effects:
VS1	Moderate-Low	Low
VS2	Low	Very Low
VS3	N/A	Very Low
VS4	Moderate-Low	Very Low
VS5	Moderate-Low	N/A
VS6	Moderate	Low
VS7	Moderate	Low
VS8	Moderate-Low	Low
VS9	Moderate-Low	Very Low
VS10	N/A	Low
VS11	N/A	Low

For the sake of comparison, I have shown my ratings for those same viewpoints below:

Viewpoint:	Height Area 1 Effects:	Height Area 2 & 4 Effects:
VS1	Moderate	Low
VS2	Low-Moderate	Very Low
VS3	N/A	Very Low
VS4	Moderate	Very Low
VS5	Moderate-High	N/A
VS6	High	Low
VS7	High	Low
VS8	Moderate- High	Low
VS9	Moderate	Very Low
VS10	N/A	High
VS11	N/A	Moderate-High

On page 30 of her assessment, Ms de Lambert also comments that the greater bulk of landscape effects associated with PPC94 are concentrated near the north-western corner of the site, in the general vicinity of the three buildings proposed within Height Area 1.

I do not agree with that assessment. Instead, as already indicated, I retain concerns about the effects that the grouping of tall buildings proposed for Height Area 1 would generate in relation to views from within the existing Pt Chevalier town centre, and I am additionally concerned about the height, scale and bulk of future development lining the western edge of Carrington Road – as discussed above.

Finally, in relation to BML’s viewpoints, I have also examined the effects that development within Height Areas 2 and 4 would have on Te Auaunga / Oakley Creek Reserve, the Te Auaunga Cycleway and Great North Road. Clearly the ‘jump’ from an open space reserve and creek gully to development that is up to 27m and 35m high in its immediate vicinity would be significant. However, I agree with Ms de Lambert that the pocket of Height Area 2 directly abutting Te Auaunga, accommodating future development to a maximum height of 35m, would largely occupy a low point in the local terrain. It would also be offset to one side of the main open space within the reserve and its much used, bridge over Oakley Creek. Moreover, development within proposed Height Area 4, which follows most of the reserve’s margins, would be subject to a height control very similar to that already found in the AUP – as shown in BML’s photo simulations for Viewpoint VS3B (overleaf).



Developer enabled height and massing



note - Massing for plan change includes the container road network

Plan Change enabled height and massing

As a result, it is my opinion that the height limits proposed for Height Areas 2 and 4 near Te Auaunga and the cycleway are acceptable (except as addressed in relation to the Precinct’s proposed open spaces, which I address separately).

Effects – The Southern End of The Precinct:

In a similar vein, I am also comfortable about the relationship that development within Height Area 3 would have with the existing residential area at the southern end of the Precinct – in the vicinity of Mark Road, Raetihi Crescent, Rhodes Avenue, Renton Road, Laurel Street and Phyllis Reserve. In my opinion, the transition from this more traditional suburban area into part of the Precinct that is subject to an 11m height control is appropriate at present (notwithstanding the potential for future change on both sides of the precinct boundary under the MDRS).

This situation changes at the point where Woodward Avenue meets the edge of the former Unitec campus and Height Area 4 near Carrington Road, as is discussed in my discussion about Viewpoints VS10 and VS11, above. As is explained in that analysis, I consider that an 18m height limit would be appropriate along this boundary, with taller development accommodated 20m or more back from it. This would also afford a more appropriate degree of transition into the 11m high development accommodated by Height Area 3.

Precinct Provisions:

A series of Clause 23 responses address concerns raised about some Precinct policies and assessment criteria. Those responses are summarised in Appendix A to this report, while the following sections address the key issues identified in the Clause 23 review and any that remain of concern.

Height Area 1 and The relationship of new high-rise buildings to the former Oakley Hospital Building:

I agree that new Policy I334.3(14AA) would provide additional guidance for both planners and decision-makers in relation to new buildings within Height Area 1. In particular, it would provide a degree of ‘focus’ on the matter of future development’s integration with the former Oakley Hospital Building.

More generally in relation to this matter, I also accept that Mr Wild of Archifact has undertaken a review of the heritage provisions of the Former Oakley Hospital Building and, in particular, the juxtaposition of this building with the proposed high-rise development. However, that review does not entirely alleviate the concerns that I have already outlined about the management of the future relationship between the former hospital building and buildings up to 72m high within Height Area 1.

Height Area 1 and The Landscape of Pt Chevalier:

Returning to the related matter of how such development would sit within the landscape of Pt Chevalier and its town centre, the applicant is satisfied that references in the Precinct provisions to ‘high quality’ development are sufficient to ensure that the stepped 43.5m, 54m and 72m development within that same height area would be ‘exceptional’. I retain reservations about the use of this term and, indeed, reliance on it to achieve built form outcomes that, in effect, need to be exemplary to overcome the potential discord between the buildings proposed for Height Area 1 and both the adjoining heritage building and their wider landscape setting – including the relationship with Maunga Viewshaft A13.

I also recognise that new buildings can contribute to the legibility of urban landscapes, by acting as landmarks, wayfinding devices and contributing to a sense of place, although this is not really reflected in the new Matter of Discretion I334.8.1(1B)(b)(i) now proposed for Height Area 1:

(b) building design and location:

- (i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki Makaurau cityscape and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop;*

Unfortunately, this matter of discretion appears to imply that the achievement of landmark status can be reduced to modulation of upper building levels and rooftops. Yet, this fails to grasp the nettle of whether or not future buildings within Height Area 1 would make a meaningful contribution to the cityscape of Pt Chevalier – both individually and cumulatively – through their fundamental design, location, configuration and form, height and materiality.

In my view, this is not an adequate response to the issues posed by the ‘exceptional’ building heights anticipated within Height Area 1.

Over-height Height Buildings Within Height Areas 3 and 4:

My Clause 23 request also voiced concern about the assessment of over-height buildings, together with other non-complying development, in terms of effects on:

- Local streetscape values – including in relation to Carrington Road;

- The natural values of Te Auaunga;
- The Town Centre character and identity of Pt Chevalier; and
- The heritage values of the Oakley Hospital Building.

Having reviewed the Clause 23 response from the applicant, I accept that some of these matters are in fact addressed in the Precinct’s policies: reference is made to Te Auaunga in Policy I334.3(14) and I have already addressed provisions relevant to Height Area 1. Moreover, the proposed provisions also address the relationship of new buildings to the internal streetscape of the Wairaka Precinct and its amenity values. I also note the following provisions:

Precinct Objective 10: *An integrated urban environment is created, which:*

- (a) *Incorporates high quality built form and urban design;*
 (as proposed to be amended through the plan change)

Policy 13: *Require new buildings to be designed in a manner that provides for a high standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.*

Even so, I have been unable to find any provisions that specifically address the potential effects of over-height development within the Precinct on neighbouring properties and streets outside it – including Carrington Road – or the wider urban landscape of Pt Chevalier. This results in significant reliance being placed on the ‘purpose’ of the height standards and evaluation of the effects derived from an infringement of those standards under AUP Rule C1.9(3) – without any clear guidance as to how such effects are to be evaluated.

Integration of the Precinct’s streets, pedestrian thoroughfares and cycleways with the North-western Cycleway, the Great North Rd / Te Auaunga Cycleway / walkway, Carrington Rd and Phyllis Reserve:

More positively, I accept that Precinct Plan 1 makes provision for formal linkages within the Precinct and beyond its boundaries, while – as the relevant Clause 23 response from BML explains – BUN60386270 (Centre/North), BUN60373075 (Wairaka Stream daylighting and pedestrian connection) and the Wairaka Precinct Stage 1 Project (South) establish the networks shown on that plan “*and anticipate the vesting of the majority of this network as public infrastructure, with a couple of minor exceptions such as the connection between the centre/north Spine Road and the south, which will be restricted to cyclists and pedestrians along the Waterview Shared Path. The Waterview Shared Path is not affected by the plan change.*”

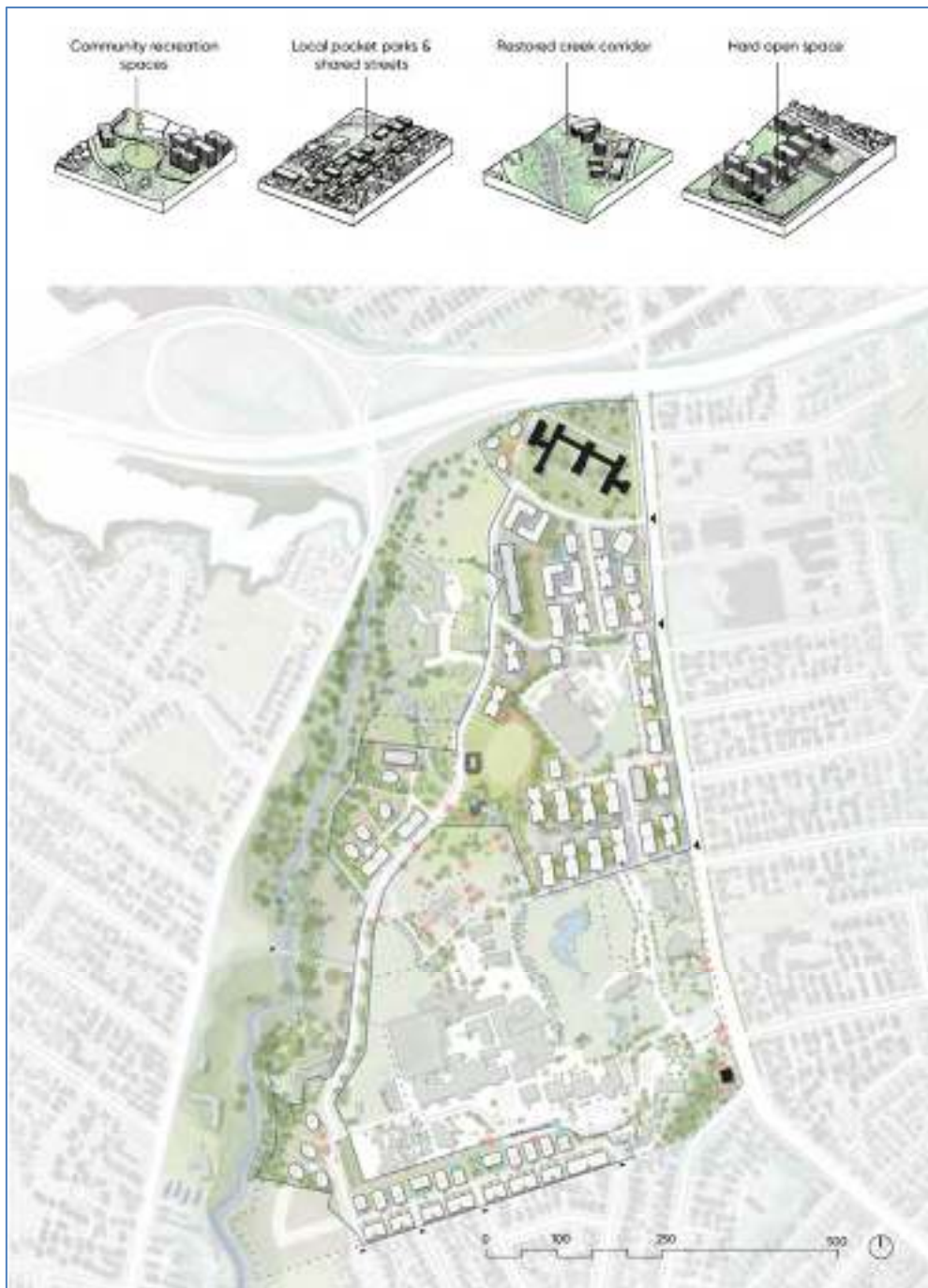
In my opinion, these connections would be highly beneficial, both for occupants and users of the Precinct and those who use the streets, cycleways and pedestrian corridors connected to it.

5. Other Matters:

The Precinct’s Public Open Spaces:

The current Precinct proposals and site preparation have removed the active sports grounds until recently associated with Unitec, while the number of dwellings potentially accommodated by PPC94 has conceivably almost doubled since 2019 (increasing from 2,500-3,000 dwellings to 4,000-6,000). Yet, the quantum of public open space indicated within the updated Precinct now sits at 5.1ha, down from 7.7ha

for a smaller, 26.6ha site or 8.9% of the fuller site (including the Taylors Laundry and F&B areas), as indicated in the Grimshaw "Reference Masterplan & Strategic Framework" of 2019 (see p.67 shown below).



Furthermore, even though the greater bulk of the proposed open spaces are clustered near the centre of the site, they appear to be quite linear and quite small-scale. For the most part, they appear to be designed to act as adjuncts to the proposed residential development, with limited utility other than as pocket parks and linkage spaces, although the Northern Open Space would continue to act as a visual frame and 'plinth' for the front of the former Oakley Hospital Building.

In fact, the majority of proposed open spaces would come under pressure on a number of fronts:

- Their own limited scale and elongated forms (including that which straddles the Unitec boundary);

- The sloping nature of the terrain, which becomes especially pronounced south of Farm Road; and
- The very significant development potential associated with the areas around the proposed open spaces.

This combination of factors suggests that the public open spaces proposed would be subject to significant over-shadowing on a daily basis, while the buildings in their immediate vicinity – up to 35m high – would be visually dominant to over-dominant relative to them. Such effects would be accentuated by the site’s east-west fall, which becomes more pronounced within the area between Recreation Drive and the residual Unitec campus south of Farm Road – in the vicinity of Grimshaw’s proposed Neighbourhood Park. In a more pragmatic vein, the physical viability of the spaces proposed could also become an issue because of the potential for overshadowing to inhibit grass growth and the drying out of grassed areas from Autumn to early Spring.

Indeed, as currently proposed, the public open spaces appear to have the configuration of a stream channel and catchment that could well end up being ‘canyonised’ by surrounding development (as shown in BML’s 3-dimensional modelling of the Precinct, below).



Just as important, they would not be large enough, or sufficiently varied – in an integrated fashion – to provide for a range of passive to active recreation opportunities that complement the residential ‘township’ around them. Furthermore, there appears to be little sense of connection between their location and that of the Sanctuary Mahi Whenua Community Gardens, the central ridge and Building 48, or other places / spaces already identified as being significant within the Precinct – other than the former Oakley Hospital Building (indeed, I understand that Fast-track Consent was granted for apartment building development on the first of these sites on the 2nd September 2024 by the EPA).

At best, therefore, it appears that the proposed open spaces would be ‘borrowed’ to enhance the amenity of the Precinct’s development matrix and provide overland flow paths, but would have limited appeal and utility in their own right. In turn, this appears likely to generate significant pressure on the more natural, passive, open spaces of Te Auaunga once the Precinct is fully occupied, as well as on Phyllis Reserve for active recreation – notwithstanding that reserve’s existing use by Metro AFC and the Metro Softball Club.

Turning finally to the protection of the values of the proposed open spaces, I note that new ‘towers’ in Heights Areas 1 and 2 must allow for adequate sunlight and daylight access to public open spaces and that over-height buildings more generally within the Precinct must ensure “*a reasonable level of sunlight access (measured at the Equinox) to open space areas*” [I334.8.1. Matters of discretion (1B)(c)(i)]. Yet, complying buildings within Height Areas 1, 2 and 4 could all significantly overshadow the proposed open spaces because of their location and configuration, together with the proposed height standards. In my opinion, this issue can only be rectified by expanding the scope of the RD Assessment Criteria to address the potential overshadowing effects of all buildings on public open spaces, irrespective of their compliance – or otherwise – with PPC94’s height standards.

Overall, therefore, I have very real concerns about:

- The quantum of public open space now proposed;
- Its configuration;
- The uncertain functionality and appeal of the proposed open spaces;
- The lack of integration between the proposed open spaces and locations / spaces of importance to the local community already;
- The potential for significant overshadowing and visual over-dominance effects in relation to Precinct’s more central open spaces; and
- The absence of a masterplan or similar blueprint to demonstrate how the proposed built forms, street network and open space would be integrated – perhaps similar to pages 54-97 of the Grimshaw ‘Reference Masterplan and Strategic Framework’ of 2019, which is now completely outdated.

The Precinct’s Existing Vegetation:

I have also considered the numerous submissions addressing the loss of mature trees across the Precinct already – from the Tree Council, but others as well. The former Unitec and Oakley Hospital campus has long been unusual for the wealth of tree cover found within it, much of that vegetation within and near Te Auaunga / Oakley Creek, but not exclusively so. Although some of the trees within the precinct are Protected Trees, as shown on Precinct Plan 2, most are not.

Regardless, many of the trees that have already been lost might have contributed to the future Precinct environment in a meaningful way, both biophysically and as elements that help to enhance the aesthetic appeal of new urban environments. In addition, they could have enhanced the Precinct’s ecological values, together with its ‘green credentials’, and lent it a sense of maturity that has already been significantly compromised.

Unfortunately, there appears to have been little real regard for such potential in the evolution of PPC94, perhaps driven by the limited level of tree protection applicable to the campus, but also a limited appreciation of some of its core values – notwithstanding Precinct Objective I334.2(6). Now, in looking to pick up the ‘pieces that remain’, I agree with the Tree Council that a strategy is needed as part of PPC94 to take stock of the remaining trees found within the Precinct (such as those near Gate 4) and address their integration with future development:

- At the interface with Te Auaunga;
- Within the future open space network;
- Within streets: and
- Within shared / communal spaces.

I consider that some form of updated masterplan – similar to the Grimshaw strategic document – would have assisted in this regard, but regardless consider that a strategy for tree retention and future planting needs to be developed and incorporated in PPC94.

Key Amenity & Heritage Features:

In a similar vein, the concerns expressed by submitters about the future of Sanctuary Mahi Whenua and the community gardens reflect wider concerns about the retention of typically quite small-scale features that are already meaningful, both in terms of the Precinct’s amenity values and its sense of place – for the local community and Unitec’s staff members and students alike.

Moreover, even though Objective I334.2(6) focuses largely on the retention of heritage values, it is not supported by associated policies that recognise such features and places, or their contribution to the ‘associative values’ and amenity values of the Precinct landscape.

Again, therefore, it is my opinion that PPC94 should address such sites, locations and values much more explicitly than appears to be the case at present, to protect those sites and places of value to the local (including campus) community.

6. Review Findings:

Despite the critical nature of this analysis, I support the broad approach adopted in relation to built development across the PPC94 ‘campus’. Yet, I also remain of the view that:

- The building configurations and heights currently accommodated within Height Area 1 are not appropriate;
- Associated provisions, addressing future development within Height Area 1, are not adequate;
- The height limits generally proposed across Height Areas 2-4 are appropriate, but those proposed down the edge of Carrington Road and part of Woodward Avenue (Height Area 4) remain too high, failing to offer an appropriate degree of transition from one side of that road corridor to the other;
- The PPC94 provisions fail to adequately address the effects of over-height buildings and other infringements on neighbouring properties and streets outside the Precinct;

- The Precinct’s proposed open spaces are quite limited in terms of their scale and functionality, lack adequate definition, lack connection to key locations and spaces of value to the local community, and could well have limited appeal more generally because of overshadowing and visual over-dominance associated with adjoining development;
- It is essential that such effects, together with the broader relationship of public open space to built forms, is addressed more rigorously than is the case at present in PPC94;
- Considerable uncertainty remains about the protection and retention (or otherwise) of features and sites within the Precinct that have significant amenity and community value; and
- Tree protection and management, together with future planting, should be integral components of the PPC94 strategy, but related provisions in this regard have a quite limited focus on the Precinct’s Protected Trees (under the AUP).

In addition to these points, I agree with many submitters that a masterplan would have usefully elaborated on the PPC94 strategy, helping to clarify both the elements that the Plan Change will deliver and their integration with one another. The Grimshaw *Reference Masterplan and Strategic Framework* provided such a blueprint that elegantly balanced the demand for residential intensification and related development, the site’s open spaces, and linkages to surrounding area of Pt Chevalier. However, that strategic document has been superseded by a significantly changed PPC94 proposal – not least in terms of the residential units and population that the Precinct is now designed to accommodate.

As Auckland’s largest brownfield development and perhaps the largest of its kind in the country, the Plan Change should be a model for such planning mechanisms in NZ. Unfortunately, it presently falls short of such lofty ambitions and therefore does little to allay many submitters’ concerns about PPC94. Consequently, much as I support the general tenor and many components of PPC94 and the general approach taken to residential intensification, I also retain significant concerns about key aspects of the PPC94 and its provisions.

Stephen Brown
Brown NZ Ltd



APPENDIX A: Summary of Clause 23 Responses

The relationship of new high-rise buildings to the former Oakley Hospital Building:

A new policy I334.3(14AA) is proposed as follows:

Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form.

How over-height development is to be assessed in terms of Tamaki Makaurau's "cityscape":

The use of the term 'cityscape' in I334.8.1(1B)(b)(i) gives the Council the discretion to consider these matters when assessing a consent application for development of buildings over 35m in height in this area. It is agreed that the term is wide-ranging in its meaning, however, not to the extent that it is 'meaningless' (as suggested in the clause 23 request). The broad meaning of the term will enable consideration of the design response of a taller building in Height Area 1 to the interplay of all those features that comprise the visual environment of a wider urban area, including landform and built form. This is considered to be an appropriate degree of additional design interrogation of taller buildings in Height Area 1 given their visibility, beyond that necessary for new buildings elsewhere in the precinct, and in order to create an integrated urban environment with high quality built form and design (consistent with precinct objective I334.2(10)(a)).

Why a new landmark is required under Matter of Assessment (1B)(b)(i), next to Pt Chevalier and Te Auaunga, when the Oakley Hospital Building is already a long-established 'landmark':

Height Area 1 enables the tallest buildings in the precinct with three tower typology buildings enabled at maximum heights of 72m, 54m and 43.5m respectively. Just as the relationship of the Former Oakley Hospital Building to Point Chevalier had a logic at the time, the Building's impressive scale and form in this part of the precinct, its proximity to the Point Chevalier town centre, along with other aspects of the Height Area 1 context, all contribute to this location remaining a logical place to provide for buildings that create height legibility in a far more urbanised Auckland.

Proposed matter of discretion I334.8.1(1B)(b)(i) states:

(b) building design and location:

(i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki Makaurau cityscape and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop;

This matter of discretion recognises that buildings of this height will establish a new landmark as part of the city's urban landscape. In this respect the skyline profile of such buildings will comprise an important part of the landmark qualities of the three tower buildings, either individually and / or in combination. The proposed matter of discretion (1B)(b)(i) seeks the assessment of any future proposal in this regard.

Height variation is one way to create legibility within the urban form of cities, to help wayfinding and the connection of people to place. Where buildings are taller, and often observed on the skyline, particular attention to the upper levels and top of the building in terms of architectural expression can enhance the quality of the contribution of those buildings to the cityscape.

Why Matter of Assessment (5)(d)(iv) addressing over-height buildings do not consider effects on:

- Local streetscape values;

- The natural values of Te Auaunga;
- The Town Centre character and identity of Pt Chevalier; or
- The heritage values of the Oakley Hospital Building.

These are matters and features which Council already has the ability to consider in accordance with the general matter of discretion to consider effects of infringement of standards, including the Height standard. The plan change does not change that approach, nor is it considered necessary to do so in order to appropriately manage potential adverse effects from over-height buildings within the precinct.

Council's discretion to assess the effects of buildings that are over-height is not limited to 1334.8.1(5)(d)(iv). This clause is part of the wider matters of discretion (1334.8.1(5)) that includes all those matters listed in Auckland Unitary Plan (Operative in Part) (AUP) Rule C1.9(3). Those matters are:

- any objective or policy which is relevant to the standard;*
- the purpose (if stated) of the standard and whether that purpose will still be achieved if consent is granted;*
- any specific matter identified in the relevant rule or any relevant matter of discretion or assessment criterion associated with that rule;*
- any special or unusual characteristic of the site which is relevant to the standard;*
- the effects of the infringement of the standard; and*
- where more than one standard will be infringed, the effects of all infringements considered together.*

Policy (14) under Built Form does not address the issue of a sympathetic relationship between new development and the scheduled, Oakley Hospital Building:

HUD requested Mr Wild of Archifact to undertake a review of the heritage provisions of the Former Oakley Hospital Building and in particular the juxtaposition of this building and the high rise development.

Policies (11) to (14B) addressing Height Area 1 do not address the 'exceptionality' of built forms to be realised within that Height Area – they should be more than just 'high quality':

The urban design analysis is that these criteria will result in the delivery of high quality buildings throughout the precinct including for the high rise buildings in the north-western portion of the precinct. The author of this comment seems to be drawing a distinction between 'high quality' and 'exceptional quality'. The AUP provides for other high rise tower buildings throughout the region In these locations, the plan refers to 'high quality'.

Policies (17) to (19) do not address the integration of the Plan Change site's streets, pedestrian thoroughfares and cycleways with the North-western Cycleway, the Great North Rd / Te Auaunga Cycleway / walkway, Carrington Rd and Phyllis Street Reserve:

With respect to connectivity, operative Wairaka Precinct Policy 19 (with minor updates proposed through the plan change) reads:

Establish a network of roads which give public access through the precinct and the pedestrian and cycling connections to the Oakley Creek Te Auaunga and Waterview pedestrian/cycle bridge.

Although Policy 19 does not list all the cycleways and walkways above, it should be read alongside Precinct plan 1, which makes provision for formal linkages between and within the precinct, and all the roads, cycleways, walkways and parks listed above, including south through the Ngāti Whātua land connecting to Phyllis Reserve, Carrington Road, and the Waterview Shared Path (as shown on the updated Precinct plan 1 provided with the clause 23

responses). Public access is not explicitly provided for in Policy 19 outside these key public networks, as scope has been left for neighbourhoods within the precinct to provide for their own logical local / internal connections.

However, the consented road, cycling and pedestrian networks in BUN60386270 (Centre/North), BUN60373075 (Wairaka Stream daylighting and pedestrian connection) and the Wairaka Precinct Stage 1 Project (South), establish the networks shown on Precinct plan 1, and anticipate the vesting of the majority of this network as public infrastructure, with a couple of minor exceptions such as the connection between the centre/north Spine Road and the south, which will be restricted to cyclists and pedestrians along the Waterview Shared Path. The Waterview Shared Path is not affected by the plan change.

The description below is of the updated Precinct plan 1, and the networks provided for in these consents. Precinct plan 1 shows the future network of roads, cycleways and walkways within the precinct

Policies (17) to (19) do not address streetscape values, both within the Precinct and on its margins – notably down Carrington Road:

HUD considers that the plan change as submitted already addresses this matter. The objectives and policies applying to the land are extensive as they relate to streetscapes both directly and indirectly. Those policies include the precinct provisions and underlying Business – Mixed Use zone provisions, including the following in particular:

Precinct Objective 10: An integrated urban environment is created, which:

(a) Incorporates high quality built form and urban design;

(as proposed to be amended through the plan change)

Policy 13: Require new buildings to be designed in a manner that provides for a high standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.

..... There are other objectives and policies that do address streetscape values, as set out above. These provisions set up the foundation/framework for what follows in the matters of discretion for new buildings (I334.8.1). In particular, Policy 13 directly references streetscapes. This applies to all roads (existing and new) including Carrington Road.

The Matters of Assessment for over-height buildings in I334.8.1(1B) are effectively the same as for those that comply with the proposed height controls:

In addition to I334.8.1(1B), Council's matters of discretion for considering the effects of over-height buildings are also listed in I334.8.1(5). This provision is discussed in detail in the response to clause 23 request L13.

I334.8.1(5) enables Council to undertake a broad assessment of the potential effects of an over-height building, including all those matters listed in the clause 23 request, both within the precinct and in respect of effects on areas outside it.

Matter of Assessment (5)(d)(vi) addressing buildings that fail to meet the precinct boundary setback control limits the assessment of effects to “neighbouring sites, building scale and dominance (bulk and location), and outlook and privacy”:

Assessing the effects of an infringement of the precinct boundary setback standard I334.6.6 is not limited to I334.8.1(5)(d)(vi). This clause is part of wider matters of discretion (I334.8.1(5)) that, via I334.8.1(5)(a), provide to Council the discretion to assess an infringement of I334.6.6 under Auckland Unitary Plan (Operative in Part) Rule C1.9(3).

Matter of discretion I334.8.1(5) is carried over from the operative Wairaka Precinct and is the provision within that operative precinct which specifies the matters to which Council's discretion is restricted in assessing proposed

developments and/or subdivision within the precinct that do not comply with listed standards, including I334.6.6 Precinct boundary setback.

As is discussed in detail in response to clause 23 request L13, the ability to use Rule C1.9(3) in the assessment of an infringement of a standard listed in I334.8.1(5), which includes standard I334.6.6, provides to Council a broad discretion to consider the potential effects of the infringement, including those potential effects referred to

Over-height development is proposed to be assessed against Policies I334.3 (14A) & (14B) which actively support 'taller buildings':

The provisions enable the effects of taller buildings in Height Area 1, and height infringing buildings more generally, to be evaluated via two pathways: matter of discretion I334.8.1(1B) and matter of discretion I334.8.1(5).

Matter of discretion I334.8.1(1B)

Assessment criterion I334.8.2(1B), which stems from matter of discretion I334.8.1(1B), enables assessment of the potential effects of the three taller height compliant buildings in Height Area 1 (of 43.5m, 54m and 72m height, as specified on Precinct plan 3) and also any building which exceeds the heights specified for the Height Areas in Precinct plan 3.

The criterion refers to Policies I334.3(13), (14), (14A), (14AA) and 14(B). Policies I334.3(14A) and (14B) set the foundation for the positive effects of taller buildings in the north western part of the precinct and increased height in the central and northern parts of the precinct. These policies are balanced against Policies I334.3(13), (14) and (14AA), which, together, enable an evaluation of the extent to which the potential adverse effects of this greater height are appropriately mitigated through place-responsive design.

Parks Memo (technical specialist report to contribute towards Council's section 42A hearing report)

01 October 2024

To: Peter Reaburn, Consultant Planner

From: Roja Tafaraji, Senior Parks Planner, Auckland Council

Subject: Private Plan Change – PPC94 for Wairaka Precinct – Parks Planning Assessment

1.0 Introduction

- 1.1 My name is Roja Tafaraji. I am a Senior Parks Planner in Parks Planning team, Department of Parks and Community Facilities (**P&CF**) at Auckland Council (**Council**). I am responsible for the assessment associated with open space provision relevant to this Private Plan Change (**PPC94**) from a Parks Planning perspective. The area subject to PPC94 is located within my management area being central-west of Auckland.
- 1.2 I hold a PhD degree in Planning from The University of Auckland, a Master of Urban Design from Iran University of Science and Technology, and a Bachelor of Architecture from Guilan University. I have more than 15 years of experience as an architect, urban designer, researcher, service and asset planning analyst, urban planner and parks planner in both Iran and Aotearoa New Zealand.
- 1.3 I have undertaken a review of PPC94 by the Ministry of Housing and Urban Development (MHUD) (the **Applicant**) on behalf of the Council in relation to the consistency of open space provision in PPC94 with the applicable regulatory framework. My review focusses on the proposed provision of open space, its alignment with relevant Council policy, and my own opinions in relation to the open space proposal in PPC94 including the quality of open spaces, connections between areas of open space and shading. I have read Mr Rob Greenaway's review and provide comment on his wider analysis. The focus of Mr Greenaway's report is on the open space services that should be provided to support community wellbeing and the quantum of land required to support those expectations including the functions and standards of the open space to be provided.
- 1.4 In preparing this Report, I acknowledge that I have read the Code of Conduct for expert witnesses contained in the Environment Court Practice Note 2023 and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Report is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.
- 1.5 I attended a site visit to parts of the plan change area accompanied by other Council staff, the processing planner, a representative of the Applicant (MHUD) and their agent (Tattico) on 25th of September 2023, prior to receiving the applicant's response to the further request for information under Clause 23 of Schedule 1 of the Resource Management Act 1991 (**RMA**). I have also relied on aerial images, my general knowledge of the area and application material to understand the environment at present.
- 1.6 In writing this Report, I have reviewed the following documents provided by the Applicant:

- Appendix 1- Updated Requested Plan Change
- Appendix 2 – Urban Design Report
- Appendix 3 – Landscape Assessment
- Planning Report including s23 assessment, Prepared by Tattico Ltd, dated 21 December 2022
- Unitec Reference Plan & Strategic Framework, dated Jun 2020
- CI 23 response 8 October 2023 package:
 - Attachment 05- Te Auaunga Precinct Open Space, Prepared by Tattico Ltd. & Boffa Miskell, dated 8 October 2023
 - Attachment 05.1- Te Auaunga: Precinct Plan 1 + Open Space Accessibility
 - HUD CI 23 Follow Up Question OS(F)1-OS(F)9 Final, Prepared by John Duthie of Tattico and Matt Riley and Rachel de Lambert of Boffa Miskell, dated October 2023
 - MHUD Final Plan change Package and CI 23 second response, prepared by John Duthie, dated 8 October 2023

1.7 Auckland Council documents that I have referred to include:

- Auckland Plan 2050
- Auckland Unitary Plan – Operative in Part, 2016 (**AUP**), including the AUP Regional Policy Statement (**RPS**)
- Open Space Provision Policy, 2016 (**OSPP**)
- Parks and Open Space Strategic Action Plan (2013)
- Parks and Open Space Acquisition Policy, 2013
- Auckland Future Development Strategy (2023-2053) (**FDS**)
- Albert Eden Local Paths (Greenways) Plan 2018, which sets out the greenway network for the area
- Albert-Eden Local Board Plan 2023
- Albert-Eden Open Space Network Plan (2018)

1.8 In my memorandum I have assessed the proposed open space provisions within Wairaka precinct and proposed changes to Wairaka Precinct plan by the Applicant, and provided advice on whether these provisions and changes are consistent with the regulatory framework for Parks and Community Facilities assessment. My analysis and advice are based on the following statutory and non-statutory documents which are relevant to acknowledge within the regulatory framework:

- The RMA, which at s229 and s230 requires the provision of esplanade reserves for the purposes of protecting conservation values and enabling public access and recreational use to or along any sea, river, or lake.
- The National Policy Statement Urban Development 2020 (**NPSUD**) which in Policy 1, sets out that well-functioning urban environments have good accessibility for all people between housing, jobs, community services, natural spaces, and open spaces, including by way of public or active transport.

- The AUP RPS, including Objective B2.7.1 which seeks that recreational needs of people and communities are met through the provision of a range of quality, connected, accessible open spaces and recreation facilities.
- The Auckland Plan 2050, in particular:
 - Outcome: Belonging and Participation, Focus area 1 refers to creating *safe opportunities for people to meet, connect, participate in, and enjoy community and civic life*. It is explained that people’s sense of belonging and home is tied to how their experience different places such as *streets, squares, parks and other public open spaces* in Auckland.
- Tamaki-Whenua Taurikura. Auckland Future Development Strategy (**FDS**) (2023-2053), which at Principle 3 refers to making efficient and equitable infrastructure investments, including for parks and community facilities.
- Albert-Eden Local Board Plan 2023, in particular where it refers to *“acquire open space where we are able, particularly through large-scale developments, and improve existing parks space through land exchanges reconfiguration and improving linkages and connections”* as part of the delivery plan for three years after the plan became operative.
- The AUP district plan framework, in particular:
 - Chapter H7 Open Space Zones – Objectives H7.2.(1) Recreational needs are met through the provision of a range of quality open space areas that provide for both passive and active activities and (2) The adverse effects of use and development of open space areas on residents, communities and the environment are avoided, remedied or mitigated.
 - Chapter E38 Subdivision Urban - Objective E38.2.3 Land is vested to provide for esplanades reserves, roads, stormwater, infrastructure and other purposes.
 - Chapter E38 Subdivision Urban - Policy E38.3(18) which requires that subdivision provides for the recreation and amenity needs of residents by (a) providing for open spaces that are prominent and accessible by pedestrians (b), providing for a number and size of open spaces in proportion to the future density of the neighbourhood; and (c) providing for pedestrian and or cycle linkages.
 - I334 Wairaka Precinct provisions - Objective I334.2(7), and policies I334.2(4).i, j and k, Open Space Policies I334.2(15), (16), and Pedestrian and cycle access, street quality and safety Policies I334.2(17), (18), (19).

2.0 Background and context

- 2.1 As outlined in the MHUD Planning Report and section 32 assessment prepared by Tattico Limited, dated 21 December 2022, MHUD lodged a private plan change request to rezone land within the current Wairaka Precinct and to amend the provisions within the existing precinct, including a request to rename the precinct to “Te Auaunga”.
- 2.2 PPC94 takes into account but excludes the Mason Clinic site. The Mason Clinic site has undergone a separate plan change (PPC75) requested by Waitematā District Health Board (WDHB). PPC75 included removal of “key open space (private)” and an indicative shared path on the southern and northern sites of the Mason Clinic site shown on the Wairaka Precinct Plan 1. The Plan Change was approved with modifications on 13 October 2023. This decision included the introduction of a new policy (Policy 15A) in order to mitigate the removal of open

space proposed through PPC75. MHUD lodged an appeal against the Council's decision on PC75 on 12 December 2023. The appeal challenged the rationale for the open space requirement in the operative Wairaka Precinct Plan (to be 7.1 hectares). An agreement was reached to resolve the appeal by way of a consent order, on the basis of amending the wording of Policy 15A, as shown below. The consent order was issued by the Environment Court on 17 September 2024.

(15A) Provide ~~at least 7.1ha of~~ open space in accordance with Precinct Plan 1 plus at least an additional 0.9ha key open space (private) within the precinct.

- 2.3 I was requested by the Council's Plans and Places department in January 2023 to review the PPC94 request in regard to provision of open space and amenity effects of the proposal. I issued my request for further information as per Schedule 1, Clause 23 of the RMA in February 2023 where I requested further assessment and information with regard to the provision of open spaces within the precinct from both quantitative and qualitative perspectives, comparing the current provision when considering the context of the built environment and population envisaged by this plan change request. Then I reviewed further information received from the Applicant in July 2023, and provided a further information request pursuant to Clause 23 of Schedule 1 of the RMA. Subsequently, in October 2023, the applicant provided an updated Open Space assessment along with other supporting documents, presenting an assessment and rationale for the proposed open space provision as part of this plan change. After reviewing all the information provided, I formed my opinion which contributes to the assessment provided in this report.
- 2.4 Wairaka Precinct, the subject of this PPC, is bordered by Carrington Road, the Northwestern Motorway, Te Auaunga/Oakley Creek and a number of roads and properties in the Woodward Road corridor in the south.
- 2.5 I rely on the details of the land's ownership within this PPC provided by the Applicant within section 32 assessment report prepared by Tattico Limited, dated 21 December 2022.

3.0 Key Parks and Community Facilities Issues

- 3.1 In this section, I provide my assessment from a Parks Planning perspective with a focus on the outcome envisaged for the community from an open space perspective, resulting from this PPC by considering the context of the site within its surrounding environment.
- 3.2 This assessment covers the open space provision in terms of quantity and quality of those open spaces proposed as part of PPC94 on approximately 33.8ha of the precinct available for development (as per the statement provided by the Applicant) as well as the connection between these open spaces within and outside the precinct area.

Open Space provision

- 3.3 The Parks and Open Space Strategic Action Plan (**POSAP**) sets out Auckland Council's priorities for investment in parks and open spaces in two separate sets of policy documents including the OSPP and Parks and Open Space Acquisition Policy. The OSPP sets out provision targets for different types of open space (recreational and social) across the region. It is intended to give effect to the Council's POSAP, which is referenced in Appendix 1 of the AUP.
- 3.4 The OSPP has an advisory and directive role when it comes to Auckland Council's investment, asset planning, spatial planning and acquisition activities in open space. However, it does also provide metrics for provision of open space within a successful open space network throughout the Auckland region.

- 3.5 While acknowledging the direction provided by the current policy in terms of any metric for provision of open space, I also appreciate the need to consider “*context specific factors*” for provision of open space that respond to community need. The following statement from the OSPP outlines this consideration clearly:

A successful open space network responds to the local context. Variation in the provision of open space will occur across Auckland. Consideration of context specific factors (as identified in Figure 4) is critical when applying the policy in order to create high quality open space networks that respond to community needs.

- 3.6 The specific context to PPC94 relates to the level of intensification that is anticipated as a result of implementing the proposed plan change in the precinct area as well as the wider environment. Also, it is important to acknowledge the built character of the precinct as well as the surrounding area which is already under construction with medium-high density developments.
- 3.7 For the purpose of this assessment, I consider the receiving environment of the plan change area to be the area within Wairaka precinct as well as the existing adjacent open spaces (Te Auaunga and Oakley reserve) considering their associated AUP zoning, overlays and development restrictions.
- 3.8 In my view, the approved Fast Track (**FT**) applications within the precinct area also provide “*context specific factors*” which are relevant to accommodating considerable increase of population residing and working within the precinct. In my view, there has been little to no consideration to provision of functional public open spaces as part of those FT application packages.
- 3.9 The current operative Wairaka Precinct identifies a total of approximately 7.5 ha open space out of which 0.36 ha is to be vested in Auckland Council as a neighbourhood park. The balance of approximately 7.1 ha is referred to in operative Precinct Plan 1 as “key open space (private)”.

Figure 1. Current open space requirement, source: I334.10.1 Wairaka: Precinct plan 1



3.10 The Applicant refers to 5.1ha¹ of public open space within the precinct proposed by PPC94. However, Mr. Greenaway in his report has listed open space area figures provided in table 4 which are based on figures from the Megalot consent² and exclude a stormwater area. There are differences between Mr. Greenaway’s figures and the applicant’s figures provided in attachment 05- Open Space Assessment prepared by Tattico and Boffa Miskell dated 8 October 2023.

¹ This figure is based on the material provided by the Applicant in attachment 05- Open Space Assessment prepared by Tattico and Boffa Miskell dated 8 October 2023.

² FT application for the Listed Project Carrington Megalot Subdivision (SUB60422392) approved on 25 October 2023

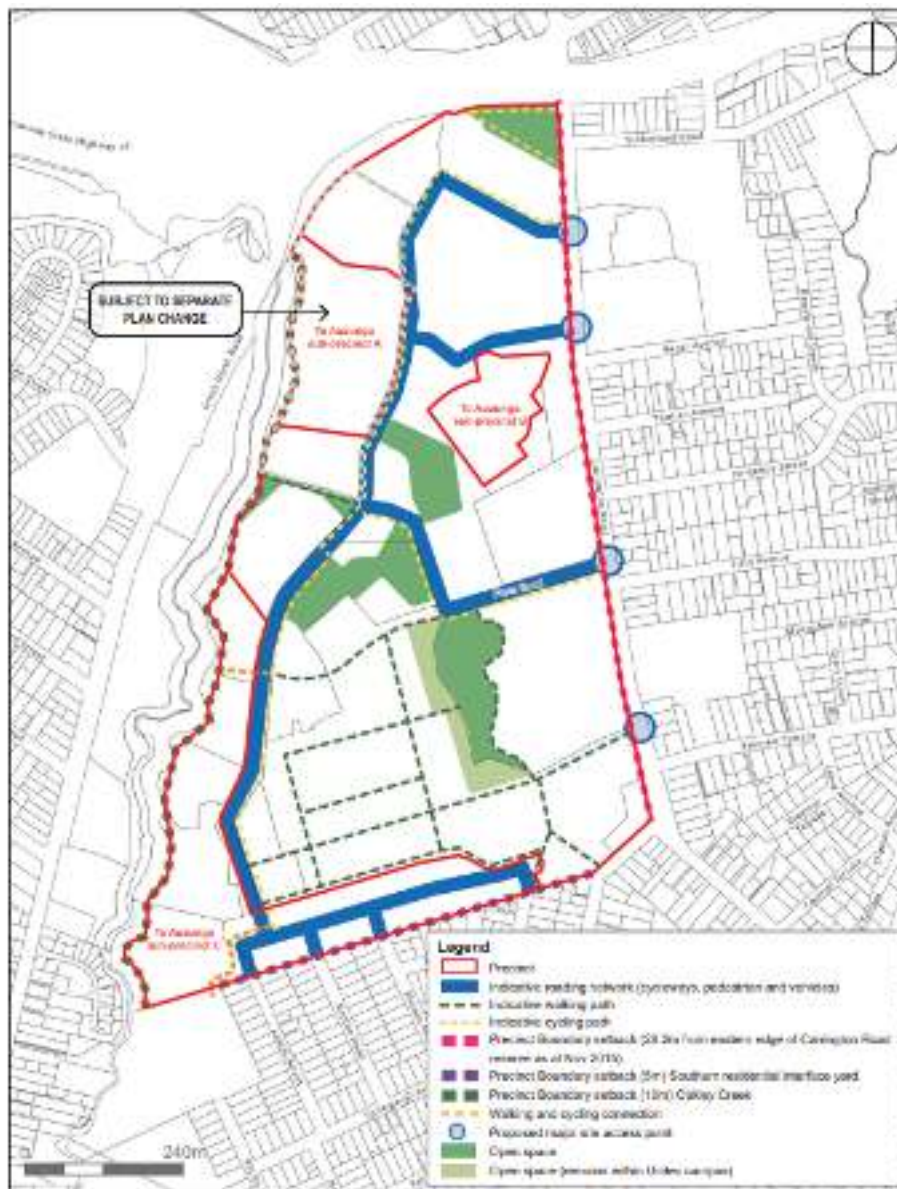
Table 4: Refined summary of proposed total open space provision (ha)³		
	PPC94	Operative Plan
<i>Northern Open Space (Oakley Hospital)</i>	0.7551	0.7551
<i>Northern Neighbourhood Reserve</i>	0	0.3611
<i>PC75 Policy 15A</i>	0	0.9
<i>Central Open Space</i>	0.9773	0
<i>Te Auaunga access</i>	0.3246	0
<i>The Knoll Open Space</i>	1.4707	2.0157
<i>Southern Open Space (exc 1.02 ha Unitec)</i>	1.0364	2.5574
<i>Stormwater</i>	0	0
Totals	4.5641	6.5893
Rounding	4.6	6.6

3.11 The proposed open spaces within the precinct by PPC94 are distributed within five key open spaces as listed below:

1. North Open Space;
2. Central Open Space;
3. Te Auaunga Access Park;
4. Knoll Open Space;
5. Southern Open Space.

³ This table is from Mr. Greenaway's report.

Figure 2. Proposed open space requirement, source: I334.10.1 Te Auaunga: Precinct plan 1



3.12 According to the figures provided in Mr. Greenaway’s report, the proposed open space would comprise approximately 4.6ha of open space which the Applicant sees as being public open space, subject to the Council agreeing to the acquisition of this land.

3.13 The Applicant refers to the proposed open space representing a ratio of approximately 1ha per 1,000 dwellings.

3.14 The AUP RPS, at B2.7 Open space and recreation facilities has the following Objectives and Policies:

B2.7.1. Objectives

- (1) *Recreational needs of people and communities are met through the provision of a range of quality open spaces and recreation facilities.*
- (2) *Public access to and along Auckland’s coastline, coastal marine area, lakes, rivers, streams and wetlands is maintained and enhanced.*

(3) *Reverse sensitivity effects between open spaces and recreation facilities and neighbouring land uses are avoided, remedied or mitigated.*

B2.7.2. Policies

(1) *Enable the development and use of a wide range of open spaces and recreation facilities to provide a variety of activities, experiences and functions.*

(2) *Promote the physical connection of open spaces to enable people and wildlife to move around efficiently and safely.*

(3) *Provide a range of open spaces and recreation facilities in locations that are accessible to people and communities.*

(4) *Provide open spaces and recreation facilities in areas where there is an existing or anticipated deficiency.*

(5) *Enable the development and use of existing and new major recreation facilities.*

(6) *Encourage major recreation facilities in locations that are convenient and accessible to people and communities by a range of transportation modes.*

(7) *Avoid, remedy or mitigate significant adverse effects of land use or development on open spaces and recreation facilities.*

(8) *Avoid, remedy or mitigate significant adverse effects from the use of open spaces and recreational facilities on nearby residents and communities.*

3.15 AUP subdivision Policy E38.3(18) also requires that subdivision provides for the recreation and amenity needs of residents by (a) *providing for open spaces that are prominent and accessible by pedestrians (b), providing for a number and size of open spaces in proportion to the future density of the neighbourhood; and (c) providing for pedestrian and or cycle linkages.*

3.16 While the AUP map does not show any open space zoned land within the precinct area, once any open spaces get vested through acquisition, the plan may need to be updated to show those acquired open spaces with their own zoning. The objectives and policies in Chapter H7 Open Space Zones within the AUP are set out that open spaces meet recreational needs *“through the provision of a range of quality open space areas that provide for both passive and active activities”* as well as avoid, remedy or mitigate any *“adverse effects of use and development of open space areas on residents, communities and the environment”* (Objectives H7.2(1)&(2)).

3.17 The Albert-Eden Open Space Network Plan particularly refers to growth related development with a reference to redevelopment of the Unitec site at Carrington Road which would *“add strain, but also potential opportunities for the open space network”*. It also refers to broad gaps in provision of neighbourhood parks and suburb parks across the local board area.

3.18 Acknowledging the need to cater for growth and respond to urban intensification, the Albert-Eden Open Space Network Plan recommends that a combination of measures must be taken to improve the quantity(provision) and quality of open spaces in order to:

- *identify where more parks could be acquired.*
- *identify open space which has limited potential to deliver recreational and ecological outcomes.*
- *identify the potential for improved connectivity within the existing open space network.*
- *improve the spatial arrangement and developed quality of existing parks.*
- *investigate opportunities to re-purpose or for shared-use of other public and private open space land.*

3.19 As per the statement of the Applicant for PPC94 in attachment 05 provided for open space assessment, the proposed Precinct has *“a modelled population of 11,200-12,600 compared to the Wairaka Precinct with an expectation of 8,200”*. This will provide for a ratio of 4.25 sqm of

open space per person. This ratio takes into account both recreational and stormwater function open spaces.

- 3.20 By providing a comparison between the current and proposed open space provision within Wairaka Precinct in attachment 05, the Applicant also states that the open space provision within the proposed plan change aims for 4.5ha of public open space (subject to Council's acquisition) comparing to 0.36ha of public open space within the current precinct plan. The Applicant, however, has taken the acquisition of all those open spaces (~4.5ha) as granted.
- 3.21 In the further information requests under Clause 23 of Schedule 1 of the RMA, I included a request for clarification of any provision within the precinct for sporting facilities to provide for the community enabled by the proposed provisions. It is noted in this respect that the former Unitec campus offered two sportsfields and a recreation centre with two indoor courts – all of which have already been closed and lost to the network without replacement provision.
- 3.22 In its responses, the Applicant gave a clear indication of not supporting the provision of a sportsfield within the PPC area and stated that “the precinct should focus on serving the new community as well as being part of the walkable amenity of the new community, linking with the adjacent walkway”.
- 3.23 I agree that the provision of walkways within the precinct, linking with the adjacent walkway, would contribute to promote active behaviour of the community. However, I consider that a variety of open spaces could create different active behaviours to benefit the community residing inside and outside the precinct to meet their informal recreational needs.
- 3.24 According to the Albert-Eden Sport & Active Recreation Facility Plan Summary Report (2021), the Albert-Eden Local Board area is already under pressure in provision of sportsfields and sporting facilities. In my view, the Unitec site redevelopments being undertaken and potential future developments implementing the intensification on the site, enabled by this plan change, would result in more people living in an area without considering their needs to be met.
- 3.25 The current Wairaka Precinct (I334) outlines particular attributes to contribute to the amenity of the precinct and the surrounding area, which should be retained throughout the development of the precinct. These include the following:
- *The significant ecological area of Oakley Creek;*
 - *An open space network linking areas within the Wairaka Precinct and providing amenity to neighbouring housing and business areas;*
 - *A network of pedestrian and cycleway linkages that integrate with the area network;*
 - *Retention of the open space storm water management area which services Wairaka and adjacent areas, and the amenity of the associated wetland;*
 - *The Wairaka stream and the landscape amenity this affords, and*
 - *The Historic Heritage overlay of the former Oakley Hospital, and identified trees on site.*
- 3.26 In the proposed changes to the precinct plan as part of PPC94, the Applicant proposed to retain the above noted attributes to a great extent. I do not consider, however, that all the above attributes would be achieved through PPC94, particularly in regard with providing amenity to neighbouring areas through provision of a connected open space network.
- 3.27 The policies relevant to Open Space in the proposed Precinct are proposed to stay the same as for the current precinct to “Provide for public open space, including a neighbourhood park in the northern portion of the precinct” (I334.3.(15)). I do not consider this policy appropriate as it does not quantify the amount of open space needed for the level of intensification and

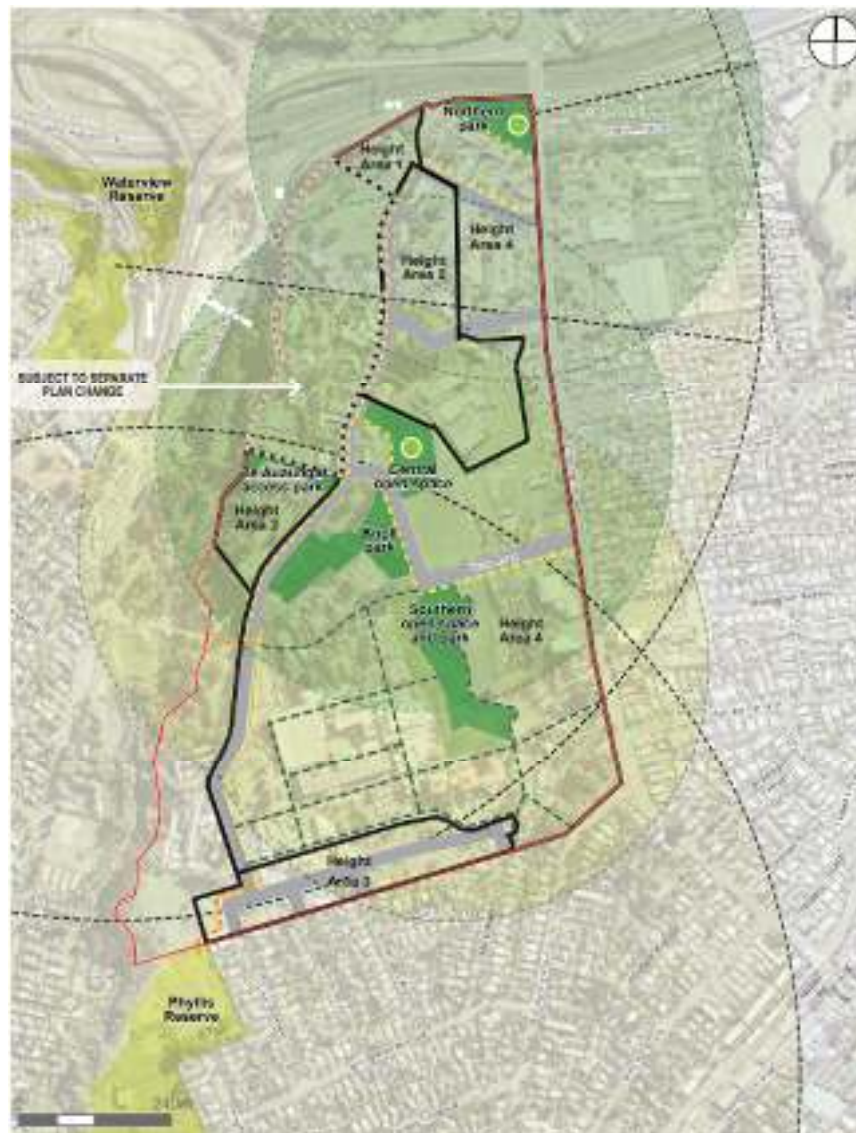
population that this plan change would envisage for Wairaka Precinct. In my view, an open space policy in the precinct must be consistent with the needs of the community that are envisaged to live in the precinct. I am concerned that while PPC94 allows for considerable intensification within the precinct area, it does not take that into account relevant open space policies in order to meet the (amenity) needs of the community in the precinct.

- 3.28 In the responses from the Applicant to open space relevant requests under Clause 23 of Schedule 1 of the RMA, the increase in the scale of potential development resulting from the proposed plan change within the precinct, is considered by the Applicant to be “*moderate*” while acknowledging the increase to be from 500 to 1,000 more dwellings than what is envisaged by the operative Wairaka Precinct. I do not agree with the Applicant on their interpretation of the scale of potential development enabled by the proposed plan change as being “*moderate*” as it could be very different depending on the type/size of the dwelling and the household it would accommodate.
- 3.29 Eventually, apart from the function of the open spaces proposed in PPC94 (which will be discussed further in my report), I agree with the conclusions reached by Mr Greenaway in his report and consider the quantity of proposed open spaces, which is noted to be of the ratio of approximately 1ha per 1,000 dwellings, is not sufficient to meet the needs of the growing population inside and outside the precinct.
- 3.30 In my view, PPC94 fails to demonstrate that necessary community infrastructure will be provided in relation to open space provision as consideration has not been given to the considerable increase in the population residing within the precinct as well as the wider area.

Open Space connectivity

- 3.31 The operative precinct provisions also require provision of well-connected public open spaces as per the following policies of the operative Wairaka Precinct:
- 1334.3(15) Provide for public open space, including a neighbourhood park in the northern portion of the precinct.*
- 1334.3(17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages, open space and plazas within the precinct.*
- 3.32 The Albert-Eden Greenways Plan also “*aims to improve walking, cycling and ecological connections*” across the local board area.
- 3.33 Attachment 05, provided in the Application documents for open space assessment refers to an “*extensive walkway and cycleway network*” to be provided “*between the open space areas and to/from the wider urban area*”. However, my assessment of the proposed open spaces within the precinct is that there is a gap between the Northern Park and Central open space proposed on the proposed precinct plan that is not proposed to be linked by any connections.

Figure 3. Snippet from Precinct Plan 1 + Open Space Accessibility provided in Attachment 05.1



- 3.34 In a number of approved FT applications within the precinct, there is consideration of pedestrian linkages through the sites in order to provide pedestrian connections via a public access easement over privately owned lots.
- 3.35 The indicative roading network on the proposed precinct plan seems to align with the approved roading network as identified in the FT application for the Megalot subdivision. The approved FT application shows a Spine Road, creating a strong north-south (vehicular) link but does not provide connection to the Northern open space.
- 3.36 The indicative roading network and shared paths shown on Precinct Plan 1 do not provide a clear connection between the open spaces proposed in PPC94 to contribute to the open space network within and outside the precinct. While there seems to be an east-west connection indicated on the proposed precinct plan, there is no clear north-south connection which provides a link between the northern open space and other open spaces within the precinct.

Open space relocation

- 3.37 PC75 resulted in the removal of an area of key open space (private) and a shared path from the Mason Clinic site. The replacement location for either the open space or the shared path, however, has been only addressed in PPC94 through distribution of open space between different detached open spaces to make up a total of the open space land (~1.2ha) that was required by the operative Wairaka Precinct plan.
- 3.38 The assessment provided in attachment 05 of the Application documents provides a comparison between the original open space in the Mason Clinic site and the open spaces provided to make up the loss of that open space within the precinct. According to the Applicant's assessment, the relocated open space comprises the proposed central open space (~1ha) and the walkway connection (~0.3ha). While I appreciate potential positive recreational outcomes relative to the central open space and positive ecological outcomes relative to the walkway connection, I am concerned that all of these outcomes are subject to the Council's acquisition of those open spaces.
- 3.39 Acquisition of these areas of ecological benefit is not an appropriate mechanism to justify the provision of open space as it is likely not promoting the intended active and passive recreation intended to address the need of the future community that will reside in the area. In my opinion, where these areas are required, an alternative mechanism should be applied via a precinct provision to ensure those outcomes are achieved and especially in the instance where the Council will not acquire those lands to become public open spaces.

Shading effects

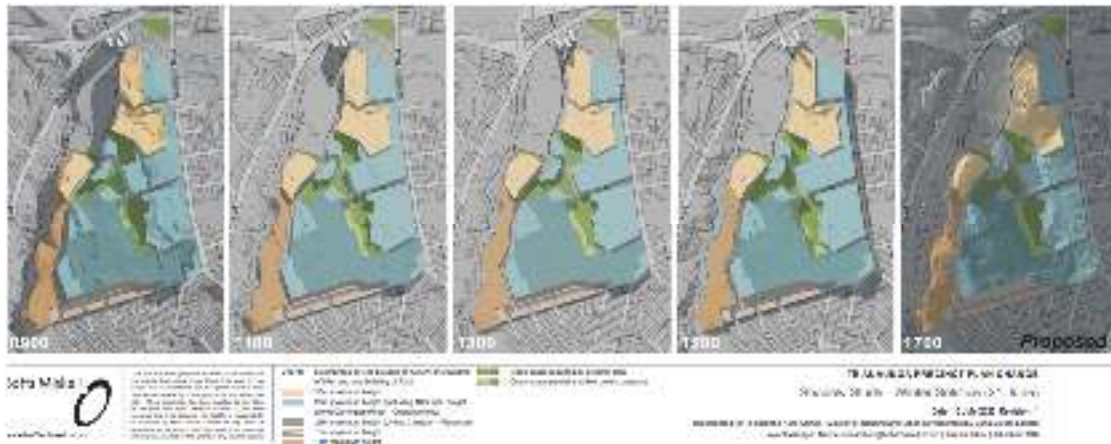
- 3.40 The Applicant proposes a new policy relevant to *Built Form and Character* in the proposed Precinct for provision of additional height in different parts of the precinct particularly in order to:
- "provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga"* (I334.3.(14A)).
- 3.41 While it is important to acknowledge the need for greater housing options for the community, one should appreciate that amenity is not limited to housing options only. According to section 2 of the RMA (Interpretation), *"amenity values means those natural or physical qualities and characteristics of an area that contribute to people's appreciation of its pleasantness, aesthetic coherence, and cultural and recreational attributes"*. On the basis of this interpretation, it is my view that open space from both quantitative and qualitative perspectives, which provide for recreational attributes of an environment, would also contribute to the *amenity values* of that area.
- 3.42 While the maximum height of the buildings within the operative Wairaka Precinct is 27m high over the majority of the precinct, PPC94 proposes for four height areas over the precinct area as listed below:
- *Height Area 1: 35m, except that three buildings may exceed this height: one building up to 43.5m, one building up to 54m and one building up to 72m*
 - *Height Area 2: 35m*
 - *Height Area 3: 11m*
 - *Height Area 4: 27m*

Figure 4. snippet of Precinct Plan1+Open Space Accessibility map showing proposed height areas within the precinct



- 3.43 The Applicant for PPC94 considers in attachment 05 provided for open space assessment, that there will be “very low to low” potential adverse effect from additional shading resulting from development within the increased height areas on adjacent open spaces within the precinct area.
- 3.44 A Shadow Study prepared by Boffa Miskell, Revision 1, dated 10 July 2023, shows that should the land within the precinct be fully developed as enabled by this plan change proposal, there will be a concerning level of overshadowing on the open spaces particularly within the centre of the precinct during Winter Solstice period.

Figure 5. Snippet of Shadow Study-Winter Solstice (21 June) prepared by Boffa Miskell dated 10 July2023, Revision 1



3.45 Despite a request from the Council under Clause 23 of Schedule 1 of the RMA, the Applicant did not provide any master plan demonstrating any potential development configuration and a schematic view of the relationship between open space and built environment within the precinct led by the proposed plan change for Wairaka precinct. Therefore, in my view it is not clear how the proposed open spaces could be potentially affected by the proposed (increased) height of potential developments within the precinct.

Open space (quality) analysis

3.46 I understand that the plan change is proposed as a private plan change to the AUP and relevant to its requirement. Acquisition of any open space does not lie under the plan process and is a separate process. Therefore, I consider discussion around acquisition and vesting is not relevant to the process of the plan change and the areas of open space which are appropriate in light of the open space policy framework. Any acquisition process would commence when there is a future development along with clear master planning on the site with more details provided.

3.47 In this section, however, I provide an assessment of proposed open spaces which may be also of consideration during the acquisition process. For the purpose of this assessment, I provide site specific analysis of each open space proposed within the total approximate of 4.5 hectare of open space which are noted by the Applicant to be subject to Council’s acquisition:

- Northern Open Space – ~0.8ha

3.48 The Northern Open Space aligns with the requirement of the current precinct, and it does provide for some quality open space functions and borders the Northwestern Cycleway on its northern boundary. However, there are some challenges with this open space which may be constraints considering it as a neighbourhood park from a policy perspective:

- The historic heritage overlay on the site may constrain future development within the open space.
- The size of the open space free of any building or structure within the extent of the northern open space may not create usable open space (30x30 kick ball space) required for recreational purposes while may also create some concerns from the lens of Crime Prevention Through Environmental Design (CPTED).
- There is no clear connection between the northern open space and the rest of the open space network within the precinct.

- The public frontage of the proposed open space interfaces with an arterial route to the east which is not supported from an open space provision policy perspective.
- Central Open Space – ~1ha
- 3.49 Central Open Space in the centre of the precinct meets the majority of the criteria considered for Council’s investment in open space network. I recommend a park edge road to be provided on the eastern side of the park to emphasise on the park’s public frontage, enhance connectivity to the park and promote passive surveillance to and from the park.
- 3.50 The rest of proposed open spaces proposed as part of PC94 (Knoll Open Space, Southern Open Space, and Te Auaunga Access Park) are considered only from a connectivity perspective as they lack provision guidelines for recreational purposes.
 - Knoll – ~1.5ha

3.51 While acknowledging that this open space functions as a connection and linkage between central and southern open space, I do not consider this as a functional open space for recreational purposes. It is due to the steep contour of the site (very limited flat area of approximately 0.2ha with a gradient of at least 6%), being heavily vegetated by established and notable trees on the site, and the poor shape of the site which does not provide for 30mx30m kickable area.

3.52 The Knoll, therefore, does not meet the criteria for the council’s investment from a policy perspective.
 - Southern Open Space (excluding ~1 ha Unitec open space) – ~1ha

3.53 The Applicant refers to this open space with a “dual function”. From an open space provision perspective, however, this open space could only function as a drainage reserve and must be totally considered for vesting to the Council's Healthy Waters department. Considering the size and the flooding on the site, the Southern Open Space does not meet the provision policy to be considered for recreational purposes.

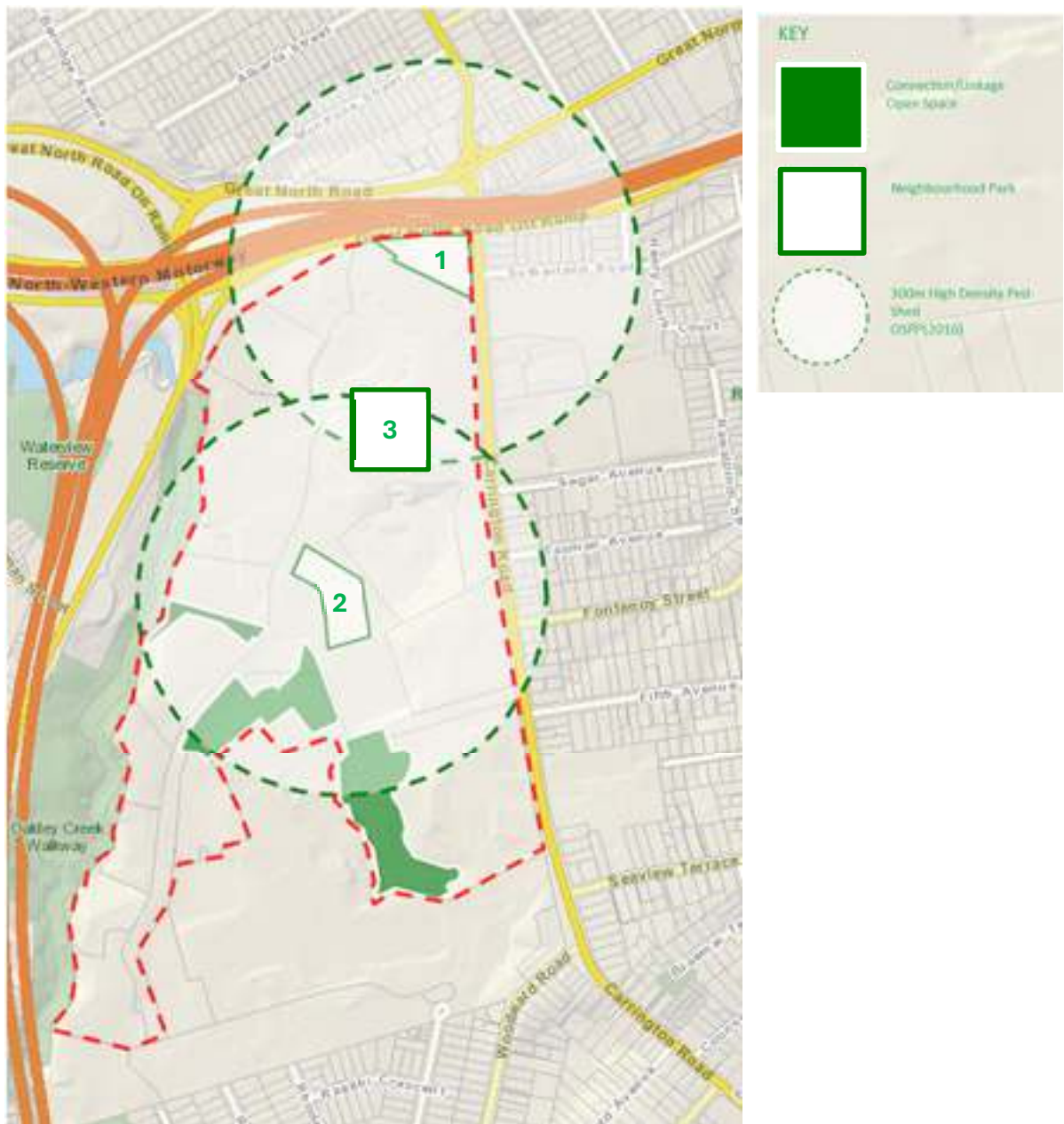
3.54 The proposed precinct plan 1, provided by the Applicant, also shows an open space dedicated to Unitec adjacent to the south open space(~1ha). While I have not considered the ownership of open space in assessing the outcome anticipated by this Plan Change, I raise the issue of management, accessibility, and safety where two differently owned open spaces adjoin. I recommend however these matters are to be clarified and resolved once a resource consent is lodged for a proposed development in that area. Regardless of their ownership/management, I recommend the open spaces be publicly accessible.
 - Te Auaunga Access Park – ~0.3ha

3.55 As stated by the Applicant in attachment 05, this open space provides access from Spine Road to Te Auaunga walkway, so it is assumed that it is to function as a road to reserve accessway. It is also acknowledged that this open space lot was included as ‘lot 3’ in the approved fast-track mega lot subdivision referred as SUB60422392. From an open space connection perspective, it is acceptable to provide a connection to Te Auaunga walkway as there seems to be one existing path connection to the wider Oakley Creek network. The Central Open Space can also benefit from this connection subject to some design changes to the asset as the

eastern portion is subject to flooding. The access will provide for an appropriate width (10m wide at its narrowest point) to allow for amenity, CPTED, sightlines and paths/planting.

- 3.56 In addition to the above open spaces, I support the need for the provision of another open space as a neighbourhood park which I consider is necessary to meet Council’s parks provision policy from a catchment perspective. The following mock up plan (Figure 6) shows three open spaces identified as potential neighbourhood parks contributing to the open space network within the precinct along with other open spaces identified as those providing for other purposes within the precinct.

Figure 6. Mock up plan prepared by the author showing the location of potential three neighbourhood parks along with other open spaces within Wairaka precinct.



- 3.57 The third open space located on Lot 6 (approved under mega lot subdivision FT application #SUB60422392 (see Figure 7) must be provided for a minimum of 5000m² to meet the open space provision policy. The rationale for the need for a third neighbourhood park is based on the necessity to get a connected open space network that is accessible to the public.

Figure 7. (to the left) Diagram prepared by Council's acquisition team to show the location of potential open spaces to be considered for acquisition within the precinct. (to the right) Snippet of the approved scheme plan stage2 for mega lot subdivision FT application #SUB60422392 showing the indicative location of the third neighbourhood park with a black cross within Lot 6.



3.58 The details around the acquisition of this neighbourhood park however would be a discussion to be undertaken when a resource consent is lodged for that portion of land.

3.59 In order to ensure that this third public open space would be provided, I recommend the precinct plan to be updated and a provision requirement in the precinct plan to be included ensuring that open space is provided at the time of any further subdivision in that section as shown indicatively on Figures 6 and 7.

4.0 Submissions

- 4.1 Approximately 60% of the total 229 submissions refer to issues of open space in PPC94. This is the most frequently referenced individual issue among the submissions to PPC94.
- 4.2 Mr. Rob Greenaway addresses submissions in regard to open space as well as the amendments sought by the submitters. I have read Mr. Greenaway's assessment. To avoid duplication, I generally agree with his summary of the submissions and conclusions.
- 4.3 I refer to the topics of the submissions and amendments sought by submitters summarised by Mr. Greenaway in Table 2 of his report. Below are some additional comments in relation to these submissions:

Provision of more open space

- 4.4 I support the submissions who raised concern around the quantity of open space proposed within the precinct relevant to submission items 1, 3, 6 and 13 in Table 2 of Mr. Greenaway's report. I agree with the analysis that Mr. Greenaway has provided to provide a comparison between the operative and the proposed precinct plan in regard to the total open space area per population and dwellings. I support including a provision in the precinct to require a specific quantity of open space within the precinct based on the resident population or number of the dwellings.

Mahi Whenua Sanctuary Gardens

- 4.5 I agree with the analysis provided by Mr. Greenaway in regard to the submissions expressing concerns around the value of Mahi Whenua Sanctuary Gardens and their important function as community gardens promoting mental and physical health within the community. These submissions are relevant to items 2, 3, 6 and 11 in Table 2 of Mr. Greenaway's report.
- 4.6 I also agree with Mr. Greenaway that there is a lack of clarity in the proposed PPC94 material around any similar opportunity within the proposed open spaces as a result of not having a master plan for the whole precinct.

Building 48, The Knoll, trees and the stormwater function of the Southern Open Space

- 4.7 This topic comes out of submission items 4, 5, 6, 7 and 8 in Table 2 of Mr. Greenaway's report. I agree with the analysis provided by Mr. Greenaway that while the concerns raised by these submissions could be resolved when more details are provided at the resource consent stage, future open space opportunities will depend heavily on the capability of the underlying landform and the proposed plan change does not acknowledge the function of features such as existing mature trees and the Mahi Whenua Sanctuary Gardens and their values through the objectives and policies of the proposed precinct plan.
- 4.8 In addition to the points stated by Mr. Greenaway in his report, I support the submissions that raised concern on including the Southern open space as a (recreational) open space where the primary function of that land is to serve stormwater functions. The Southern Open Space, according to the council's geomaps is subject to flooding which would not meet the criteria from a provision policy perspective for recreational open spaces.



4.9 In summary, I support the submission points where quantity as well as quality of open spaces were raised as main concerns for the submitters. I also agree with the submitters' concerns around not recognising the value and function of Maha Whenua Sanctuary Gardens to the current and future community. Finally, I support the importance of a masterplanning where more clarification could be provided around various opportunities for provision of different types of quality open spaces within the precinct which would not only meet the needs of the residing community with the precinct but also provide options to contribute to the open space network in a wider area.

4.10 I also understand that there are other submissions points in addition to what have been summarised by Mr. Greenaway in his report such as zoning/provisions where the submitters made submissions to recommend for new/amended objectives and policies which require provision of quality and quantity of open spaces "*commensurate with the level of intensification planned both within the precinct and the surrounding suburbs*". I support this submission point as I consider inclusion of relevant new/amended objectives and policies necessary in order to ensure amenity needs of the community are met within the Precinct and the surrounding area.

5.0 Conclusions and recommendations

5.1 In my view, I consider the Applicant's approach to provision of open space within the precinct does not meet the recreational and amenity needs of the community as required by the Auckland Plan and other council policy documents and guidelines. I reach this view on the basis of the following:

- Regarding the proposed quantum of open space, the Applicant does not appear to take the considerable increase in the population into account resulting from proposed rezoning of the precinct. Indeed, PPC94 provides for less open space in total compared to what is required by the operative Precinct plan (~4.6ha proposed by PPC94 versus ~6.6ha required in operative Precinct Plan 1).
- Regarding the proposed outcome from an open space perspective, the Applicant heavily relies on the acquisition of open space to be owned by Council. This is despite the fact that the discussion around any acquisition and subsequent public ownership

does not belong to the process of a plan change, and that a plan change must envisage an outcome achievable for the community independently of other processes.

- 5.2 Considering the foreseen intensification within the precinct area as well as in the wider environment, I suggest that a rule is provided supported by a relevant objective and policy in the precinct plan to ensure an integrated approach providing for the open space provision and its network required by the precinct plan.
- 5.3 I also recommend adding a relevant objective and policy for open spaces to be provided meeting the criteria required for safe (and publicly accessible) open spaces. I consider CPTED principles being appropriate to be referred in this regard.
- 5.4 Following the above point, I recommend the following specific requirements (in blue) to be added to the proposed Te Auaunga precinct provisions:

I334.2. Objectives

(7) Open spaces, cycling and pedestrian linkages from the Pprecinct to the wider area and neighbouring suburbs, including linkages between activities and open spaces-nodes, are provided for and enhanced.

(7A) Provide different types of connected publicly accessible open spaces within the Precinct to meet the recreational needs of the community residing in the Precinct as well as the wider area.

(10) An integrated urban environment is created, which:

(ba) Ensures a range of high quality, well located and connected, and suitably sized, publicly accessible open spaces able to be developed for a range of passive and active recreational activities commensurate with the intensification and population enabled within the Precinct.

I334.3. Policies

Open Space

~~(15) Provide for public open space, including a neighbourhood park in the northern portion of the precinct.~~ Require development in the precinct to provide for publicly accessible open spaces.

(15A) Ensure provision of adequate areas of open space, including identified neighbourhood parks, other identified areas of open space and private communal open areas that together provide a range of high quality, well located and connected, and suitably sized, open spaces able to be developed for a range of passive and active recreational activities commensurate with the intensification and population enabled within the Precinct.

(16) Provide public connections to ~~Oakely Creek~~Te Auaunga from Carrington Road through public roads and open space, giving quality public access to this ecological area.

(16A) Ensure all publicly accessible open spaces are designed and located having regard to Crime Prevention Through Environmental Design (CPTED) principles.

Pedestrian and cycle access, street quality and safety

(17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages, open space and plazas within the precinct.

(18) Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe and improve connectivity for all users.

(19) Establish a network of roads which give public access through the precinct and ~~at the~~ pedestrian and cycling connections to ~~the Oakley Creek~~ Te Auaunga and Waterview pedestrian/cycle bridge.

(19B) Ensure a safe and integrated network of public open spaces including through the establishment of park edge roads.

New standard to be added:

I334.6.12 Open Space

1. Open space must be provided at the ratio of 20m² for every dwelling in the precinct.

The open spaces may comprise:


- (a) Open space as a Neighbourhood Park or other open space area as shown on Precinct Plan 1 that has not been previously allocated in accordance with this standard; and
 - (b) Approved additional areas of publicly accessible open spaces required to ensure that standard is met.
2. The open space must be secured by a suitable legal mechanism at the stage of development and / or subdivision.
 3. For the avoidance of doubt the calculation of open space to be provided is additional to any previous development for all dwellings established within the Precinct.

I334.4. Activity tables

New Activity Category

<u>(A33C)</u>	<u>Open space provision at a ratio of less than 20m² for every dwelling in the precinct</u>	<u>D</u>
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I334.7.2. Assessment Criteria

 The effects on the recreation and amenity needs of the community residing within the precinct and the wider area through the provision of:

- (i) open spaces which are prominent and publicly accessible to the residents the spaces are intended to serve, including by pedestrians;

- (ii) the number, and size and quality of open spaces in proportion to the future intensity and needs of the precinct and wider area.

I334.9. Special Information Requirement

Open Space Assessment

As part of land use applications for development including dwellings within the precinct, information must be provided confirming the quantum and location of open space at a ratio of 20m² per dwelling previously allocated for all dwellings located in the Precinct.

- 5.5 I consider that for the PPC94 request it would be expected that the precinct plan be updated to secure the provision of future open spaces as well as pedestrian and cycling connection within the precinct and within the wider environment. This will provide assurance that adequate open space land will be provided to be publicly accessible by the growing community within and outside the precinct area, enable open space connectivity, promote integration of a variety of open spaces for active and passive recreation and enable access to amenities.

6.0 Conclusion

- 6.1 Overall, in my opinion, I only support the proposed PPC94 subject to the adequate provision of open space and connected open space network within the precinct.
- 6.2 I support the provision of three neighbourhood parks within the precinct as discussed above to provide for informal recreational needs of the residing community within and outside the precinct. The vesting of these open spaces, however, is subject to a future acquisition process requiring approval by the Local Board and should not impede on the intended outcome to serve the community. The indication of the location of these neighbourhood parks needs to be demonstrated on an amended version of the precinct plan.



Prepared by:

Roja Tafaraji

Senior Parks Planner, Parks & Community Facilities

Memo (technical specialist report to contribute towards Council's section 42A hearing report)

28 August 2024

To: Peter Reaburn, Consultant Planner, Plans and Places, Auckland Council
From: Gemma Chuah, Principal - Resource Management, Healthy Waters, Auckland Council

Subject: Private Plan Change PC94 – Wairaka Precinct - Ministry of Housing and Urban Development (HUD) CARRINGTON ROAD, MOUNT ALBERT – Healthy Waters stormwater and flooding assessment for S42A report.

1.0 Introduction

- 1.1 This memo provides a Healthy Waters network operator and stormwater management review of the proposed private plan change 94 to the Auckland Unitary Plan (AUP) to rezone land within the current Wairaka Precinct and to amend the provisions within the existing precinct, including a request to rename the precinct “Te Auaunga”.
- 1.2 I have undertaken a review of the private plan change, on behalf of Auckland Council in relation to stormwater and flooding effects. The plan change has also been reviewed by Richard Smedley, Principal Catchment Manager, Healthy Waters and I have incorporated his comments into this memo.
- 1.3 I am a Principal - Resource Management in the Healthy Waters Department of Auckland Council. I hold a Bachelor of Science (Hons) degree from the University of Canterbury, and I am a member of Water New Zealand. I have been employed by Auckland Council for 14 years. In my current role I am responsible for providing technical and planning input from Healthy Waters perspective into plan changes and resource consent applications and for coordinating the implementation of Healthy Waters' regionwide network discharge consent.

2.0 Site Characteristics and Key Stormwater matters

- 2.1 The private plan change includes the rezoning of 122,329m² of Special Purpose – Tertiary Education zoned land and 10,093m² of Terraced Housing and Apartment Buildings zoned land to Business – Mixed Use and 9,898m² of Special Purpose – Tertiary Education zoned land to Mixed Housing Urban.
- 2.2 An approved Stormwater management plan is in place across the Wairaka Precinct which addresses the management of stormwater, flooding and overland flow paths in relation to development of the precinct.

- 2.3 The site is located to the east of Oakley Creek / Te Auaunga (Figure 1). The Wairaka stream runs through the site and is piped in sections.
- 2.4 The site is subject to a 1% Annual Exceedance Probability (AEP) floodplain and several overland flow paths.
- 2.5 The Auckland Isthmus Volcanic Aquifer underlies all sites and is identified as a Quality Sensitive Aquifer Management area.
- 2.6 Site 81A and 119A Carrington are subject to Significant Ecological Areas Overlay - SEA_T_6008, Terrestrial which identifies this site as having significant indigenous vegetation or significant habitats of indigenous fauna
- 2.7 There are a variety of existing stormwater networks and stormwater management devices across the site. Upgrades to the network are proposed to be undertaken as part of the future development of the site and these are identified in the Stormwater management plan. The existing stormwater management wetland in the centre of the site is proposed to be retained.
- 2.8 The maximum impervious area limited in the AUP of the existing and proposed zones is shown in table 1. The SMP includes assumed developed impervious areas based on the anticipated development of the site.

Table 1 AUP Maximum Impervious area (MIA) standard for zones

Zone	MIA standard
Special Purpose – Tertiary education	No MIA standard, could develop to 100% impervious area
Business Mixed Use	No MIA standard, could develop to 100% impervious area
Terraced Housing and Apartment Buildings	80% MIA



Figure 1 Site location and plan change area.

3.0 Assessment of stormwater effects

General

3.1 The applicant has identified that *“the approved SMP, though approved prior to this application, foreshadowed the changes proposed in the private plan change and is therefore consistent with the changes proposed. Therefore, no changes should be required to the approved SMP to accommodate the plan change.”*

3.2 I agree with the applicant’s assessment.

Infrastructure capacity

3.3 The applicant’s infrastructure assessment identifies that the existing drainage is not fit for purpose to support the long-term development of the precinct. The approved Stormwater SMP outlines where upgrades are required as part of the stormwater network that services the overall Wairaka Precinct.

3.4 Condition and capacity assessments of the existing private stormwater pipes will need to be undertaken before any are vested to Auckland Council. It is appropriate that the details relating to this should be managed as part of resource consent and engineering plan approvals.

3.5 The existing central wetland is intended to be vested to Auckland Council as a stormwater asset and drainage reserve. Healthy Waters have been actively working with MHUD to

ensure that appropriate upgrades are undertaken so that the asset is a suitable state to be vested. This is a matter which will need to be resolved at the time of subdivision consent applications relating to this parcel of land.

Flooding and overland flow paths

- 3.6 Parts of the site are located in the 1% AEP flood plain and there are overland flow paths which cross the site.
- 3.7 Management of flooding is considered in the approved SMP with the preferred approach being to 'pass the flows forward' rather than to provide attenuation, this is due to the location at the bottom of the catchment and the need to avoid coinciding the timing of the flood peak with the flood peak from upstream. This means that no space needs to be set aside for flood attenuation. The changes to zones will not change this approach.
- 3.8 The SMP identifies locations where upgrades to the stormwater network and overland flow paths are needed to reduce flooding within the site.
- 3.9 Development in and adjacent to the existing floodplain will need be considered carefully through the design and resource consent phases. This will be controlled by the existing rules in the AUP. As required by the objectives and policies of AUP Chapter E36, development will need to avoid increasing risk to natural hazards in particular for vulnerable activities. This will need to be reflected in the design and location of buildings across the site.
- 3.10 Council has prepared a new flood model for the Wairaka area since the SMP was prepared (figure 2). Any designs for buildings and stormwater pipe reticulation should be reflective of this new model which was validated against the storm events on the 27th January 2023.



Figure 2 Surface flood depths from the 2022 model (ID1398 Oakley FHM Update 2022)

Water quality

- 3.11 The existing precinct standards require that all stormwater management must be in accordance with the SMP. The SMP requires that water quality mitigation will be provided for main connector roads and for any high contaminant generating car park areas. Water quality mitigation is similarly required by the AUP Chapter E9 for any high contaminant generating car park areas.
- 3.12 The proposed plan change will not alter this requirement. As development proceeds water quality mitigation will be installed. The central wetland is proposed to be retained.

Stream hydrology and erosion

- 3.13 The proposed plan change area is not within a Stormwater Management Area Flow (SMAF).
- 3.14 As established in the approved SMP, due to the characteristics of the stream morphology and the location of the site in the lowest reaches of the catchment there is no benefit to providing hydrology mitigation from development within the Wairaka Precinct.

4.0 Proposed precinct provisions

- 4.1 The main change in relation to stormwater is the proposed deletion of Special Information Requirement I334.9 in relation to the Stormwater Management Plan. The special

information requirement required that prior to the first land use consent in the precinct, an SMP must be prepared. This requirement has now been met with an approved SMP in place since 2022, the removal of this requirement will not change the need for all development to be consistent with that approved SMP.

4.2 Standard I334.6.3 Stormwater which requires consistency with the approved SMP will continue to apply to the whole of the site.

5.0 Consistency with Auckland Unitary Plan

5.1 The relevant objectives and policies of the AUP to the management of stormwater and flooding include those in Chapters B7.4, E1 and E36. These in particular relate to maintaining and enhancing streams, water quality and freshwater values. The policies require that new effects from stormwater are avoided and existing effects are progressively reduced.

5.2 Overall, the proposed changes will not affect the expected management of stormwater from future development or the effects of stormwater runoff from the site. The precinct requires that the approved stormwater management plan is followed and this addresses water quality effects. Therefore, the precinct remains consistent with the relevant policies.

6.0 National Policy Statement Fresh Water 2020

6.1 The key concept in the NPSFM is to give effect to te mana o te wai. The plan change will not change the way in which stormwater is proposed to be managed for development across the site. The approved SMP includes the retention of the existing central stormwater wetland and the provision of water quality management for the main spine road and carpark areas.

7.0 Submissions

7.1 A number of the submissions raised matters relating to stormwater or flooding. These are discussed in table 2.

Table 2 Responses to submissions

sw topic	Sub #	Summary of Decisions Requested	Response
Flooding	16	Seeks review and update to environmental and infrastructure responses to climate change and the weather events of 2023.	It is acknowledged that parts of the precinct area are within the flood plain. Development in and adjacent to the existing floodplain will need be considered carefully

	33	Opposes due to effects on that the proposal is lacking in climate resilience design	through the design and resource consent phases. The requirements of AUP Chapter E36 Natural Hazards will continue to apply to any development in this area.
	57	Prepare a new Stormwater Management Plan and flood hazard management plan to be notified prior to the hearing. Stormwater design to be addressed prior to the hearing.	The approved SMP proposes a pass forward approach to manage flooding, both within the site and in relation to the wider upstream catchment.
	86	Provide a greater setback from Oakley Creek and address potential flooding	This includes identifying required upgrades to the piped and overland flow path network across the site to reduce flooding within the site.
	99	Seeks that flooding be addressed	
	111	Opposes due to effects on drainage and infrastructure	All infrastructure will be required to comply with the code of practice including allowance for climate change in design sizing.
	164	Provide green solutions to absorb stormwater including sufficient setbacks from the river and engaging Friends of Oakley Creek as a strategic partner with council	While the 2023 extreme weather events highlighted a range of issues in relation to flooding in the Oakely catchment, the proposed approach in the SMP remains the most appropriate way to manage flooding from the site.
	177	Opposes due to effects of flooding	
	219	Require a minimum of 60% permeable surface. Protect overland flow paths.	
Open Space	35 41 42 43 44 46 52 62 79 183 224	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	agree - these sections as written are confusing - recommend applicant to provide clarity.
	94	Land that serves as utility e.g. stormwater ponds, should not be included as open space.	The calculation of open space is not a stormwater matter. Typically stormwater assets are vested as drainage reserve so are considered separately.
Stream protection	141	Seeks that the creek needs to be protected against pollution	As development proceeds water quality mitigation will be installed. The central wetland is proposed to be retained.
	165	Seeks more than a 10m setback from boundary with Oakley Creek reserve	Development in and adjacent to the existing floodplain will need be considered carefully through the design and resource consent phases. The requirements of AUP Chapter E36 Natural Hazards will continue to apply to any development in this area.
	170	Opposes due to effects on that stormwater plans must protect Wairaka springs / puna, Wairaka stream/awa, complete daylighting	The stream daylighting is proposed within the SMP.

SMP special information request	94	Amend I334.9 Special Information Requirements Stormwater to retain requirements for Stormwater Management Plans or an amended version included to ensure management guidelines and protection of the receiving environments.	This requirement has been met with an approved SMP in place since 2022, the removal of this requirement will not change the need for all development to be consistent with that approved SMP. Standard I334.6.3 Stormwater which requires consistency with the approved SMP will continue to apply to the whole of the site.
	72	Retain I 334.9 Special Information Requirements - Stormwater Management or amendments to ensure appropriate management of stormwater	

8.0 Other matters

Healthy Waters Regionwide Stormwater Network Discharge Consent

8.1 All stormwater discharges to the public stormwater network must be consistent with Healthy Waters Regionwide Network Discharge Consent (NDC). A stormwater management plan for the whole of the Wairaka Precinct has been adopted into the NDC. As long as development is in accordance with the requirements of the SMP it will be consistent with the NDC and the diversion and discharge of stormwater will be authorised by the NDC.

9.0 Conclusions

9.1 There are not likely to be any adverse effects in relation to stormwater or flooding arising from the plan change.

9.2 Specific details of stormwater management in relation to development within the plan change area will need to be addressed through resource consent and engineering plan approval processes.

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review Open Space Provision on behalf of Auckland Council

Rob Greenaway

Introduction

1. My name is Robert James Greenaway. My qualifications are a Diploma in Parks and Recreation Management with Distinction (1988). I have been a consultant recreation and tourism planner since 1990, operating independently since 1997 and completing more than 500 constancy projects nationally since then. I have presented evidence at more than 100 hearings (approximately half for the Environment Court or Environmental Protection Agency).
2. I am a long-term member of the NZ Association for Impact Assessment and an accredited Recreation Professional with Recreation Aotearoa (the New Zealand Recreation Association). I am also a past executive member of the National Executive of Recreation Aotearoa, and I am ex-Chair and current member of the Recreation Aotearoa Board of Accreditation. I was awarded the Ian Galloway Memorial Cup in 2004 by Recreation Aotearoa to recognise “excellence and outstanding personal contribution to the wider parks industry”. In 2013 I was awarded the position of Fellow of Recreation Aotearoa.
3. I have completed many recreation and open space projects in Auckland, most recently presenting evidence in relation to the Airport to Botany Bus Rapid Project and North West Notices of Requirement for Waka Kotahi and Auckland Transport, Watercare’s Central Interceptor project on Erin Park, and Te Whau Pathway Project for Auckland Council. I have completed assessments for more than 20 major residential developments nationally – all for the applicants – including, in Auckland, Omaha Park (Omaha Park Ltd), Te Arai (Darby Partners) and Long Bay (Landco Okura).
4. I was engaged by Auckland Council (**Council**) in response to the submissions on the private Plan Change request (**PPC94**) by the Ministry of Housing and Urban Development (MHUD) (the **Applicant**). My role has been to:
 - a. Review the notified PPC94 application documents, including the Council's requests for further information under clause 23 of Schedule 1 of the Resource Management Act 1991 (**RMA**)
 - b. Review the PC75 Decision;
 - c. Visit the site;
 - d. Identify matters, within my area of expertise, that required further information from the Applicant, and assessing the Applicant’s response;
 - e. Review the submissions and further submissions;
 - f. Identify issues relevant to my area of expertise;
 - g. Give my expert opinion on these issues, with recommendations where appropriate;
 - h. Provide this Review as part of the Council's RMA s42A reporting process to the Commissioners.

5. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.
6. In my review, I have sought to answer the following main questions in response to the submissions on the PPC94 plan change request:
 - Which open space services should be provided to support the community wellbeing of up to 12,600 new residents in the Plan Change area.
 - What quantum of land is required to support those expectations, what functions should it perform, and what standards should be required when open space land is made available by a developer in the case of Wairaka.
7. Dr Roja Tafaraji in her report outlines the relevant Council policy documents relating to open space. I rely on the 'Parks Memo' report of Dr Roja Tafaraji to detail how the Council aims to ensure the adequate future supply and development of open space in high density areas. Dr Tafaraji also considers the suitability of the open space areas proposed by the Applicant in relation to their location and landforms in light of the Council's policies. I also rely on the description of the PPC94 request as set out in the planning report of Mr Peter Reaburn.

Private Plan Change 75 (PPC75)

8. The 19 September 2023 PPC75 Decision – as it applied to provisions for open space – was appealed by MHUD; with the Environment Court's consent order just to hand.¹ Several points made in the original Decision were relevant to how I approached my review. The Commissioners considered that the, "issue of open space provision is, from our perspective, the most contentious of the key matters for us to resolve."² They found that, "the proposed boundary of Sub-precinct A is an artificial demarcation line in circumstances where the Precinct has been promulgated to manage effects and outcomes cohesively by master planning and through an integrated framework of objectives, policies, rules, and standards."³
9. The 2023 PPC75 Decision removed what was described in the Applicant's *Urban Design Report* as, "a neighbourhood park on awkwardly sloped land in an area where its use would be unlikely to be maximised, adjacent to the Mason Clinic."⁴ The amended version of Policy 15A, approved in the 2024 consent order, removes the requirement to provide a minimum of 7.1 ha of open space, but retains provision in accord with the operative Precinct Plan 1, with at least an additional 0.9 ha of "key open space (private) within the precinct".⁵ Operative Precinct Plan 1 in the 2024 Decision includes a northern neighbourhood park of 3,000 m².⁶
10. In this report I refer to area measurements from the operative Precinct Plan 1 provided by Auckland Council which amount to 6.6 ha of open space.⁷
11. The Council Decision and amended version of Policy 15A do not specify where the 0.9 ha of open space in PPC75 should be located in the balance of the greater Wairaka Precinct.

¹ 17 September 2024, Ministry of Housing and Urban Development v Auckland Council NZEnvC228

² Decision paragraph [52]

³ Decision paragraph [61]

⁴ Boffa Miskell Ltd (2023). Te Auaunga / Private Plan Change Urban Design Assessment, p34

⁵ Consent order paragraph [9]

⁶ Dr Roja Tafaraji in her reporting for Auckland Council describes a minimum area preference for this neighbourhood park of 5,000 m².

⁷ As discussed later in my evidence, this does not include Unitec and stormwater land.

12. The Applicant’s updated PPC94 memorandum⁸ replaces PPC94 policy (15A), “Provide at least 7.1 ha of key open space (private) within the precinct” with: “Provide key open space in accordance with Precinct Plan 1.” Precinct Plan 1 in the operative plan has not been amended by the Environment Court’s consent order.
13. I take these considerations to indicate that the entire Wairaka Precinct needs to be considered as one unit in terms of demand for open space despite the separate plan changes, and that the issue of open space provision has consistently been a core issue of concern.

Submissions

14. According to the summary of submissions prepared by Auckland Council, of the 229 submissions to be considered, 137 refer to the open space provisions in PPC94. This was the most frequently referenced individual issue. **Table 1** summarises the main issues raised by those submissions. The protection of the Mahi Whenua Sanctuary Gardens was most frequently referenced, followed by the desire for more open space generally, which was similar to submissions seeking a better response via provisions for open space as a result of the proposed increase in residential density.

Issue	Count	Percent
Protect Mahi Whenua Sanctuary Gardens	97	29%
More open space required	62	19%
Protection of trees	48	14%
Building 48 / The Knoll landscape maintenance / protection	30	9%
Masterplan required for clarity of open space use	29	9%
Respond to increased density (more open space)	28	8%
Stormwater function of the Southern Open Space clarified	15	5%
Central Open Space landscape plan required	12	4%
Sport fields needed	2	1%
Keep 7.1 ha minimum open space area	2	1%
Shading of existing open space	2	1%
Open space for school use	2	1%
Ecological values	1	<1%
Public / private open space purposes clarified	1	<1%
Unitec open space not in quantum of provision	1	<1%
Totals	332	100%

15. **Table 2** summarises the main amendments sought by submitters who referenced open space as a key topic. Again, more open space generally, protection of the Mahi Whenua Sanctuary Gardens and protection of trees are the main themes. More clarity over the final use of proposed open space areas was also commonly sought, in reference to a range of open space values, including trees, community facilities and general open space utility. Other requested amendments are listed in Appendix 1. These generally repeat the themes in **Table 2**, but with more specific references to locations and policies.

⁸ Memorandum of Counsel on Behalf of Te Tūāpapa Kura Kāinga – Ministry of Housing and Urban Development. 20 September 2024

1. More provision for open space	51	16%
2. Identification / protection of the Mahi Whenua Sanctuary Gardens, and Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Retain and zone this area as Open Space.	47	15%
3. More provision for open space and that the Mahi Whenua Sanctuary Gardens be identified	19	6%
4. For proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	14	4%
5. Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	14	4%
6. Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	14	4%
7. Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	14	4%
8. Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	14	4%
9. Provide a detailed landscape plan for the Central Open Space.	14	4%
10. Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	14	4%
11. Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	14	4%
12. Oppose due to insufficient facilities, open space and infrastructure	13	4%
13. Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	10	3%
14. Give clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	9	3%
15. Other / more specific (see Appendix 1)	51	16%
Total	312	100%

16. I address these submission points below.

Provision of more open space

17. In this section I respond to submission items 1, 3, 6 and 13 in **Table 2**.

18. I will not provide a review of the benefits of open space provision to community wellbeing. The benefits are well-established and significant. The World Health Organization provides an excellent summary in a 2016 publication,⁹ and I refer to some of its findings later in this report.

19. The Applicant's Urban Design Report describes the context of the proposal (section 3.4):

The precinct represents a significant brownfield development opportunity with attributes that support residential intensification and a 'compact city' model of urban form. These attributes include:

- *Its large size, which enables development to be undertaken in a comprehensive and integrated manner.*

⁹ World Health Organization, 2016. *Urban green spaces and health*. Copenhagen: WHO Regional Office for Europe

- *Its position close to the retail, commercial and community services of Mount Albert and Point Chevalier town stations.*
 - *Its access to public transport options, including frequent bus services on Carrington Road and nearby Great North Road and its proximity to Mount Albert and Baldwin Avenue train stations, both within walking distance. Its elevated position above the coastal edge of the inner Waitemata Harbour and its slope generally down to the west, which offers high amenity views to the wider landscape.*
 - *The open space and landscape amenity and sense of place offered by the adjoining Te Auaunga Creek and Wairaka Creek.*
 - *The opportunity to capitalise on the presence within the precinct of a significant tertiary education provider (Unitec).*
20. I take it from this description that the proposal must be considered within the wider context of the Albert-Eden community board area for all community services. The Albert-Eden community has some distinctive characteristics.
21. Statistics NZ provides population estimates for territorial authorities and Auckland local board areas. The Albert-Eden local board area is the 13th largest administrative area (of 88) in New Zealand, with a population estimate for 2023 of 96,630. This is a greater population than Palmerston North, or each of the New Plymouth, Waikato and Hasting Districts. Between 2018 and 2023 the board area is reported to have had the second highest level of population decline of the 88 administrative areas at -2.0 percent (beaten only by the Chatham Islands at -7.7%). Conversely, between 2013 and 2018, the population of Albert-Eden was reported to have grown by 4.1%¹⁰; and the Albert-Eden Sport & Active Recreation Eden Facility Plan (2021) projects that the area will grow by 46,000 over the next 30 years.
22. The 2018 Census showed the Albert-Eden population to have relatively high levels of education compared to national averages (26% with a Bachelor's degree and level 7 qualification compared with 15% nationally) and double the national average for post-graduate and honours degrees.¹¹ The Albert-Eden Local Board Plan 2023 reports that 42% of residents were born overseas (compared with 27.4% nationally in 2018¹²), 31% arrived in New Zealand in the last five years, 6% do not speak English, and over a third identify as Asian (although the national and Auckland average in 2018 was just over 28%), with that proportion growing.
23. Sport NZ's Active NZ data suggests that residents of the local board area are slightly more active than the national average (19.6% inactive compared with 23.4%) with residents more likely to walk, run or jog and do individual workouts, but less likely to play generally (such as by climbing trees), play active games (such as tag or bull rush) or use playgrounds. Residents are reported to be less likely to garden and to play games with children, but are more likely to do Pilates or yoga.¹³ I take this to indicate a population with relatively poor uptake of some basic forms of outdoor recreation, and choosing to recreate on pathways (walk, run or jog) and roads, or indoors (individual workouts, yoga and Pilates).
24. In 2018, Albert-Eden had relatively few residents described as highly deprived (7.8% compared with 30.3% nationally).¹⁴ In 2021 Albert-Eden had a similar median age to the region, but its

¹⁰ <https://www.stats.govt.nz/information-releases/2023-census-population-counts-by-ethnic-group-age-and-maori-descent-and-dwelling-counts/>

¹¹ <https://www.stats.govt.nz/tools/2018-census-place-summaries/albert-eden-local-board-area#education-and-training>

¹² <https://www.stats.govt.nz/news/2018-census-data-allows-users-to-dive-deep-into-new-zealands-diversity>

¹³ <https://sportnz.org.nz/resources/sport-nz-insights-tool/> - activity behaviour

¹⁴ <https://sportnz.org.nz/resources/sport-nz-insights-tool/> - demographics

working age population was larger than the regional average, with proportionately fewer young people and fewer people of retirement age.¹⁵

25. The Albert-Eden Local Board Plan 2023 considers many of these community differences and notes (p25):
 - *The amount of council-owned open space and facilities in and around our local board area is limited, especially in our most eastern suburbs.*
 - *With housing intensification, our parks are increasingly under pressure, becoming extensions of back gardens and provide important spaces for our community to come together.*
26. While it is possible to dissect population data for many communities to show their unique characteristics, I consider that Albert-Eden appears to be more unique than most, particularly considering its location within a large metropolis and likely facing significant population growth (almost 50% over 30 years). Open space provision in Albert-Eden needs to consider a dynamic and growing population, and a fixed land area.
27. I use Waterview as an example of existing open space provision in a local suburb in Albert-Eden. **Figure 1** shows open space areas provided by Auckland Council according to Council's GIS service. This indicates four playgrounds (in blue – Waterview Reserve, Kuaka Park, Fairlands Reserve and Heron Park). Waterview Primary School also has a playground, but I am unaware of its level of public use. I have tabulated the area of open space developed for recreation in Waterview, including Heron Reserve but not including several small areas of road reserve which have green space developments, or the Oakley Creek area. This amounts to over 15 ha of land. Just over 10 ha of this is at Heron Park, which is shared, most closely, with residents of Avondale. If I halve the Heron Park area, the total area of open space available in Waterview is just over 10 ha.
28. The 2018 resident population of Waterview was 3,357. Using the Auckland average of 2.8 people per household, this equates to 1,199 households in Waterview. This gives a figure of 32 m² of open space per person, or 88 m² per household. If the total land area of Waterview is 86 ha (including half of Heron Park) the area dedicated to public open space is just over 12%.
29. With access to four playgrounds in Waterview, the ratio is one playground per 840 residents, although the Waterview Reserve offers a destination playground with substantial developments for BMX and skateboarding, with a modern water play area. It attracts use from well-beyond Waterview, but will certainly ease demand from Waterview residents on the other local playgrounds. Parts of Waterview have relatively high levels of deprivation (levels 9 and 10 – most deprived) – despite relatively low average deprivation for the whole area – and so many residents will have less access to transport, and more locally-focused recreation needs (**Figure 2**).¹⁶
30. There is no internationally agreed preferred or minimum area of open space provision on a per population basis. An oft-repeated figure in the *International Journal of Environmental Research and Public Health*¹⁷ refers to a World Health Organization (WHO) standard of at least 9 m² of green space per individual with an ideal of 50 m², referencing a 2012 WHO conference summary.¹⁸ The latter does not include that metric, but it crops up in various journal articles

¹⁵ *Albert-Eden Local Economic Overview 2022*. Tātaki Auckland Unlimited Report 2022

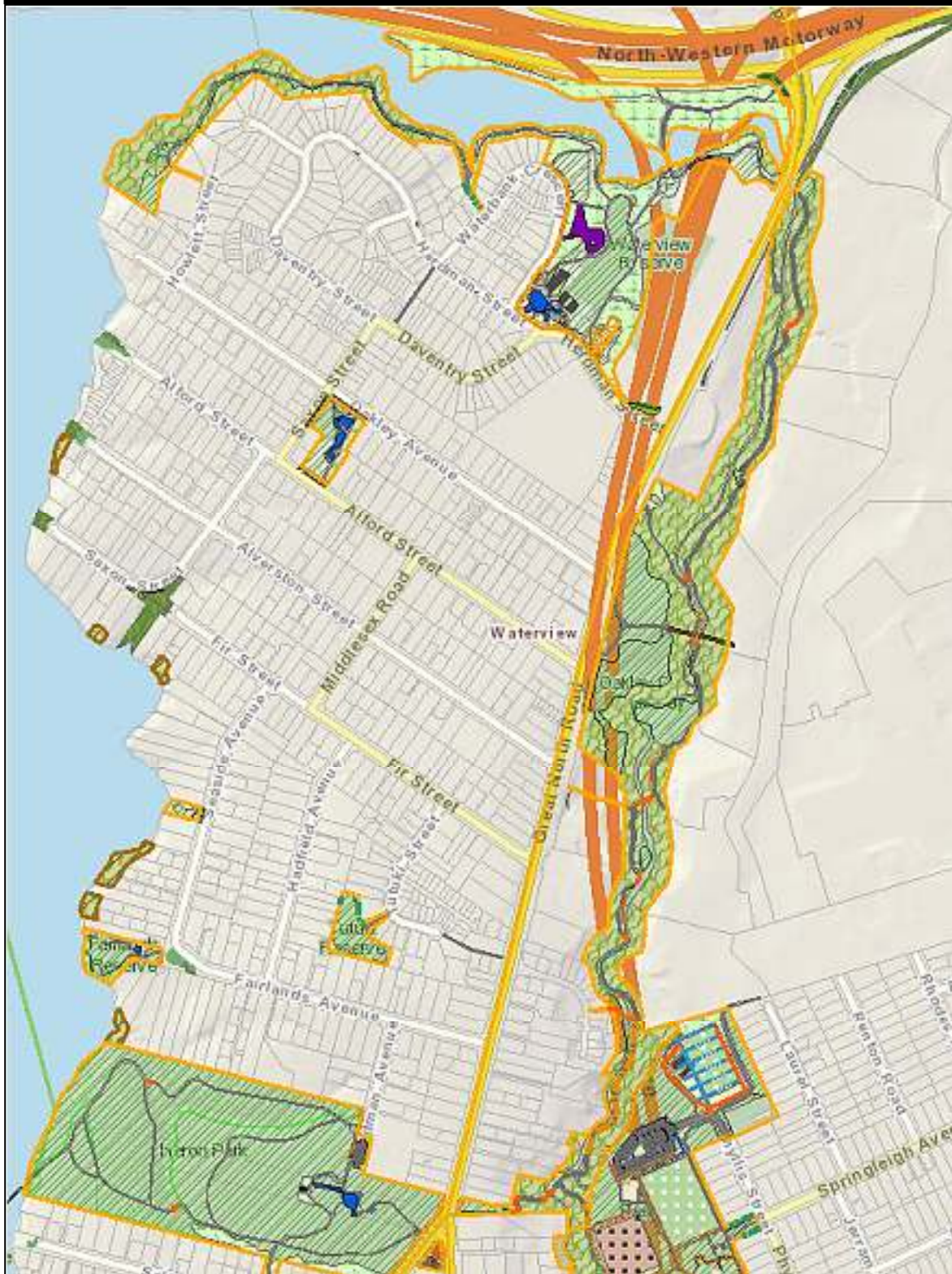
¹⁶ So most likely a bimodal distribution with high highs and low lows, and fewer of average deprivation. Sourced from: <https://www.ehinz.ac.nz/indicators/population-vulnerability/socioeconomic-deprivation-profile/>

¹⁷ Russo, A., & Cirella, G.T. (2018). Modern Compact Cities: How Much Greenery Do We Need? *International Journal of Environmental Research and Public Health*, 15.

¹⁸ World Health Organization. (2012). *Health Indicators of Sustainable Cities in the Context of the Rio+20 UN Conference on Sustainable Development*; WHO: Geneva, Switzerland.

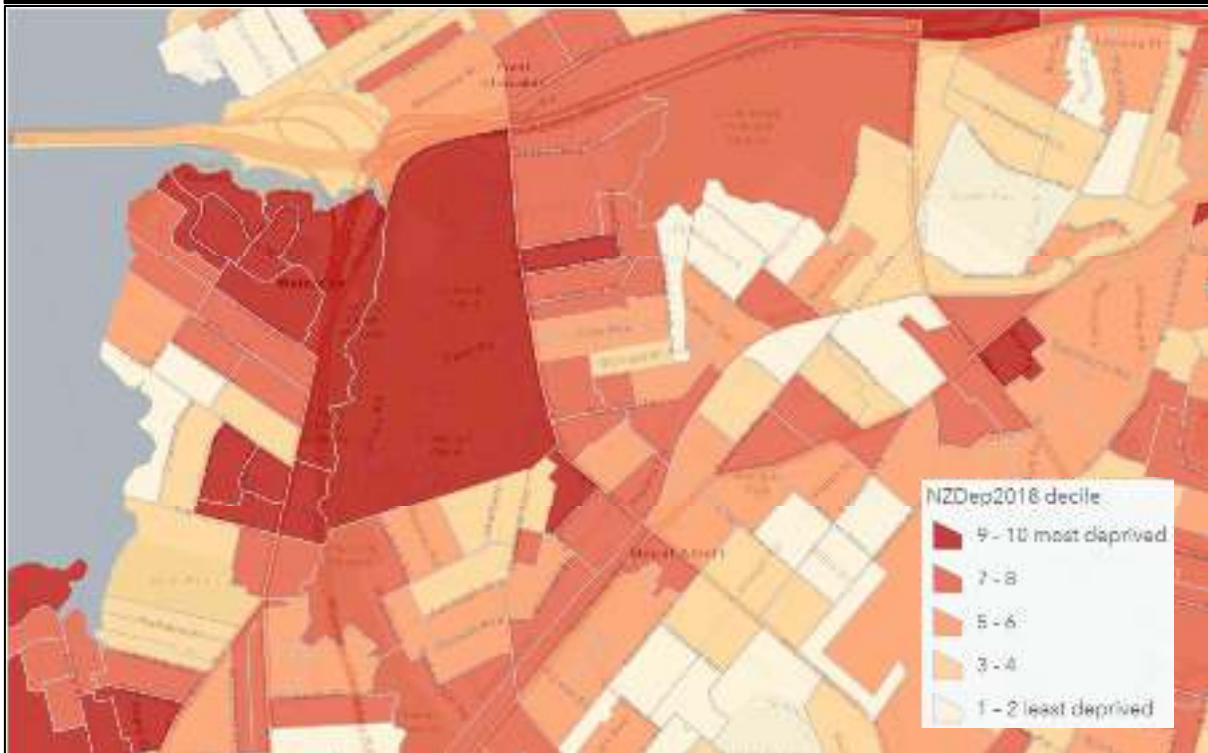
nonetheless¹⁹ with circular references to other articles with no attribution.²⁰ This is an example of the strong desire for a universally acceptable open space metric, and its absence (and poor

Figure 1: Waterview Auckland Council open space areas. AC GIS



¹⁹ Such as Khalil, Ragab. (2014). Quantitative evaluation of distribution and accessibility of urban green spaces -Case study: City of Jeddah. *International Journal of Geomatics and Geosciences*. 4. 526-535. And UN-Habitat. (2015). *Habitat III Issue Papers - 11 : Public Space*. New York, NY: UN-Habitat, 31 May

Figure 2: 2018 Census deprivation index data for Waterview



academic standards). I have worked on various level of service assessments for open space provision domestically, and in my experience there is a wide variety of standards achieved by different councils.

31. The focus of reviews of open space provision is generally on accessibility and minimum area (ie, walking distance and reserve size depending on its purpose), rather than on residential density (unless it is for sports facilities, where the level of use and catchment are the focus). By example, Auckland Council made clear in its clause 23 request²¹ that when analysing the impact of the increased scale and density of PPC94 on open space and other community facilities that “Reliance should not be placed on Council’s Parks and Open Space Acquisition Policy 2013 and Open Space Provision Policy 2016. This is a scale and density of development not envisaged by those policies.” However, I note, as pointed out in Dr Roja Tafaraji’s Park Memo, that the *Open Space Provision Policy* states that variation in the level of open space provision across Auckland is likely considering “context specific factors” which need to be considered when aiming to deliver “high quality open space networks.”
32. The definition of a ‘high quality open space network’, as discussed in the *Open Space Provision Policy*, is somewhat nebulous, but is based on analysis of four factors: function, distribution, location and configuration.²² Further, four principles are recommended to be applied:²³
 - a. *Treasure: create distinctive places, celebrate the coast, conserve areas of natural or cultural value.*
 - b. *Connect: create a green network, link open spaces together, create esplanade reserves.*

²⁰ Such as, Saz S. D. and Rausell P., (2008), A Double-Hurdle model of urban green areas valuation: Dealing with zero responses, *Landscape and Urban Planning*, 84, pp 241–251.

²¹ OS1 and OS2, p1

²² Open Space Provision Policy, p5

²³ p12

- c. *Enjoy: make safe and welcoming places, be considerate of neighbours, create enduring spaces, provide the right size and shape.*
 - d. *Utilise: integrate with green infrastructure, support a compact city, consider resilience.*
33. The *Open Space Provision Policy* recommends a set of assessment matters for open space proposals in plan changes and structure plans, including (“typically”):²⁴
- *alignment with council’s open space strategies and policies, including the Parks and Open Spaces Strategic Action Plan and the network principles of the open space provision policy*
 - *existing open space network in the area (function of existing reserves, distance to site)*
 - *overall concept for the open space network*
 - *plans identifying the proposed open space network, including typologies, approximate location, size of each open space*
 - *assessment of the proposed network against the provision measures*
 - *plans clearly demarcating public open space, esplanade reserve and green infrastructure areas that include the size and dimensions of each space and the extent of flood plains*
 - *proposed funding and implementation mechanisms*
 - *timeframes for implementation*
 - *demonstration of concepts and feasibility for significant open spaces, or in areas subject to constraints (steep topography, encumbrances, hazards).*
34. ‘Provision targets’ in the *Open Space Provision Policy*, as Dr Tafaroji indicates in her report, are based on minimum areas of reserve land and their degree of accessibility, depending on their function. For example, neighbourhood parks (0.3 to 0.5 ha) should be within 400 m to 600 m walking distance in residential areas, while a suburb park (3 to 5 ha) should be within 1000 m to 1500 m walking distance. There is no metric for an area of open space on a per population or per household basis in the *Provision Policy*.
35. The Local Government Act 2002 (s203 (1)) sets a maximum development contribution limit for reserves at 7.5% of the value of additional allotments created by a subdivision, and the value equivalent of 20 m² of land for each additional household unit or accommodation unit created by the development. The *Auckland Council Contribution Policy 2022 Variation A* (s63) clarifies this requirement by noting that a development contribution for reserves calculated under the relevant policy must not exceed the greater of those two figures. Using the 20 m² figure per accommodation unit under PPC94 would set a requirement (as a cash equivalent) of 9 ha of reserve land for 4,500 households. That would equate to a provision of 7.14 m² per person for 12,600 residents. The figures for the operative precinct provisions – for the 2,500 households that I understand were envisaged by them – at 20 m² of open space each would set a requirement for 5 ha of land, and the same provision per person of 7.14 m² (a function of using the same ratio for occupants per dwelling).

²⁴ p39

36. Khalil (2014)²⁵ summarises various national and international 'indices' for open space provision on per capita bases:²⁶
- United Nations - 30 m² per capita
 - European Union standards - 26 m² per capita
 - The USA Public Health Bureau and Ministry of Housing - 18 m² per capita
 - World Health Organization standards - 9 m² per capita
37. There is little commonality here, and as with the WHO standard, and without substantial review, I doubt the unvarnished relevance of these indices, although - at the high end - they point to levels of service not far removed from that of Waterview.
38. I have based my area calculations for the operative precinct provisions and PPC94 on the data in **Table 3** using figures provided to me by Auckland Council relying on GIS measurements of proposed open areas. This gives a slightly different figure than the Applicant's 5.1 ha described in the request material²⁷ and the 7.1 ha identified in the operative Precinct Plan 1 prior to its amendment by PPC75.

Table 3: Summary of proposed total open space provision (ha)		
	PPC94	Operative Precinct Plan 1
Northern Open Space (Oakley Hospital)	0.7551	0
Northern Neighbourhood Reserve	0	0.3611
PC75 Policy 15A	0	0.9
Central Open Space	0.9773	0
Te Auaunga access	0.3246	0
The Knoll Open Space	1.4707	2.0157
Southern Open Space	1.0340	3.5834
Stormwater	0.6	0.6
Totals	5.1617	7.4602
Rounding	5.2	7.5

39. As noted, the operative plan does not include the Northern Open Space. To allow fair comparison, this area should be included in both. Further, both include 0.6 ha provision for drainage areas²⁸, which should be deleted from both as they will not provide recreation activity space.
40. I note the submission of Margaret Evans²⁹ that the, "Unitec open space land be not included in the assessment of total open space available to residents of the new precinct. Unitec is an educational institute and is not responsible for providing use of open space to the public." This is echoed in, for example, the submission of the Garden Design Society of NZ which queries if a "calculation of the remaining open space [has] been done for the Unitec campus to ensure it remains sufficient for student and staff wellbeing".³⁰ The Applicant notes that, "the future of [the Unitec 1.026 ha of open space] land is a decision for Unitec."³¹ I support the concern raised in these two submissions. Inevitably there is the potential for the Southern Open Space to be dominated by either students or residents at different times, possibly displacing one or the other and creating conflict. I consider this issue in more detail in relation to a lack of open space

²⁵ Khalil, Ragab. (2014). Quantitative evaluation of distribution and accessibility of urban green spaces -Case study: City of Jeddah. *International Journal of Geomatics and Geosciences*. 4. 526-535

²⁶ I cannot find any reference to the WHO figure of 10-15m² referenced in the submission of Berys Spratt (#175).

²⁷ Tattico & Boffa Miskell, 8 October 2023. *Te Auaunga Precinct Open Space Final*, Section 3.

²⁸ Ibid. p44.

²⁹ #39

³⁰ #42

³¹ Tattico & Boffa Miskell, 8 October 2023. *Te Auaunga Precinct Open Space Final*, p44

masterplanning later in this report. The 1.026 ha provided for Unitec by the Applicant should not appear in either option to give an open space comparison for recreation space directly available to future residents. I therefore need to delete 1.026 ha from the Operative Precinct Plan 1.

41. With these considerations in mind, I will use the figures for open space provision as presented in **Table 4**. This also gives a slightly higher figure than the 4.5 ha of open space used by the Applicant³², but a slightly lower figure for the operative Precinct Plan 1.

	PPC94	Operative Precinct Plan 1
Northern Open Space (Oakley Hospital)	0.7551	0.7551
Northern Neighbourhood Reserve	0	0.3611
PC75 Policy 15A	0	0.9
Central Open Space	0.9773	0
Te Auaunga access	0.3246	0
The Knoll Open Space	1.4707	2.0157
Southern Open Space	1.0340	2.5574
Stormwater	0	0
Totals	4.5617	6.5893
Rounding	4.6	6.6

42. I have not considered which areas should be in public or private ownership, as I recommend that all areas be publicly accessible regardless of their management. I also prefer public management over private to ensure that all community expectations for development, management and revitalisation over time are taken into account – including the expectations of neighbouring residents (such as those from Waterview and Mount Albert). There is a natural *quid pro quo* for relying on public open space provision in neighbouring communities (such as the skate park at Waterview Reserve).
43. The Applicant reports a provision level of 1 ha per 1,000 dwellings based on 4.5 ha of open space provided by PPC94³³ – and only a fraction higher based on my figures in Table 4 above (1.01 ha). The equivalent calculation for the operative plan would give 2.6 ha per 1,000 dwellings.³⁴ However, I am not aware of either of these metrics being used as targets for open space provision. The national median for the provision of neighbourhood parks, according to one national analysis, is closer to 1 ha per 1,000 *residents*,³⁵ but this does not consider density issues, and will be influenced by the common desire to provide accessible open space (within walking distance). For example, Christchurch City Council reported that its public parks provision in 2010 stood at approximately 1.1 ha / 1,000 *people* for neighbourhood parks.³⁶ The last growth strategy that I worked on in 2017 for Tasman District Council set a target of 4 ha per 1,000 residents for neighbourhood parks, considering existing levels of service in relatively low-density settlements.³⁷

³² Ibid, paragraph 2.6

³³ Ibid, paragraph 2.7. Based on 4,500 dwellings.

³⁴ Based on 2,500 dwellings.

³⁵ Yardstick is a national open space benchmarking service supported by Recreation Aotearoa. I have taken this figure from the Masterton Parks And Open Spaces Strategy (2021), p17

³⁶ Christchurch City Council Public Open Space Strategy 2010 – 2040, p13

³⁷ For the purposes of this assessment I have considered all open space areas in the Precinct to have neighbourhood park functions, as they will be within walking distance of all residents and there is no indication that they will have suburban park characteristics. That is, they will primarily serve the local neighbourhood (albeit a densely settled one).

44. PPC94 with 12,600 residents would offer 0.36 ha of open space per 1,000 residents, while the operative plan with 7,000 residents would offer 0.94 ha per 1,000 residents.³⁸
45. For these calculations I have ignored the proposed Unitec student population of 1,000 in the Applicant's 1,200 units, considering that I have not included the 1.026 ha of Unitec open space as described in PPC94 and, ipso facto, have also removed it from the operative plan.
46. PPC94's provision of 4.6 ha would offer 3.6 m² per resident and 10.1 m² per household (12,600 and 4,500 respectively). The Operative Precinct Plan 1 provision of 6.6 ha would afford 9.4 m² and 26.4 m² respectively for 7,000 people and 2,500 households.
47. For further context **Table 5** summarises my open space calculations for Waterview, the operative plan and PPC94, with and without Oakley Creek, which is a substantial green space (with no neighbourhood park functions) that will inevitably be shared by both communities (I have rounded all figures above 19). **Table 5** also shows, as an example, the effects of provision of open space on per person and per household bases if Wairaka and Waterview are considered one community.
48. Since Wairaka will have a far higher population density than Waterview, the effect of both the operative plan and PPC94 is a reduction in the open space provision ratio for Waterview (which equates to more competition for space), from 32 m² per resident to 9.5 m² for PPC94 and 16.6 m² for the operative Precinct Plan 1 (without Oakley Creek) (relevant cells highlighted in **Table 5**). If the analysis area is expanded to include the suburbs of Avondale and Mount Albert, the effect would be the same, but of an increasingly lower scale.

Table 5: Summary of open space provision – m² per resident and household		
	Person m²	House m²
Without Oakley Creek		
Waterview existing = 10.5 ha, 3,357 residents (2018 Census)	32	88
Operative Precinct Plan 1 = 6.6 ha, 7,000 residents	9.4	26.4
PPC94 = 4.6 ha, 12,600 residents	3.6	10.1
With Oakley Creek		
Waterview existing = 23 ha	70	195
Operative Precinct Plan 1 = 17.6 ha	14.0	39
PPC94 = 19.4 ha	28	77
Waterview combined with:		
Operative plan with Oakley Creek = 30 ha, 10,357 residents	29	81
PPC94 with Oakley Creek = 28 ha, 15,957 residents	17.5	49
Operative plan without Oakley Creek = 17.2 ha, 10,357 residents	16.6	46
PPC94 without Oakley Creek = 15.2 ha, 15,957 residents	9.5	27

49. Including the 12.8 ha of Oakley Creek in the open space provision for both options gives an estimate of 1.4 ha of open space per 1,000 residents for PPC94 and 2.8 ha per 1,000 residents for the operative plan. However, Oakley Creek will also serve the Waterview community and is not a neighbourhood park, and so these figures are merely comparative.

³⁸ I have used the Applicant's figure of 2.8 residents per dwelling in both estimates (Tattico & Boffa Miskell, 8 October 2023. *Te Auaunga Precinct Open Space Final*, paragraph 2.12). I note that paragraph 2.13 of that report gives a modelled population of 8,200 for the operative plan with 2,500 dwellings, but this would require an average occupancy of 3.28 people per dwelling.

50. If one playground is provided within the Precinct, the ratio would be 1 per 12,600 people; far below that of the local Waterview figure of 1 playground per 840 residents.
51. My opinion is that the quantum of open space provision per capita in itself is not a meaningful metric in isolation – although it provides a basis of comparison. Rather, the question is what is the capacity of the proposed open space in the Precinct to meet the new community’s wellbeing needs? In support, the WHO reports that the quality of open space can be more important in supporting mental health outcomes than their quantity.³⁹ This is, of course, underpinned by the spaces being accessible, correctly sized and developed to accommodate the expected use.
52. Appropriately Auckland Council’s *Long-term Plan 2024-2034* does not provide a level of service statement for the provision of a quantum of parkland, but sets a key strategy for the provision of ‘parks and community’ amenities of, “enabling a range of choices to access community services and recreation opportunities”⁴⁰; with the regional level of service objective of maintaining at 77%, “the percentage of users who are satisfied with the overall quality of local parks.”⁴¹ Other level of service targets for parks relate to asset maintenance standards, including those of the Albert-Eden local board area which lacks a separate satisfaction target for parks.⁴²
53. In addition, WHO reports on studies that indicate more physical activity uptake within communities which live near few large spaces in comparison to those with many small ones, with potentially the same total area of provision.⁴³ I note that operative Precinct Plan 1 shows one large central area of open space (made up of The Knoll and Southern Open Space areas in addition to a smaller park in the north and the now absent ‘Mason Clinic’ area), compared with three separate spaces proposed in PPC94 – well-shown in Attachment 03.2 to the request – *Shadow Diagrams* (also see my **Figure 3** on page 18 of this report). I prefer the concept of a combined large-scale space as shown in the operative plan, offering greater design flexibility, less shading and superior sight-lines (and so a greater sense of scale).
54. Dr Tafaroji in her report gives further analysis of the suitability of the PPC94 open space parcels according to Council policy, with which I agree.
55. The Applicant’s *Urban Design Assessment* states, in reference to the open space layouts (I have removed reference to the open space area within the Mason Clinic site deleted by PC75):

Precinct plan 1, as proposed by the Te Auaunga Plan Change, proposes some changes to the position of areas of required open space. These areas are considered better placed to serve the open space needs of an intensified urban community on the precinct than the operative Precinct plan 1, which groups open space largely down the southern end of the precinct, adjoining the Unitec campus.... Proposed Precinct plan 1, in contrast, has open space more evenly distributed over the precinct, achieving 400m walking catchments, consistent with Auckland Council guidance on the provision of open space.

56. I note that both PPC94 and the operative plan describe open space abutting the Unitec campus, and so there is no difference on that point. The Precinct is also relatively compact – approximately 900 m from north to south and 550 m east to west. Any differences in accessibility between the two options – as measured by the distance from a residence to an area of open space – are very minor. A person departing in a western direction from the intersection of the current Gate 2 on Carrington Road would need to walk approximately 500 m to the large-scale open space area under the operative plan – passing via the small northern neighbourhood park – compared with

³⁹ World Health Organization, 2016. Urban green spaces and health. Copenhagen: WHO Regional Office for Europe, p14

⁴⁰ Volume Two, page 7

⁴¹ Volume Two, page 131

⁴² Volume Three, page 16

⁴³ Ibid, p15

a walk of 450 m to the Central Open Space under PPC94 – in that case without encountering any other open spaces.⁴⁴

57. In summary, there is no 'bright line' test for the quantum of necessary open space provision in this case – although by my measure PPC94 is offering substantially less open space for recreation than the operative Precinct Plan 1 (4.6 versus 6.6 ha) for a substantially greater population (proposed up to 4,500 dwellings versus the 2,500 currently provided for), and in my opinion, in a poorer dissected format. I would expect that the very high residential density proposed by PPC94 would require an intense analysis of the new community's open space requirements. I respond further in this report, largely in my summary, to the issue of whether there is capacity to meet the wellbeing needs of the future proposed population, relying on the main submission topics.

Mahi Whenua Sanctuary Gardens

58. In this section I respond to submission items 2, 3, 6 and 11 in **Table 2**.
59. Protecting the Mahi Whenua Sanctuary Gardens was the most frequently requested outcome from submitters who referenced open space in their submission. Clearly this represents a strong community preference. The Unitec School of Architecture, in their submission,⁴⁵ summarises the values they see represented in this community asset:

Social - a gathering place for the community.

Cultural - the practice of planting an annual mara kai with traditional food plants such as kumara, and the establishment of food crops representing other cultures of people who now call NZ home, eg tropical fruits from Sth East Asia in the food forest.

Historic - the continuous cultivation of this land since pre-European times.

Educational - students from landscape programmes regularly visit the gardens as part of their course work and the community managing the gardens run regular educational workshops to teach about gardening and composting.

Wellness - everyone who visits these gardens speaks of the peace and happiness they feel when they enter this place, which is open to all.

Environmental - the organic techniques have built supercharged soil that stores carbon and provides crops that attract many species of insects for pollination and biological control, while the shelter belt and swales protects against wind and stormwater damage.

60. There is no doubt that these are valid statements. The most recent meta-analysis of the effects of community gardening that I can locate is a 2021 paper in the *International Journal of Environmental Research and Public Health*.⁴⁶ This reviewed 84 research papers and concluded that:

... our results are consistent in showing a growing interest in community gardening as a potential tool to improve health and well-being outcomes across different group ages, geographical areas, target populations, and indicators.

⁴⁴ However, I support Dr Tafaraji's assessment in her report that the Applicant has not shown how open space connectivity will be achieved between residences and the various separate areas of open space proposed in PPC94.

⁴⁵ Susan Wake, #18

⁴⁶ Gregis, A.; Ghisalberti, C.; Sciascia, S.; Sottile, F.; Peano, C. (2021). Community Garden Initiatives Addressing Health and Well-Being Outcomes: A Systematic Review of Infodemiology Aspects, Outcomes, and Target Populations. *International Journal of Environmental Research and Public Health* 18, 1943.

All in all, community gardens may be a viable strategy for health promotion in terms of physical, social, and psychological dimensions and it may be considered a complementary urban strategy to promote urban public health.

61. The relevant issue here for the provision of public open space in the Precinct – considering that the Mahi Whenua Sanctuary Gardens are now lost due to the recent Te Whenua Haa Ora Decision⁴⁷ – is that they are an excellent example of the type of amenity that could be provided in the residential development enabled by PPC94. However, the open space areas proposed in the request do not have the landforms suitable for this purpose (requiring level, sunny and well-drained areas, and preferably naturally fertile). The Central Open Space area could feasibly be developed to include a community garden, but I expect that this is more likely to be used as a high-intensity central community gathering and play space (the lack of masterplanning makes this a guess).
62. The existing Mahi Whenua Sanctuary Gardens provide a useful component of an open space network, and neither the operative plan nor PPC94 take advantage of this (and now neither can, at least *in situ*). I note the Ministry for the Environment Urban Design Protocol⁴⁸ – which is very high level – suggests that quality urban design (amongst other things):
- *reflects the unique identity of each town, city and neighbourhood and strengthens the positive characteristics that make each place distinctive*
 - *protects and manages our heritage, including buildings, places and landscapes*
 - *protects and enhances distinctive landforms, water bodies and indigenous plants and animals*
 - *creates locally appropriate and inspiring architecture, spaces and places*
 - *reflects and celebrates our unique New Zealand culture and identity and celebrates our multi-cultural society.*
63. I would support a masterplan which showed the capacity for something like a community garden to be incorporated within the precinct.

Building 48, The Knoll, trees and the stormwater function of the Southern Open Space

64. I refer to this topic only briefly, as the key issue appears to lie in a lack of masterplanning, which I address below. In this section I respond to submission items 4, 5, 6, 7 and 8 in **Table 2**.
65. I refer to the submission of the Garden Design Society of NZ⁴⁹ to summarise the key issues here, which are:
- a. A lack of protection for remaining significant trees throughout the Precinct,
 - b. A lack of assessment of the future amenity values of the proposed Southern Open Space considering its stormwater functions and poor drainage,
 - c. The retention of the Knoll Open Space as part of Unitec to provide more certainty about the protection and management of the landscape setting, particularly significant trees, and
 - d. The decrease in open space provision for Unitec students with significant areas of campus open space contributing to residential supply.
66. All these issues could be addressed via more effective masterplanning as part of the plan change proposal. I recognise that more detail can be provided at the resource consent stages, but also

⁴⁷ Te Whenua Haa Ora Residential Development, 119b Carrington Road, Mt Albert, Auckland. Decision of the Expert Consenting Panel Under Clause 37 of Schedule 6 of The Covid Recovery Act. 2 September 2024.

⁴⁸ Ministry for the Environment. 2005. *New Zealand Urban Design Protocol*. p21

⁴⁹ #42

that future open space opportunities will depend heavily on the capability of the underlying landform. In this case, I am doubtful that the proposed areas can deliver a quality outcome, and, as submitters indicate, several existing open space values – such as mature trees and the Mahi Whenua Sanctuary Gardens – have not been taken advantage of. I note that the operative plan also does not take advantage of the Mahi Whenua Sanctuary Gardens.

Masterplanning

67. In this section I respond to items 9 and 10 in **Table 2**, although this topic is relevant to almost all submission points where they focus on a lack of certainty that preferred open space outcomes can be secured by PPC94 as it stands.

68. My core concerns here are that a future residency of up to 12,600 individuals will have significant demands for a variety of open space services. The community is likely to be diverse and evolving, as I have already described in relation to the existing population of Albert-Eden. In my opinion, demand for services such as playgrounds and other informal sports facilities to suit a range of ages will be high. Poor local provision will stress existing facilities in Waterview and Mount Albert. Demand will likely include active casual sport, such as half-courts for basketball and street-skating, as well as play areas for young and older children, including children with disabilities. Casual sports like half-court basketball are often unpopular activities in residential neighbourhoods due to noise and their often long hours of use.⁵⁰ It could prove necessary to provide two or more play areas to allow some separation of ages considering the proposed high residential density, and to consider shading at different times of the day (a playground for school-aged children would be better to have sun in the afternoon, while one for pre-schoolers could be better with morning and midday sun).

At face-value I struggle to see how such quality provision can be met within the open space areas proposed by PPC94, and I prefer the relatively large-scale and connected central open space indicated in the operative plan (made up of The Knoll and Southern Open Space areas). For example, it will be important in winter for play and congregation spaces to be in sunny positions, considering, especially, that many residents will have no direct sunlight into their units. The shadow diagrams for winter show a limited portion of the Central Open Space that will be suitable (**Figure 3**). The Applicant's OS 4 response indicates that the Central Open Space will be "a large area of open space suitable for informal active recreation, such as kick-a-ball areas, playgrounds, barbeque areas, seating.... Play area: This open space has the most potential for informal active recreation including contemporary play amenities for a range of ages. It is a large flat area of land eminently suitable for informal active recreation activity."⁵¹ However, I consider that such utility may be only for several hours per day in winter, forcing residents to use facilities further away in neighbouring communities.

69. The Southern Open Space, conversely, is more reliably sunny over winter and will attract heavy use. This will inevitably be a shared space with Unitec despite the latter retaining management of a 1 ha strip adjacent to the Southern Open Space. There is no proposed method to manage potential interactions between the two different user groups, and including the Southern Open Space in the open space provision for PPC94 does not consider its shared utility. In my view, this is a key issue which needs to be addressed.

70. I note that there appears to be no guarantee of the scale of development of the proposed open space areas for recreation or landscape values within PPC94. For example, the Applicant's *Responses to Auckland Council RMA cl 23 Requests | OS8* states:⁵²

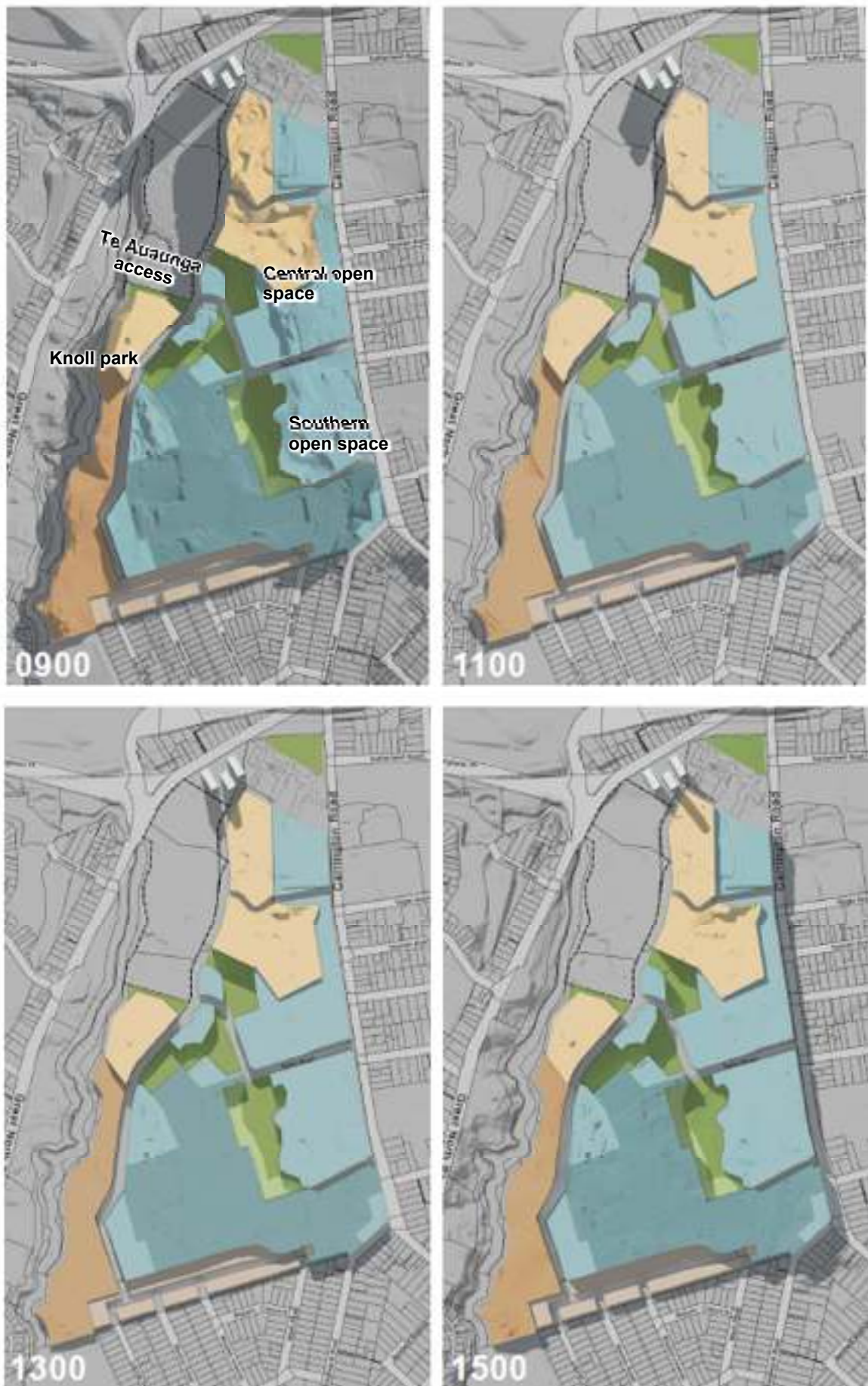
⁵⁰ I live beside one within a school. It's an excellent and well-used community facility.

⁵¹ Responses to Auckland Council RMA cl 23 Requests | OS4, paragraphs 13 and 17.

⁵² Paragraph 7

The Knoll park south of the Pumphouse and encompassing the knoll between the Wairaka Stream and the Spine Road open space has been treated as passive open space notwithstanding that it has an ecological function with the mature trees on approximately

Figure 3: Winter solstice shadow study for PPC94. From Applicant's attachment 03.2



half of this land, and that it may be possible to incorporate some areas for play into this area.

71. This is inadequate surety for a plan change of the scale of PPC94 with its focus on intensive residential development. Dr Tafaroji provides further analysis of the suitability of each open space area from a parks acquisition perspective, and I support her review.

Summary

72. In summary I support the following concerns raised in submission points:

- a. The quantum of open space provision within the precinct is light under both the operative plan and PPC94, but PPC94 has a far poorer level of service. Considering both the differences in quantum of open space and their form, (a large central area under the operative plan made up of The Knoll and Southern Open Space areas, and three separate areas in PPC94, all with unresolved potential for play spaces) I currently do not support PPC94 from an open space perspective.

I recommend that PPC94 only be approved once the functions of the Applicant's proposed open spaces are clarified, and the quantum of provision is justified based on its ability to provide a high quality open space network for a high density population. In my opinion, a larger and better connected area of open space is needed and will provide greater flexibility for development and will reduce shading effects if additional building height is permitted.⁵³

A larger open space provision will far better serve the wellbeing of the new Wairaka community, and reduce impacts on existing neighbouring suburbs. I recommend that the figure of 20 m² per household as described in the Local Government Act 2002 (s203 (1)) and the *Auckland Council Contribution Policy 2022 Variation A* (s63) is the preferred starting point for a provision metric (my paragraph 35). Provision below this level should be justified by exceptional open space design.

Effects of low provision and poor design have the potential to be substantial considering, for example, the likely significant increase in demand for the facilities at Waterview Reserve (especially skate and BMX). Consequently, I expect the open space network within the PPC94 area to be publicly accessible.

- b. A masterplanning exercise be completed to identify the capacity for, especially, play spaces in the proposed open spaces, considering landform, drainage, shading and contemporary expectations for playground design (such as age suitability, access for people with disabilities, effects on neighbours and projected demand). I expect that more than one play area will be required. Masterplanning would include responding to concerns over the loss of trees.
- c. The masterplanning consider how the shared use of open space by Unitec students and new residents is to be managed. Although Unitec retains control of 1.2 ha of open space within its campus, there will inevitably be shared use with residents of, especially, the Southern Open Space.
- d. The Applicant respond to submitters' concerns regarding the loss of the Mahi Whenua Sanctuary Gardens, and indicate how such an option could be provided in the quantum of open space offered as part of PPC94. I note that neither the operative plan nor PPC94 provide for the gardens' retention, and that the recent Te Whenua Haa Ora decision has removed it, and that the provision of a similar opportunity would be a positive response to strong submitter interest. This is an example of how open space provided within the precinct should also respond to demand from outside it, in much

⁵³ PC 94 – Attachment 03.2 – *Shadow Diagrams* shows relatively good sun exposure for the large open space area proposed under the operative plan, but does not indicate what would happen if the additional heights proposed under PPC94 were applied to same area.

the same way as the precinct's future residents will depend on open space already provided nearby - such as at Oakley Creek and Waterview Reserve.

73. In relation to public and private ownership options for the open space areas, my recommendation is that they are publicly owned and managed according to a management plan developed with the community in mind. In early days of development, the resident community will largely be absent, and the plan will need to be redeveloped over time as the community grows and evolves. The management plan may be prepared under the Reserves Act if the areas are classified and gazetted, but this is not essential.

Appendix 1: Further amendments sought, open space theme

Amendment sought	Count
Add a new objective I334.2(7A) as follows: The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.	2
Amend Objective I334.2 (1) as follows: The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for open space, growth, change and diversification of activities that provide a high level of amenity within the Precinct and the surrounding area. Refer to Schedule 1, point	2
Seeks that all open space for passive recreation and associated trees should be retained and protected. Mechanisms include covenants or similar, and zoning of open space. Do not establish any more sport fields.	1
Seeks confirmation that Unitec open space not be included in total open space	1
Ensure the amount of open space provides for the number of people who will live and work in the precinct.	1
Ensure the ecological assessment fulfils the requirements of s104 and s30 of the RMA, and includes sufficient information for community submitters to engage with, an independent ecological assessment for evidence exchange, native bat detection within the precinct, and the wetland/spring in the north-west of the precinct is assessed by a hydrological engineer and ecologist. Refer to submission for further detail.	1
Seeks more provision for open space including close to and suitable for school use which is zoned for Open Space.	1
Establish open space values in order to assess alternatives. Prepare an independent open space assessment. Refer to submission for further detail.	1
Seeks to retain the Knoll	1
Add a new Policy I334.3.(15A) to add at least 7.1 ha of key open space (private) within the precinct. Refer to Schedule 1, point 59 for details.	1
Seeks more open space due to population increase enabled by the plan change (Opposes due to effects on that open space at 4m ² per person is below WHO recommendation of 10-15m ²)	1
Align provision for green space with council's broader open space strategy	1
Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 34 for details	1
Land that serves as utility e.g. stormwater ponds, should not be included as open space.	1
Seeks open space provision to include sports fields	1
Opposes changes to density, amount of open space, building height and zoning	1
Seeks that the level of intensification and height proposals should be balanced with sufficient open space and trees.	1
Opposes due to inadequate provision for open space and that the Sanctuary Gardens is not identified	1
Specify in the precinct the amount of open space including what proportions are to remain private and public open space.	1
Amend I334.1 Precinct Description to identify where setbacks will be used and to include Te Ao Māori principles. Supports proposed paragraphs relating to managing interfaces (para. 3), open space (para. 4) and Māori capacity building and development (para 7). Refer to pages 3 & 4 of the submission for details	1
Opposes due to more high rise buildings too close to Oakley Creek	1
Seeks clarity on the overall intensity of development via a master plan	1
Opposes due to the lack of a masterplan or relevant information with sufficient information on trees and tree protection, key features of site, location of open space, protection of the sanctuary gardens, and preservation of the landscape context of Building 58.	1
Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 38 for details.	1
Opposes due to the Sanctuary Gardens not being identified / protected	1
Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 56-58 for details	1
Prepare an evidence statement that includes presentations, written material and minutes of meetings between the applicant and the Albert-Eden local board and councillors on the rezoning	1

Amendment sought	Count
proposal. Request the Albert-Eden local board and councillors present evidence on boundary setbacks, Oakley Creek Significant Ecological Area, Marine Significant Ecological Area, transport, open space, social and ecological effects. Refer to submission for further detail.	
Seeks more than a 10m setback to Oakley Creek	1
Amend I334.10.1 Precinct Plan 1 to secure open space and maintain amenity within the precinct and surrounding areas. Refer to Schedule 1, point 86 for details.	1
Seeks provision made for sports fields	1
Seeks more provision for open space to retain mature forest and trees and that the Sanctuary Gardens be identified	1
Seeks that remaining mature trees should be retained and protected, for example, by a covenant, and integrated into the development (including, as examples given, the Northern Open area, the Knoll Open Space and the context to the 1896 Building 48). An aboriginal report needs to be submitted to assess the remaining trees against the Notable Trees criteria for scheduling in the Unitary Plan.	1
Amend I334.8.1. Matters of discretion (Assessment - restricted discretionary activities) by deleting proposed changes relating to retail, new buildings that comply with Standard I334.6.4 Height, parking buildings, road connections. Retain references to Policy I334.3.(15A) Open Space and Policy I334.6.5 Landscaping. Refer to page 58 of the submission for details.	1
Seeks that the Knoll be retained by Unitec to ensure the protection of trees. Refer to submission for details	1
Provide for a variety of open space typologies that enable active and passive recreation and identify the locations for these types of open space uses in Precinct Plan 1.	1
Set density at 3,000 new homes	1
Ensure adequate separation of buildings, to avoid adverse effects on public open space, including on the public realm of road reserves, within and adjoining the Precinct.	1
Supports an increase in height of buildings provided it results in more useable open green space.	1
Seeks greater provision for open space and amenity to offset increases in height and population, enabled by the plan change	1
Amend Policy I334.3(17) as follows: Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and plazas within the precinct.	1
Seeks more open space and seeks a greater Te Auaunga-Oakley Creek building set back	1
Restrict site coverage to provide greater landscaped areas and space for tall trees between buildings.	1
Amend Zoning Map to zone land for open space	1
Retain Policy I334.3 (15A) requiring a minimum amount [at least 7.1 ha] of private open space.	1
Avoid the adverse effect of dominance of buildings on open space.	1
Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 20 for details.	1
Clearly identify how open space will be used.	1
Secure the provision of open space by rezoning additional land for open space, and amending Precinct Plan 1.	1
Provide additional southern open space. Refer to Schedule 3 for details.	1

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review (*Terrestrial Ecology*) on behalf of Auckland Council

(Chris Wedding)

Introduction

1. My name is Chris Wedding. I am a terrestrial ecologist and I am qualified with a M.Sc (Hons). I have 18 years' professional experience, which includes preparing and reviewing ecological effects assessments, design and implementation of ecological offset, management and monitoring for a range of projects, including subdivisions, roading, quarries, plan changes and Notices of Requirement.
2. I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:
 - Review the original plan change application documents;
 - Visit the site;
 - Identify matters, within my area of expertise, that required further information from the applicant, and assessing the applicant's response;
 - Review the submissions and further submissions;
 - Identify issues relevant to my area of expertise;
 - Give my expert opinion on the issues, with recommendations where appropriate;
 - Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.
3. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

Summary

4. I rely on the reporting planner to explain PPC94 including its location and what the plan change is seeking.
5. I have identified the following issues relevant to my area of expertise:
 - (a) An area identified as 'mature mixed canopy' better aligns with a kauri, podocarp, broadleaved forest, a Regionally Endangered ecosystem (Singers et al. 2017). It supports threatened plant species and warrants protection.
 - (b) The presence of rare and unique lichen biodiversity on rock outcrops, as raised in submissions.

6. The recommendations I make in respect of these issues are:
 1. the area identified as 'mature mixed canopy' forest should be protected as part of the Plan Change, and in accordance with the RPS B7.2, RMA Section 6(c) and as consistent with the NPSIB (S2.1; 2.2 and policies 3, 6, 8).
 2. recognition and protection of the lichen biodiversity within the PC. This could be achieved through open space zoning.

Terrestrial Ecology Issues

7. The area identified as 'Mature mixed canopy' forest supports a diversity of mature and naturally regenerating indigenous vegetation, largely omitted by the Morphum report. In parts, the canopy is dominated by indigenous trees (e.g. threatened pohutukawa), and also includes rimu, totara, kahikatea, puriri, titoki, ti kouka, kawakawa, karo, tarata, silver fern and kauri, the latter also a threatened species. These species are characteristic of a coastal kauri, podocarp, broadleaved forest, a Regionally Endangered ecosystem type (WF11 ecosystem type, Singers et al. 2017¹) that would have formerly covered parts of the area². While I agree that the fragment is degraded by presence of exotic species, and would therefore rate low in terms of representativeness for this ecosystem type, I disagree with Morphum's assessment that this vegetation is "not reflective of any natural vegetation community". As a threatened ecosystem type and identified habitat for threatened species, this mature vegetation meets SEA criterion (2): Threat status and rarity because (a) it is an indigenous habitat, community or ecosystem that occurs naturally and is assessed as threatened; and (b) it is a habitat that supports occurrences of kauri and pohutukawa, both assessed as nationally threatened (de Lange et al. 2018³). The protection of this forest fragment would be consistent with the Regional Policy Statement B7.2, RMA Section 6(c) the NPSIB (S2.1; 2.2 and policies 3, 6, 8) and Auckland Councils urban ngahere (Forest) strategy.
8. Several submissions raise the presence of native lichen communities on rock outcrops within the PC 94 area, including the 'type locality' for one *Cladia blanchonii*- a threatened species, and *Porpidia albocaerulescens*, an At-Risk species. I support the recognition and protection of this unique biodiversity within the PC. This could be achieved through open space zoning.

Chris Wedding

¹ Singers, N.; Osborne, B.; Lovegrove, T.; Jamieson, A.; Boow, J.; Sawyer, J.; Hill, K.; Andrews, J.; Hill, S.; Webb, C. 2017. Indigenous terrestrial and wetland ecosystems of Auckland. Auckland Council. 76 pp.

² AUP GEOMAPS Biodiversity Overlay- Ecosystem Potential Extent.

³ de Lange, P. P.J.; Rolfe, J.R.; Barkla, J.W.; Courtney, S.P.; Champion, P.D.; Perrie, L.R.; Beadel, S.M.; Ford, K.A.; Breitwieser, I.; Schonberger, I.; Hindmarsh-Walls, R.; Heenan, P.B.; Ladley, K. 2018: Conservation status of New Zealand indigenous vascular plants, 2017. New Zealand Threat Classification Series 22. Department of Conservation, Wellington. 82 p.

29/08/2024

Memo (technical specialist report to contribute towards Council's section 42A hearing report)

09 September 2024

To: Peter Reaburn, Reporting Planner
From: Andrew Temperley, Senior Transport Planner, Traffic Planning Consultants

Subject: Wairaka Precinct Plan Change – Transportation Assessment

1.0 Introduction

- 1.1 My name is Andrew Temperley, and I am a Senior Transportation Engineer and Planner at Traffic Planning Consultants Ltd (TPC) and have over 21 years of experience in transportation planning and engineering. I hold the qualifications of a Bachelor of Mechanical Engineering with German from the University of Nottingham, UK (1998) and I am a Chartered Transportation Engineer and member of the Chartered Institution of Highways and Transportation (CIHT) in the UK.
- 1.2 My work experience has included assessing and reporting on transportation effects of commercial and residential developments and strategic growth proposals in both New Zealand and the UK. Over recent years, I have been contracted to undertake such work on behalf of Auckland Council.
- 1.3 I have undertaken a review of supporting evidence submitted on behalf of the Ministry of Housing and Urban Development (MHUD) in respect of the Proposed Private Plan Change 94 (PC94) within the Wairaka Precinct (also previously known as the Te Auaunga Precinct), on behalf of Auckland Council, in relation to transportation effects.
- 1.4 In writing this memo, I have reviewed the following documents lodged in support of the application for PC94:
 - Te Auaunga Precinct 2022 Integrated Transport Assessment and Transport Assessment and Modelling Report, by Stantec, for Ministry of Housing and Urban Development
 - Wairaka Precinct Planning Report, including Section 32 Assessment
 - Clause 23 Further Information Responses (July 2023)
 - Clause 23 Second Further Information Responses (October 2023)
- 1.5 I have additionally referred to relevant policy documents to provide context where appropriate, including the Auckland Unitary Plan and the Reference Masterplan and Strategic Framework prepared by Grimshaw on behalf of the Crown and MHUD in 2019.
- 1.6 In writing this memo, I have reviewed 59 of the 231 submissions, which include comments relating to transportation matters. My review of these submissions is

covered in Section 5 of this review. This includes a submission by Auckland Transport (AT), as the road controlling authority for the adjoining public road network serving the Wairaka Precinct, which I have highlighted separately in my review and analysis in Section 5 of this memo.

- 1.7 By way of summary of the detail in this report, I consider PC94 to be acceptable in transportation terms, subject to written confirmation of findings from updated traffic modelling, jointly undertaken between AT and MHUD, in a joint transport modelling expert statement, a completed draft of which is currently awaited at the time of writing. However, I understand from verbal presentation of key findings of this recent work that previous concerns of mine, in relation to the future operational performance of the Carrington Road corridor and associated underlying transport assumptions adopted, have been appropriately addressed.
- 1.8 In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

2.0 Key Transportation Issues

PC94 Transport Context and Constraints

- 2.1 The applicant proposes the PPC to enable the rezoning of land under the Auckland Unitary Plan within the 64.5 ha Wairaka Precinct in Mount Albert, from Special Purpose – Tertiary Education Zone to Business – Mixed-use zone (BMU) and Residential Mixed Housing Urban Zone (MHU). A number of changes are also proposed to precinct provisions, notably to allow greater building heights. As a consequence, the capacity for residential development in the precinct is significantly enhanced.
- 2.2 Current land uses within the Wairaka Precinct are shown in figure 1, along with the areas proposed for rezoning under PC94. The current zoning comprises primarily BMU Zone towards the northern end and Special Purpose – Tertiary Education Zone towards the southern end. There is additionally a section of Special Purpose – Healthcare Facility & Hospital Zoned land encompassing the Mason Clinic within the northwestern corner of the site, as well as Residential – Terrace Housing and Apartment Building Zone bordering the southwestern fringe of the site and Residential MHU Zone bordering the southern fringe of the site.
- 2.3 PC94 thus serves to increase the prevalence of BMU zoned land within the Wairaka Precinct, particularly bordering Carrington Road to the east, which functions as a key public transport corridor.
- 2.4 The Auckland Unitary Plan descriptions for the new zonings of BMU and MHU include the following functional transportation requirements, which need to be demonstrated by the Wairaka Precinct to affirm the acceptability of PC94:

- To be located within walking distance of Business – Metropolitan Centre zone or Business Town Centre Zone (*the latter of which applies to the nearby town centres of Mount Albert and Point Chevalier*).
- Providing high density development close to the public transport network. *In addition to bus routes along Carrington Road, PC94 additionally benefits from proximity to the Western rail line through Mount Albert and Great North Road through Waterview.*

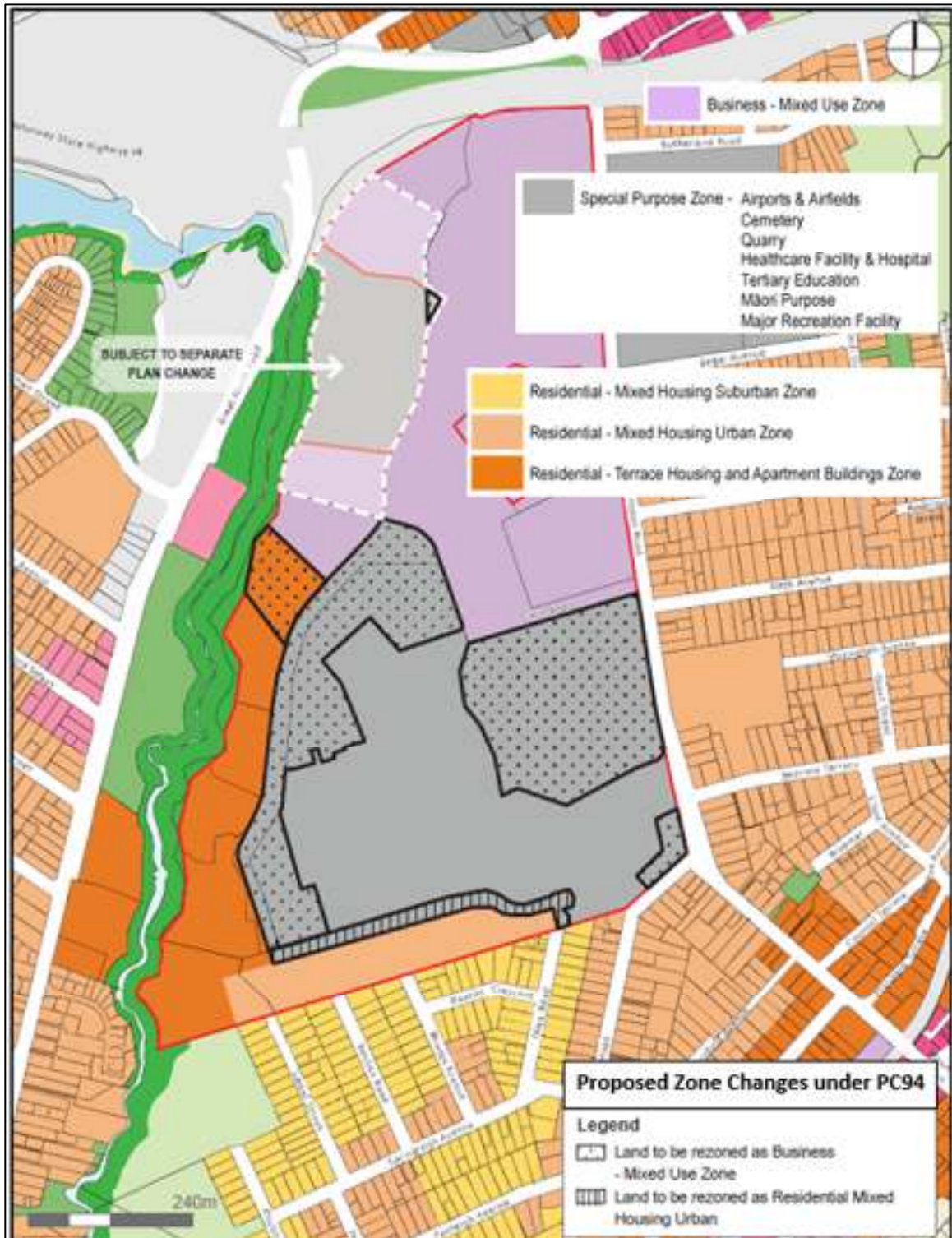


Figure 1 – Wairaka Precinct Existing Zoning and Proposed Changes under PC94

Existing Unitary Plan Zoning and Proposed Changes under PC94

AUP-OIP Zone	Area of Wairaka Precinct
Business – Mixed Use zone	Northern / North-eastern end of Precinct, from Farm Road northwards, encompassing Gate Road 1, Gate Road 2 and Gate Road 3
Special Purpose – Healthcare Facility and Hospital zone	Mason Clinic, in north-western corner of Precinct, encompassing northern end of Spine Road
Special Purpose – Tertiary Education To be partially rezoned under PC94 with: <ul style="list-style-type: none"> • Business – Mixed-use zone • Residential Mixed Housing Urban Zone 	Southern Half of Precinct, From Farm Road / Gate Road 3 southwards and southern end of Spine Road
Residential – Mixed Housing Urban Zone	Bordering the southern boundary of the Precinct
Residential – Terrace Housing and Apartment Buildings Zone	Land to the south-west of the Precinct and the Spine Road

- 2.5 From a transportation perspective, opportunities for providing direct and effective transport linkages to serve the Wairaka Precinct are constrained by the presence of the Northwestern Motorway to the north, Oakley Creek to the west and existing residential development to the south. While vehicular access opportunities to the Precinct and the PC94 area are largely limited to the eastern boundary (Carrington Road) as a result of these constraints, the precinct's geographical context and existing transport provisions do provide opportunity for dedicated walking and cycling routes to the west and the south.
- 2.6 Connectivity of the PPC area to the adjoining transport network is therefore substantially reliant on connections to Carrington Road, which follows a north-south axis bordering the precinct's eastern boundary. Four intersections provide connectivity to the Wairaka Precinct from Carrington Road, of which only one is currently signalised, while the remaining three are to be upgraded from their current priority controls. With significant additional future congestion forecast along the Carrington Road corridor, the ability of these intersections to facilitate safe and efficient movements for traffic and active mode users therefore underpins the ability of PC94 to function appropriately in transport terms.
- 2.7 Carrington Road will additionally continue to function as the principal public transport corridor serving the Wairaka Precinct, with bus stops provided within a convenient walking distance of the PC94 area. Additional public transport corridors within walkable distance of PC94 include Great North Road through Waterview, to the west of Oakley Creek, and the Western Rail line, which includes nearby train stations in Mount Albert and at Baldwin Avenue.

- 2.8 Proximity to public transport is a key facet upon which PC94 needs to capitalise, as the provision of higher density development near to public transport is a functional requirement of both the Mixed Housing Urban (MHU) and Business – Mixed Use (BMU) Zones of the Auckland Unitary Plan, which are enabled by PC94. A high uptake of public transport as a travel mode to access the PC94 area would further serve to mitigate against congestion on the adjoining road network.

PC94 Envisaged Development Proposal

- 2.9 The proposed rezonings and precinct changes allow for increased building heights. Buildings would be variously enabled up to heights of 8 – 11 stories over much of the precinct, with three tower buildings also proposed. This broadly aligns with development envisaged under the Grimshaw 2019 Masterplan and Strategic Framework.
- 2.10 The land use scenario adopted in the applicant's assessment of transport effects of the proposal includes the following:
- Residential development of a minimum of 4,000 units by 2031
 - 122,329 sqm of Business – Mixed Use land rezoned from Special Purpose – Tertiary Education zone. This land is divided into three different blocks, located within the southern part of the precinct, as shown in Figure 2.
 - 10,093 sqm of Business – Mixed Use land, rezoned from Terrace Housing and Apartment Buildings zone
 - A supermarket of 1,500 sqm Gross Floor Area (GFA) by 2031
 - A speciality retail cluster of 1,200 sqm GFA by 2031
 - A primary school (including early childhood education) will only be implemented sometime after 2031.
 - Continued operation of existing Taylor's Laundry commercial site until 2031
- 2.11 While the PC94 Planning Report identifies that future development potential for the PC94 area could include scope for up to an eventual 6,000 residential units, the modelling work that has been carried out indicates a figure closer to 4,500 units. From a transportation perspective a condition is proposed that any proposal beyond 4,000 units would require a new ITA. This proposed condition has been subsequently confirmed in the applicant's revised Precinct Provisions provided on 20 September 2024.
- 2.12 The current land-use scenario proposes limiting the provision of car parking for residential activities, such that 1,000 of the 4,000 dwellings will be provided with no car parking, while the remaining 3,000 dwellings will have an average of 0.7 or less spaces per dwelling. This would thus equate to the equivalent of one parking space for 53% (or 2,100) of the 4,000 dwelling units. The car parking

will be provided on an 'unbundled' basis, i.e. dwelling purchasers will not be required to acquire or rent parking spaces.

- 2.13 While rationalising car parking stock and implementing appropriate controls can serve as a means of managing travel demand, this approach needs to be accompanied by provisions for promoting alternative modes of travel and travel demand management measures. In addition, neighbouring residential streets could be prone to experiencing additional on-street parking pressures. I discuss both of these subject matters later in this report.

AT Carrington Road Upgrade Project

- 2.14 The mitigation of transport effects associated with PC94 is highly dependent on AT's proposed Carrington Road upgrade project, key elements of which include roadway widening to accommodate the addition of bus lanes or T2 or T3 transit lanes, provision of signals at key intersections and pedestrian crossing points and a cycleway. While a wider scope of improvement had previously been considered for some elements of the project, such as widening of bridges and consequent significant changes to key intersections, AT state that these elements are no longer to be included.
- 2.15 AT's proposed upgrade works for Carrington Road are supported by a business case, which identifies future development within the Wairaka Precinct as a key driver for the upgrade. The business case also includes an investment objective for the upgrade to deliver improved journey times and reliability for buses on Carrington Road. This aligns with the functional transport requirements for the future Auckland Unitary Plan zonings under PC94, which refer to higher density development near to public transport.
- 2.16 As noted earlier, at the time of writing I am awaiting a completed draft of a Joint Expert Statement to confirm that the transport network adjoining the Wairaka Precinct can be made to function satisfactorily following PC94. However, based on findings from earlier traffic modelling undertaken by the applicant and AT, I considered that PC94 cannot be completely reliant on the capacity improvements and other infrastructure provisions to be delivered through the Carrington Road upgrade to fully mitigate against its anticipated transport effects. I therefore support proposals for travel demand management measures to ensure the delivery of acceptable transport outcomes through PC94, including encouragement towards active modes of travel, increased public transport usage and parking management measures.

Carrington Backbone Works

- 2.17 The Backbone Works are an upgrade of the internal road network within the Wairaka Precinct, which are currently underway on site at the time of writing having been consented in June 2022. They comprise primarily on-line upgrades of the existing roads, with improved roadway widths and the inclusion of continuous pedestrian footways and pedestrian cycleways. The scope of the improvements covers the main north-south 'spine road' within the precinct and the three east-west connector roads connecting with Gates 1, 2 and 3, the latter

of these being the route of Farm Road / Park Road, which borders the northern boundary of the PC94 area.

- 2.18 The Backbone works will benefit the PC94 area by offering improved connections between Carrington Road and the Precinct, for both vehicular traffic and active mode users.

Access Constraints to the south of the Precinct

- 2.19 While the northern and western boundaries of the precinct afford little opportunity for potential new vehicular connections, to serve as alternative accesses to the access gates onto Carrington Road, some existing residential streets abut the southern precinct boundary. However, under the Wairaka Precinct Chapter of the Auckland Unitary Plan, access to the precinct from the south is to remain limited to pedestrian and cycle access. In addition to an existing shared user path adjoining Laurel Street, the Precinct Plan allows for potential new pedestrian and cycle connections via Renton Road and Rhodes Avenue. An existing bollard-controlled vehicle access via Mark Road, to Unitec buildings within the southeastern corner of the precinct is also to remain.
- 2.20 This aligns with existing Precinct rule I334.7.1, which recognises additional private Road connections from Laurel Street, Renton Road or Rhodes Avenue as a controlled activity. Particular matters of control include traffic effects, safety and amenity in adjoining streets, an exclusion of benefits related to through traffic movements from Carrington Road and turning restrictions within the precinct to reduce the likelihood of access to education related activities from the south.
- 2.21 I concur with the approach of not providing new through vehicle connections to the south of the precinct as part of PC94, as the adjoining public roads to the south serve a local residential environment and do not facilitate direct and efficient onward connections to the arterial road network, including Woodward Road, Carrington Road and New North Road. I thus consider that such routes would not be suitable for through traffic movements and would risk encouraging 'rat-run' trips to avoid Carrington Road.
- 2.22 While some submitters have voiced concern in relation to potential for adverse traffic effects on residential streets to the south of the Precinct as a result of PC94, I am of the view that existing road layout combined with controls under Precinct rule I334.7.1 are sufficient to prevent future through traffic access. However, I acknowledge that development under PC94 could place additional parking pressures on neighbouring residential streets to the precinct, as discussed below.

3.0 Applicant's Assessment

- 3.1 The original scope of transportation assessment to support the PPC was provided by an Integrated Transport Assessment (ITA), and an accompanying Transport Assessment and Modelling Report (TMR), prepared by Stantec for the Ministry of Housing and Urban Development (MHUD). The latest draft of the ITA was dated December 2022, following a previous draft dated June 2020.
- 3.2 However, the original findings from the applicant's traffic modelling analyses have been superseded, following collaboration between MHUD, AT and their respective transport consultants since May 2024, under which MHUD's traffic model was taken over by AT and subject to alterations and peer reviewing. The aim has been for both parties to adopt the same traffic model for the assessment of traffic effects on Carrington Road and ensure consistency in findings.
- 3.3 The scope of the ITA covers existing transport environment and context, road safety, proposed development and staging, future car parking provisions, future transport environment (including provisions for sustainable modes of travel, transport connectivity and example road cross-sections), assessment of traffic effects (including trip generation and traffic modelling) and integration with transport policy.
- 3.4 The ITA confirms the following recommendations and conclusions:
- That the Precinct will comply with the Precinct objectives, policies and rules as set out in the Unitary Plan.
 - That the future precinct will support good practice in sustainable development and encourage use of sustainable modes of travel.
 - While traffic modelling confirms added congestion on the adjoining transport network, proposed upgrades and capacity increases on Carrington Road will significantly reduce external impacts.
 - Further longer-term development in the Precinct beyond that proposed under PC94 is likely to require further strategic change, such as significant public transport improvements along the State Highway 16 corridor and other nearby arterial roads, as well as a stronger focus on reducing car parking rates per dwelling.
- 3.5 The TMR provides a summary of updated traffic modelling work undertaken to assess the PC94 proposal, which incorporates a number of changes to assumptions, including the following:
- Updates to land-use activities and phasings for development, including the addition of further residential development, as well as retail development (including a supermarket) and a primary school (including early childhood education)
 - Updates to adopted trip generation assumptions, including application of discounts to previously adopted rates and traffic flows

- Parking provisions and controls, including a reduction in parking provision for residential activities, the proposed introduction of resident's parking schemes for surrounding residential areas to the precinct (later dropped on account of not being supported by AT) and time-limited parking to serve retail activities
- Updates to the Carrington Road Upgrade works, including bus lanes on Carrington Road and changes to future intersection layouts

3.6 The TMR notes the following conclusions:

- Compared to a future scenario without PC94 or the Carrington Road upgrade, some of the intersections modelled on Carrington Road experience poorer Levels of Service, whilst others experience improved Levels of service.
- The introduction of bus lanes on Carrington Road, as part of the upgrade works, results in clear journey time benefits for bus users, while corresponding journey time benefits for general traffic are more limited.
- The improved throughput on Carrington Road following the upgrade results in additional pressure at arterial road intersections at either end, in Point Chevalier and Mount Albert town centres, where there is limited scope to deliver capacity improvements.
- The TMR concludes overall that the transport impacts of the proposed rezoning under PC94 can be adequately mitigated, subject to key changes to the transport environment being in place. These include limitations on parking provision for new development and other travel demand measures, which I elaborate upon later in this report.

3.7 The subsequent joint traffic modelling work undertaken between the respective transport consultants of AT and MHUD reaffirms the above conclusions, which have been accepted by both parties. While I am awaiting the opportunity to review a forthcoming written expert statement to confirm the findings of this recent work at the time of writing, I consider that the traffic modelling work undertaken to date reaffirms the need to reduce car-based travel and capitalise on opportunities for take-up of other transport modes, which I elaborate upon subsequently in this report.

Review of Applicant's Traffic Modelling

3.8 The largest and most fundamental element of the applicant's assessment is the traffic modelling of the precinct and the adjoining road network, which has been undertaken using the AIMSUN microsimulation modelling package. Key assessment parameters used for the purposes of assessment include intersection delay times and consequent 'Levels of Service', as well as travel times for general traffic and buses and traffic throughput.

3.9 The scope of the applicant's traffic model covers the Carrington Road corridor between Great North Road in Point Chevalier and New North Road in Mount Albert, which encompasses the four key access intersections with the Wairaka Precinct (Gates 1 to 4). The model also covers the internal network within the Precinct, Woodward Road and key residential streets bordering and connecting

with the Precinct's southern boundary, including Laurel Street, Renton Road, Rhodes Avenue and Mark Road.

3.10 Overall, I consider that the scope of the model to be appropriate and commensurate with the scope of transport effects associated with PC94.

3.11 As part of the collaborative traffic modelling work between MHUD and AT, MHUD's AIMSUN model, prepared by Stantec, was taken over by AT and subject to alterations and peer reviewing, with the aim of being adopted by both parties for the purpose of achieving consistency in the assessment of transport effects. This has included seeking agreement over differing assumptions in relation to traffic model inputs.

3.12 The recent joint traffic modelling work has addressed the matter of differing assumptions incorporated in the two previous traffic models, which had been a source of previous concern raised by both myself and AT. These including the following:

- **Assumptions underpinning trip generation analysis** – including discount factors previously adopted in the MHUD model to account for remote learning and modal shift due to congestion.

The joint modelling work has included alignment of background traffic inputs with the Auckland Macro Strategic Model (MSM) operated by the Auckland Forecast Centre (AFC), adoption of a consistent future assessment year of 2031 between AFC modelling work and the MHUD model and updated model assumptions to better align with current network knowledge and performance. The updated assumptions include land use assumptions around Mount Albert, the operation of Woodward Road rail level crossing, and intersection operations.

- **Scope of widening along Carrington Road** – Limited by the presence of bridge structures over State Highway 16 and the Western Railway Line overbridge, as well as by the need for property acquisition.

On the basis of these constraints, AT have confirmed that widening along Carrington Road will be limited to the length in the immediate vicinity of the Wairaka Precinct.

- **Carrington Road / Wairaka Precinct Intersections layouts** – While these previously differed between the two separate models, the joint modelling work has provided opportunity to eliminate such inconsistencies.

3.13 I further note the following assumptions previously incorporated into the MHUD model that are no longer included:

- Adjustments to intersection of Great North Road / Point Chevalier Road / Carrington Road intersection
- Implementation of Resident's Parking Schemes, which as discussed later in this report, are not supported by AT.

- 3.14 Based on the above, I am satisfied that the assumptions adopted for the updated joint traffic model have been appropriately verified and qualified, in order to form the basis for a representative assessment of PC94.
- 3.15 The applicant's ITA and TMR include traffic modelling and associated analyses of staged development scenarios following PC94, along with accompanying 'trigger points' for key elements of the Carrington Road upgrade which are required to mitigate against adverse transport effects associated with each development stage. The 'three stage' trigger points identified by the applicant are summarised as follows:
- (a) Scenario A – allow up to 1,023 dwellings, limited external road network changes are required beyond the first signalisation of an additional access "gate" – i.e. no Carrington Road Upgrade is required
 - (b) Scenario B – allow up to 2,049 dwellings (assumed completion year 2028) – the Carrington Road Upgrade needs to be implemented (along the precinct frontage only) including added signalised intersections along the length including Woodward Road).
 - (c) The TMR scenario – allow up to 4,000 dwellings (assumed completion year 2031) – the Carrington Road Upgrade needs to be implemented along the length of Carrington Road, not just the precinct frontage.
- 3.16 At the time of writing, I am awaiting confirmation in relation to the continued validity of the above trigger points, following the recent joint traffic modelling work between MHUD and AT, as well as confirmation of expected car parking provisions associated with the above dwelling numbers. I understand that, based on the latest estimated delivery schedule for the Carrington Road upgrade, key elements of the upgrade noted above are expected to be completed ahead of the corresponding thresholds for dwelling numbers enabled by PC94. However, I recommend confirmation of the latest trigger points for key elements of the Carrington Road upgrade through conditions, as noted in section 6 of this report.

Parking Supply and Demand

- 3.17 The ITA sets out an overall philosophy for the approach to car parking for a prospective masterplan for the PC94 site, which aims to reduce car dependency and dominance by means of reduced parking provision and applying controls to publicly available car parking. In addition to reduced car parking rates being applied to different land use activities within the Precinct, the ITA proposes little to no on-street car parking provision, with short-stay controls expected to be applied.
- 3.18 The ITA does not assess the risk of potential car parking overspill into nearby residential areas, which could be a consequence of reduced on-site parking provision, in combination with parking controls to discourage long-stay on-street parking.
- 3.19 While the applicant has proposed the implementation of residents' parking on streets adjoining the precinct, such a proposal would be the responsibility of AT to deliver. However, AT have stated that they consider the implementation of residential parking schemes to be unlikely and will only be considered appropriate

if parking issues arise for existing areas where sites do not have off-street parking. It is noted however that residential properties on streets neighbouring the Precinct to the south and east generally have off-street parking available and are therefore not likely to be ideal candidates for resident parking schemes.

- 3.20 I support recommendations by AT for further work to be undertaken in relation to parking, as noted in Sections 5 and 6 of this report.

Vehicular Access to the south of the Precinct

- 3.21 The ITA confirms that previous consideration has been given towards the provision of a through road connection between the Precinct and residential roads to the south, which would serve to relieve pressure on traffic movements between Carrington Road and the precinct. However, changes to planned development in the precinct and associated traffic movements resulted in its subsequent removal from the traffic model.
- 3.22 The ITA further reaffirms that the current PC94 proposal is to limit any access from roads to the south of the precinct to local access and pedestrian and cycle access only. This aligns with Wairaka Precinct Chapter Objective I334.2 (9), which states that any new road connections provided to the south of the precinct must not become a direct vehicle entrance for Special Purpose – Tertiary Education zoned land and be designed to minimise amenity effects on existing residents.
- 3.23 I agree with the above approach and consider that the residential roads adjoining the southern end of the Precinct are not suited for facilitating through traffic movements. Facilitating access via the south of the precinct could risk creating undesirable ‘rat-run’ movements reassigning from Carrington Road and the nearby arterial road network, as well as being of detriment to the local residential environment.

Access by public transport

- 3.24 The ITA’s assessment of access to the PC94 site by public transport considers the following provisions in the vicinity:
- bus routes serving bus stops on Carrington Road (to the east of the precinct),
 - bus routes serving bus stops on Great North Road in Waterview (to the west of the precinct) and
 - rail access from Mount Albert and Baldwin Avenue Stations.
- 3.25 The ITA additionally notes previously considered proposals for a ‘back route’ bus service, which would travel through the Wairaka Precinct via the ‘spine road’ and Woodward Road. While such a service could offer better penetration and passenger convenience through the PC94 area, it was not favoured by Auckland Transport due to the comparatively slow journey speeds.
- 3.26 While a bus service following the internal precinct roads may offer improved convenience of access for users with an origin or destination within the precinct, it would result in a more circuitous and less attractive route for users who do not

have an origin or destination within the precinct. On this basis, such a service would be less capable of offering frequent service and be commercially viable.

3.27 I elaborate on these provisions with further assessment of my own in Section 4 of this report.

Access by active modes

3.28 The ITA's assessment of the walking and cycling environment identifies some deficiencies in infrastructure and facilities, including a lack of formalised crossing facilities across Carrington Road and the intersection points to the Precinct. Upgraded crossing facilities for active mode users along the Carrington Road corridor is a matter that is to be addressed through the Carrington Road upgrade project.

3.29 The ITA's assessment does not provide significant detail in relation to deficiencies in provisions for active mode users within precinct's internal road network at its time of writing, such as the scope of inconsistency in footpath provisions, as well as the undulating environment. Notwithstanding this, the internal road network within the site is to gain new and upgraded pedestrian and cycle routes as part of the Backbone works project, as discussed in section 2 of this report.

3.30 A previously provided shared path connection running east-west towards the northern end of the precinct has been removed through the development of PC75 within the Wairaka Precinct (for the Mason Clinic) and the Precinct Plan did not identify an alternative route for this shared path. However, the PC94 Clause 23 Response provided an updated map for the Precinct Plan confirming the provision of new alternative route for a replacement east-west walking and cycling path towards the northern end of the precinct, which will be available for future residents of development enabled by PC94. This matter is now deemed to have been appropriately resolved as part of PC94.

4.0 Assessment of Transportation effects and management methods

Overall Transport Context

4.1 As noted in Section 2 of this review, I consider that the geographical location and context for PC94 aligns well with the functional transport requirements for the MHU and BMU zones, based on its location on a strategic public transport corridor in good proximity to local town centre areas.

4.2 However, as noted in Section 3 of this report, at the time of writing I am awaiting confirmation of the outcomes from updated traffic modelling work between AT and MHUD to confirm the future performance of key intersections on Carrington Road. In order to appropriately manage adverse transport impacts of PC94 on the adjoining road network, the timely delivery of the Carrington Road upgrade project is of critical importance. I additionally consider that a strategic approach to travel demand management is similarly important to mitigate against the adverse

operational impacts of PC94. Key elements of a travel demand strategy, which I elaborate upon in this section of my report include:

- Management of car parking stock and parking controls
- Provisions for active mode users
- Public transport provisions
- Other travel demand management initiatives proposed by the applicant, summarised at the end of this section.

Carrington Road Upgrade

- 4.3 The most critical transport project, upon which the Wairaka Precinct is dependent, is AT's proposed upgrade of Carrington Road. Further to AT and MHUD's recent adoption of a common traffic model for the assessment of the Carrington Road upgrade, the two parties have agreed that the adjoining road network will perform at an adequate level of service with the Carrington Road upgrade in place and development enabled through PC94. However, at the time of writing, I am still awaiting completion of a full joint transport modelling expert statement which is being drafted by Transport Consultants of the two parties, in order to formulate my own conclusions in relation to the future performance of the network.
- 4.4 To achieve the levels of vehicle trip reduction and modal shift adopted in the trip generation assessment of the applicant's ITA, the ITA confirms a number of Travel Demand Management (TDM) initiatives. The various tools and strategies identified for managing travel demand are discussed towards the end of this section of my report.

Car Parking Provisions

- 4.5 As noted earlier, the ITA confirms that PC94 will adopt a reduced provision in car parking stock and stringent controls on the use of publicly available car parking, particularly on-street, as an approach to encourage the precinct to be less car dependant than previous Auckland suburban residential developments.
- 4.6 As a result of the National Policy Statement for Urban Development, minimum parking requirements for activities have been removed from the Auckland Unitary Plan Transport Chapter. I therefore understand that a parking shortfall is not a transport effect that the Council can consider at the Plan Change stage.
- 4.7 In the event of insufficient on-site car parking being provided within the precinct, uncontrolled on-street parking opportunities are available within nearby residential streets to the south and east of the subject site. However, Section 5 of this report confirms local opposition to parking and traffic pressures in neighbouring residential streets through submissions received.
- 4.8 Options for managing increased parking demand in residential streets could include, but not be limited to, the implementation of residents' parking zones or the implementation of sections of 'No Stopping at all times' controls.

- 4.9 As discussed in paragraph 5.4 of this report, the implementation of resident parking schemes in neighbouring residential streets has not been supported by AT and is not considered an appropriate tool to manage parking demand in the area, as most existing dwellings in neighbouring residential streets already have off-street parking.
- 4.10 While parking management measures have potential to serve as a tool for managing travel demand, it is important that a parking strategy is integrated effectively with other travel demand management tools, such as travel planning initiatives and provisions and incentives for sustainable modes of travel. These are discussed in the paragraphs below.

Provisions for Active Mode Users

- 4.11 The Wairaka Precinct Chapter of the Unitary Plan identifies walking and cycling routes within and adjoining the precinct, with walking and cycling paths separated from one another (i.e. not shared paths). Pedestrian and cycle paths will be incorporated alongside all roads within the upgraded precinct road network, negating the need for cyclists to travel on road, in addition to which the precinct includes a network of walking paths and shared paths that are separate from the precinct roads.
- 4.12 The Wairaka Precinct benefits from a number of access routes to the adjoining area being available to active mode users only, namely:
- The northwestern shared user path, which follows an east-west axis towards the northern end of the Precinct, between the Carrington Road and Oakley Creek
 - Linkages to Laurel Street, Renton Road and Rhodes Avenue to the south of the precinct
- 4.13 As noted earlier, the PC94 area will benefit from improved infrastructure and facilities for active mode users, to be delivered through the Carrington Road upgrade project and the Backbone works project, for roads internal to the Wairaka Precinct.
- 4.14 While the undulating environment within the precinct may serve to reduce the attractiveness of active modes of travel along some key routes within the precinct and for access to lower lying areas of the precinct, I consider that infrastructure provisions for active mode users in the immediate area will be fit for purpose.

Public Transport Provision

- 4.15 Carrington Road is to remain the main public transport corridor serving the precinct area. As an arterial road, it is recognised as a strategic high-volume route in the context of the bus network as well as the wider transport network.
- 4.16 There are currently 4 pairs of bus stops provided on Carrington Road opposite the precinct, albeit this may be reduced to 3 pairs as a result of AT's proposed upgrade works. Notwithstanding this, the majority of the precinct area is expected to remain within a 15-minute walking distance, or a 0.5-kilometre distance, of bus

stops on Carrington Road, with current services on Carrington Road operating at a combined typical daytime frequency of 8 buses per hour in each direction.

- 4.17 An additional bus corridor located within a walking distance of around 400 to 800 metres of the PC94 area is Great North Road through Waterview, which lies to the west of the Wairaka Precinct. This route is currently served by some 7 buses per hour.
- 4.18 Best practice guidelines for acceptable and convenient walking distances include 'Planning for Walking' best practice guidelines published by the UK's Chartered Institution of Highways and Transportation (CIHT), which refer to the following parameters for 'desirable' and 'acceptable' walking distances:
- 'desirable' maximum walking distance of 500 metres (approx. 6 minute walking time)
 - 'acceptable' walking distance of 1000 metres (approx. 12 minute walking time)
- 4.19 The above walking distances to the nearest bus stops from the PC94 area thus sit within the threshold of 'acceptable' walking distances, with the walking times to the Carrington Road bus stops sitting within the 'desirable' walking time threshold. These walking distances are thus deemed to be acceptable.
- 4.20 As a variation to the 'back route' bus service concept discussed in section 3 of this report, I requested both the applicant (as part of the Clause 23 Request) and AT to consider an alternative more direct route for such a service via Laurel Street or Renton Road to the south of the precinct. The Grimshaw 2019 Masterplan and Strategic Framework notes this concept as a 'potential bus route'. Access between the Precinct and the external road network could be limited to 'bus only' and enforced at the Precinct boundary, e.g. by rising bollards. This would offer the advantage of a more direct north-south route onto Woodward Road, compared to using existing precinct roads to loop via Carrington Road in both directions.
- 4.21 However, AT's preference remains to consolidate existing bus services on arterial routes, to establish more frequent services on a 'turn up and go' basis, and thus promote Carrington Road as a strategic public transport corridor. While the applicant is not opposed to the possibility of public transport serving the precinct roads in the future, they support the current Precinct policies to limit access to and from the south to local vehicle access and pedestrian and cycle access.
- 4.22 While in Section 3 of this report, I have acknowledged disadvantages of the 'back route' bus service concept, such as the circuitous route and difficulty in achieving commercial viability, an alternative approach could be to consider a service operated privately, by Unitec, a future residents' body corporate structure or equivalent. However, I would consider that a future economic case for such a service would have to be supported by demonstrable future passenger demand within the Precinct. Such a service could potentially utilise smaller 'minibus' sized vehicles, which could operate under a more bespoke demand-responsive service, in addition to resulting in lesser adverse impacts on local road environments within and to the south of the precinct.

- 4.23 Mount Albert train station is located with a distance of around 800 metres from the southern end of the precinct and offers connections along the Western Line to Downtown Auckland to the east and to destinations such as New Lynn and Henderson to the west, with peak hour daytime frequencies of one train every 10 minutes.
- 4.24 Relating the 800-metre walking distance to the above best practice guidelines, Mount Albert train station would thus be deemed to be within an acceptable walking distance to and from most destinations within the PC94 area.
- 4.25 As discussed in Section 3 of this report, while a bus route following the internal precinct roads could offer better proximity to public transport services for future residents than services on Carrington Road or Great North Road, such a concept is unlikely to be commercially or operationally viable.
- 4.26 Overall, I consider that the PC94 site is reasonably accessible by public transport.

Potential Road Connections to the south of the Precinct

- 4.27 The primary vehicle access to the precinct is to continue to be provided via the four key intersections or 'gates' on Carrington Road, while any connections to the southern residential roads are to remain minor and for local access only. Any through traffic and student traffic movements connecting to the roads in the south are to be discouraged, in accordance with the precinct rules.
- 4.28 The prevention of through vehicle access via the southern boundary of the precinct and limiting through movements for active mode users only prevents use of the precinct roads by undesirable rat-running movements re-assigning from the arterial road network. It further serves as a travel demand management measure, by making certain key journey options by active modes more attractive.
- 4.29 I remain of the view that not facilitating through traffic movements between the precinct and residential roads to the south is appropriate, as the adjoining residential streets to the south serve a local access function and have moderate levels of on-street parking, making them inappropriate for facilitating through traffic movements to Woodward Road.

Travel Demand Management Measures

- 4.30 The ITA's current proposal for PC94 envisages implementation of the following Travel Demand Management measures to reduce single occupancy car travel demand:
- **Car Sharing** – residential apartment blocks to be provided with car sharing parking areas to be managed by third party operators, with a dedicated number of vehicles always available to residents.
 - **Bike Hire and E-scooter Sharing** – residential apartment blocks are similarly expected to be provided with easy access to bike and e-scooter share, which could also be managed by a third-party operator

- **Unbundled car parking** – The ITA proposes that apartments will not be sold with mandatory parking, rather car parks may be sold as an optional ‘add-on’ or provided as long-term leases.
- **Travel Demand Management (TDM) through residential body corporates or equivalent** – Potential activities could include disseminating information to residents about travel choices and arranging activation events.

4.31 The above scope of measures is deemed to be appropriate and conducive towards reducing vehicular traffic pressures on the adjoining transport network.

Woodward Road Railway Level Crossing Grade Separation

4.32 While grade separation of the railway level crossing on Woodward Road had been given consideration prior to the finalising of the 2020 draft of the applicant’s ITA for the Wairaka Precinct, this proposal was ultimately not included in the traffic modelling, as tests found that its removal would not result in significant changes or improvements to the operation of the adjoining road network.

4.33 In the context of the traffic effects generated by PC94, I would consider removal of the Woodward Road level crossing to have minimal impact and that access points from the Precinct adjoining Carrington Road should remain a more prominent focus.

5.0 Submissions

5.1 Following notification of the PPC on 16 November 2023, the extended period for submissions closed on 02 February 2024. A total of 231 submissions were received (two of which were later withdrawn), and of which 59, or 25.5% of all submissions, included comments and feedback in relation to transportation issues.

5.2 The table below provides a breakdown of the most common transportation related issues raised in the submissions, on which I have provided comments in the following paragraphs in this section of my memo.

Transportation Issue Raised	No. Respondents
Concern over traffic effects / Congestion	12 (20.3%)
Concerns over inadequate parking provisions	12 (20.3%)
Concerns over safety	2 (3.4%)
Concern over adverse traffic effects on roads to the south of the precinct, including: <ul style="list-style-type: none"> • Retain proposed indicative roading connections in the south of the Precinct 	25 (42.4%)

<ul style="list-style-type: none"> Concern over Mark Road becoming a high traffic area Confirm that no through connection will be provided to Carrington Road, to avoid rat-running 	
Concern over disruption and traffic impacts on local roads during the construction phase	6 (10.2%)
Concerns over inadequate public transport provisions	3 (5%)
Concerns over inadequate cycle and pedestrian provisions	6 (10.2%)
Request for clarity over the Carrington Road improvements	6 (10.2%)
Concern over how resident's parking will be enforced	3 (5%)

5.3 In terms of the overall requests of the submitters who raised transportation related issues, there was an approximately even split between those who requested the plan change be declined and those who supported it, with an overall bias towards the former. The breakdown of submitters' overall requests is summarised below.

Overall Request of Submitters raising transportation issues	No. Respondents
Support PPC	1 (1.7%)
Support PPC with amendments	21 (35.6%)
Neutral	7 (11.9%)
Decline, but seek amendments if approved	7 (11.9%)
Decline	23 (39.0%)
<i>Total Submitters raising transportation issues</i>	<i>59</i>

5.4 ***Auckland Transport Submission***

The 59 submissions raising transport related concerns included a submission by Auckland Transport (AT). As the Road Controlling Authority for the public roads, walkways and cycleways within and adjoining the Wairaka Precinct, the key issues raised in their submission are summarised below (in addition to being included in the summary tables in paragraphs 5.2 and 5.3 above):

- **Overall position of general support** towards the PPC, including increased residential yield and changes to the zoning. However, AT's position of support is subject to amendment and elements of further assessment.
- **Support towards changes to zoning and anticipated increased residential yield in an area well serviced by public transport.** However, an ITA will be required for any further development above 4000 residential units.
- **A Residents only Parking zone should not be funded and implemented by AT,** this should be managed by the applicant.

AT recommends that further assessment of likely parking demand should be undertaken to inform on-site parking provision and that a localised parking management plan may be required, to mitigate against any identified undersupply of on-site parking, covering streets within a walking catchment of the precinct. One suggested intervention is to consider the provisions for temporary parking on precinct sites prior to development.

- **Previous concerns over forecast congestion on adjoining road network and previous discrepancies between the applicant's traffic model and AT's modelling for the Carrington Road upgrade.** However as noted earlier, this element of AT's submission has been superseded by more recent joint modelling discussions during 2024, which have achieved agreement over future network performance, taking account of both PC94 and the Carrington Road upgrade.
- Amend the ITA to reflect agreements on **Carrington Road intersection upgrades**, with the onus on the applicant to upgrade two intersections before occupation of the first 600 residential units, if the upgrades are not already delivered by this time and expand Precinct Rule I334.9 to capture this matter.
- **Amendments to I334.1 Wairaka Precinct Chapter**
AT's submission proposes and supports a number of amendments to Precinct Chapter provisions, including the following:
 - Specific mention of the Northwestern Shared Path amongst future provisions for the pedestrian and cycling network.
 - Provision of walking and cycling connections to *nearby public transport*, in lieu of a previous specific reference to the expansion of public transport specifically *through the precinct*.
 - Retention of provisions to require a review of the ITA to be prepared at 3,000 dwellings, with a new ITA required at 4,000 dwellings.
This proposed condition has been adopted confirmed in the Applicant's revised Precinct Provisions provided on 20 September 2024.
 - Deletion of references to *internal bus node*, in favour of instead upgrading Carrington Road to provide more efficient and safer public transport. AT further notes that the internal bus node and internal bus route are not funded, while the IAF funding enables AT to undertake the Carrington Road upgrade earlier than anticipated, to better align with proposed completion dates for the development.
 - Proposed higher minimum long-stay bicycle parking provisions, of 2 spaces per dwelling, to reflect the Precinct's policy bias in favour of encouraging high levels of cycling amongst residents.

I agree with AT's highlighted concerns and consequent recommendations, however as noted earlier, at the time of writing, I am still awaiting completion of a full joint transport modelling expert statement order to formulate my own conclusions in relation to the future performance of the network. I consider this

to be the most prominent of the various issues raised in AT's submission, in order to ascertain full clarity over the transport effects of PC94.

5.5 *Transport Issue: Concern over traffic effects / congestion [12 Submitters]*

While most respondents who raised concern in relation to increased traffic congestion raised this as only a general comment without reference to specific problem locations, some respondents did make reference to specific locations of concern. These included Carrington Road, Woodward Road and residential roads to the south of the precinct.

As noted earlier, PC94 is substantially reliant on and efficient connections to Carrington Road for access to the wider transport network. As additionally noted earlier, recent joint traffic modelling work between MHUD and AT is expected to confirm that the traffic impacts of the PPC on Carrington Road can be adequately mitigated with the proposed Carrington Road upgrade improvements in place.

However, the ability of Carrington Road and the adjoining transport network to function with adequate levels of service with development enabled by PC94 in place relies on the successful implementation of travel demand management (TDM) measures, as proposed by the applicant. TDM measures seek to minimise the future generation of vehicular traffic on the network, which in the case of PC94 will be driven by restrictions of on-site car parking provisions, as well as other measures and initiatives to encourage sustainable modes of travel.

As noted earlier, no new through traffic routes are to be provided between the precinct and residential roads to the south, including Laurel Street, Renton Road, Rhodes Avenue and Mark Road. I support this approach to prevent rat-running movements from Carrington Road inappropriately routing via local residential streets.

However, PC94 does present the risk of new parking pressures on residential roads adjacent to the precinct, as a result of parking pressures from employees and students accessing the precinct during the daytime. I support a proposed condition by AT to require assessment of parking demand on adjacent streets and consider the provision of a parking management plan if appropriate.

5.6 *Transport Issue: Concern over inadequate parking provisions [12 Submitters]*

Submitter concerns raised over parking related primarily to adequacy of parking supply following completion of PC94. While the majority of the 12 submissions which raised issues in relation to parking referred only to parking issues in general terms, two of the submissions raised specific concerns in relation to parking related effects on residential streets to the south of the precinct during the construction phase.

I consider that the desired outcomes sought in relation to car parking within the Precinct itself reaffirm the need for concurrent travel demand management measures, as per my earlier comments under paragraphs 4.10.

I support AT's recommendation for further assessment to be undertaken of likely parking demand associated with PC94 and consideration to be given towards a localised parking management plan encompassing residential streets within walking distance, to mitigate against any identified undersupply of on-site parking.

5.7 ***Transport Issue: Concerns over Safety [2 Submitters]***

Of the two submitter concerns in relation to safety, one was from Gladstone Primary School to the east of Carrington Road, while the other was from a local resident to the south of the precinct.

While neither submission elaborated on specific safety issues in these locations, I am of the view that the PPC is unlikely to result in any adverse effect on road safety in either location.

As there are to be no new vehicle connections provided to the south of the precinct, there should be no new adverse safety effects arising from new through traffic on these roads. However as noted earlier, PC94 does present the risk of additional on-street car parking taking place on residential streets to the south, as potential overspill in the event that new parking supply within the Wairaka Precinct fails to meet future demand. I support AT's recommendation for further assessment to be undertaken of likely parking demand on adjoining residential streets and for consideration to be given towards a localised parking management plan.

In the case of Gladstone Primary School, on the opposite side of Carrington Road to the PPC site, I would expect AT's Carrington Road upgrade to mitigate against safety risk associated with the PPC, through measures such as formalised pedestrian crossing points and additional traffic signals resulting in 'platooned' traffic movements. In addition, I would expect the Carrington Road upgrade works to be accompanied by a CTMP, to mitigate against any potential adverse safety effects on the adjoining network.

5.8 ***Transport Issue: Concern over adverse traffic effects on roads to the south of the precinct [25 submitters]***

Particular matters raised in submissions included:

- Retain indicative roading connections in the south of the precinct
- Concern over Mark Road becoming a high traffic area
- Request for no connection to Carrington Road, to avoid rat-running

As noted earlier, current proposals envisaged under PC94 and under the Wairaka Precinct chapter of the Auckland Unitary Plan do not include a through connection between Carrington Road and residential streets to the south. I have discussed in sections 2 and 4 of this report why I support the approach of not enabling such a through traffic movement.

The current availability of bollard-controlled local access via Mark Road to Unitec buildings within the southeastern corner of the precinct is an existing situation, which is not expected to change as a result of PC94.

While this current arrangement precludes through traffic movements from using Mark Road, some submitters raised a separate concern in relation to additional parking pressures on Mark Road and other streets to the south of the precinct as a result of PC94. See also my responses under paragraphs 5.5 and 5.7 above, in relation to on-street parking on residential roads adjoining the precinct.

5.9 *Transport Issue: Concern over impact on local roads during construction phase [6 Submitters]*

Of the six submissions which raised concern in relation to construction traffic effects, five raised particular concern in relation to potential adverse traffic effects on residential roads adjoining the Wairaka Precinct to the south, including Rhodes Avenue, Raetihi Crescent and Mark Road. The other submission cited concerns in relation to cycle and pedestrian access to Gladstone Primary School, located to the east of Carrington Road opposite the Wairaka Precinct.

As noted earlier, no new permanent or temporary vehicle access is to be enabled via roads to the south of the precinct as a result of PC94.

While the ITA for PC94 does not provide particular discussion in relation to traffic related effects during the construction phase, I would expect the provision of a Construction Traffic Management Plan (CTMP) to be a condition of prospective resource consents for future development activities within the Wairaka Precinct. A CTMP would include provisions to mitigate against any adverse transportation effects on adjoining local roads during the construction phase, which could include, but not be limited to, construction traffic movements, additional parking pressures or effects on active mode users.

5.10 *Transport Issue: Concerns over inadequate public transport provisions [3 Submitters]*

Of the three respondents raising concerns in relation to public transport, two made specific requests to provide public transport connections within the centre of the precinct, while the other respondent did not elaborate on the specific nature of their concern.

As discussed in Section 3 of this report, a bus service serving the centre of the precinct is unlikely to be commercially viable due to the circuitous route and is currently not supported by AT.

Bus stops on Carrington Road will be within a 15-minute walking distance for the majority of residents within the Wairaka Precinct. While there is an undulating environment within the precinct, this walking distance is still considered to be 'acceptable' for the majority of the PC94 area, as per my assessment in Section 4 of this report. In addition, Carrington Road is expected to be able to sustain more frequent and reliable bus services in the future, following the upgrade works.

5.11 *Transport Issue: Concerns over inadequate cycle and pedestrian provisions [6 Submitters]*

Particular matters raised in submissions included:

- A request to include cycle paths

- Concerns over sufficient cycle and pedestrian access to [Gladstone Primary] school during the construction phase
- A requested amendment to the Precinct Plan to include additional waking connections
- Upgrade indicative walking path to the south of the Precinct to retain tree-lined route

As noted earlier, in paragraphs 4.11 to 4.14 of this report, the Wairaka Precinct Plan already includes provisions for active mode users, through a combination of dedicated routes and shared paths being provided alongside the internal Precinct roads.

As part of future construction activity, I would expect a prospective Construction Traffic Management Plan (CTMP) to make appropriate temporary provisions for all road users, including measures to ensure safe pedestrian and cycle access to Gladstone Primary school during the construction phase.

5.12 *Transport Issue: Request for clarity over the nature and timing of upgrades to Carrington Road and implications arising [6 Submitters]*

Five of the six submitter comments in question were identically worded and did not elaborate on specific details of interest, over and above the nature and timing of the upgrades to Carrington Road.

An additional submission proposed restricting new dwelling numbers and occupancies until the Carrington Road upgrade is completed and the Woodward Road railway crossing is replaced by a grade separated crossing.

I consider that the nature and timing of the Carrington Road upgrades have been acceptably clarified by AT, as noted in section 2 of this report, with 2026 clarified as the start date for construction works. While appropriate ‘trigger points’ had been identified between AT and MHUD for the delivery of key elements of upgrade works commensurate with the phasing of development, I am currently awaiting confirmation of updates to this work through the recent joint transport modelling work.

While the applicant’s traffic modelling adopted assumptions for the Carrington Road upgrade project which are no longer within the scope of works to be progressed by AT, these discrepancies have been elaborated upon in Section 3 of this report.

As noted in paragraph 4.31 to 4.32 of this report, the previously proposed grade-separation of the Woodward Road railway crossing is no longer being progressed alongside the Carrington Road upgrade works or as part of PC94. It was assessed as having little impact on the operation of the adjoining transport network.

5.13 *Transport Issue: Concern over how resident’s parking will be enforced [3 Submitters]*

At the time of writing, I understand that AT do not support the implementation of resident’s parking as a tool to mitigate against adverse transport effects associated with PC94. I similarly consider that the case for residents’ parking is

weak, on account of the generally good availability of off-street parking for residents.

However, in the event that resident's parking or other new parking controls are implemented in the future, implementation, funding and enforcement of any new parking control regimes would be subject to confirmations from AT.

6.0 Conclusions and recommendations

6.1 Further to reviewing the future development potential enabled through PC94 and its transport effects on the adjoining network, I consider PC94 to be acceptable in transportation terms, subject to the following conditions:

- A threshold for future residential development at 4,000 dwellings, with a condition to require a new Integrated Transport Assessment (ITA) for any proposed development beyond 4,000 dwellings, in accordance with the recommendation of the PC94 Planning Report
- A corresponding limit on parking provision in accordance with limits set out in the applicant's ITA, i.e.
 - 1,000 x studio residential units – no parking provision
 - Remaining 3,000 residential units – maximum of 0.7 parking spaces per dwelling
- Phasing of development to align with the delivery of the Carrington Road upgrade works, according to 'trigger points' which are currently pending re-confirmation at the time of writing, as noted below under paragraph 6.3.
- Future development enabled by PC94 to be accompanied by a Travel Demand Management Strategy, which I elaborate upon below.

6.2 I consider that the higher density of development enabled would align well with the functional transport requirements associated with both the Mixed Housing Urban (MHU) and Business – Mixed Use (BMU) Zones of the Auckland Unitary Plan, which are enabled by PC94. Both Unitary Plan zone descriptions cite proximity of high-density development to public transport and walkable distance to a Business – Metropolitan Centre zone or Business Town Centre zone as key strategic requirements. I consider that PC94's proximity to the local centres of Mount Albert and Point Chevalier aligns with this requirement.

6.3 I understand through engagement with AT and MHUD that joint traffic modelling work undertaken between the two parties shows that the operational transport effects of development enabled by PC94 can be adequately accommodated on the adjoining transport network. Whilst at the time of writing, I am awaiting completion of joint transport modelling expert statement to confirm this conclusion, I am tentatively prepared to support this conclusion, subject to the following:

- Confirmation that the phasing of development enabled by PC94 aligns with appropriate ‘trigger points’ associated with the delivery of the Carrington Road upgrade improvements.
 - Future access intersections to Wairaka Precinct from Carrington Road are confirmed to be operating with an adequate level of service following future development enabled by PC94.
 - Confirmation that development enabled by PC94 does not result in unacceptable adverse effects on the wider transport network.
 - The Carrington Road upgrade is confirmed to deliver improvements to bus journey times and reliability.
 - The effects of travel demand management measures, such as limitations on car parking provision and initiatives to encourage sustainable modes of travel, are appropriately represented in analyses of trip generation.
- 6.4 At the time of writing, I anticipate that my review of the forthcoming joint transport modelling expert statement from AT and MHUD, including confirmation of the above points, will be the subject of an Addendum Report, to be prepared prior to hearing.
- 6.5 I additionally support the following proposed condition put forward by AT in relation to the Carrington Road upgrade:
- If the proposed IAF funded improvements are not in place for an unforeseen reason, then the applicant is required to fully upgrade two Precinct ‘Gate’ intersections on the Carrington Road frontage before the first 600 titles are obtained, as agreed between the parties as part of the IAF process.
- 6.6 At the time of writing, I am awaiting the opportunity to review a forthcoming Joint Transport Modelling Statement on behalf of the AT, MHUD and their respective transport consultants, to confirm the above findings, which have been conveyed to me verbally in a meeting.

Travel Demand Management (TDM) Strategy

- 6.7 In accordance with the applicant’s ITA, I recommend that future development enabled by PC94 be accompanied by the implementation of a Travel Demand Management (TDM) Strategy, which I recommend should include the following:
- Coordination of TDM activities at an area-wide level through an organisation such as a residents’ body corporate, including appointment of a coordinator
 - Work with Auckland Transport to coordinate TDM activities
 - Development of a brand for Precinct-wide TDM Programme

- 6.8 The applicant's ITA has identified a number of measures which serve to manage travel demand and mitigate against adverse transport effects, the most prominent of these being the proposed limitation of on-site parking provision. While I support this approach in principle, I have highlighted other transport measures and initiatives below which I consider to be key elements for a prospective TDM strategy.

TDM Initiatives

- 6.9 I support the following initiatives proposed in the applicant's ITA:

- **Car Sharing** – Provision of car sharing parking areas within residential apartment blocks, to be managed by third party operators, with a dedicated number of vehicles always available to residents.
- **Bike Hire and E-scooter Sharing** – Provision of bike hire and e-scooter sharing areas within residential apartment blocks, similarly managed by a third party operator.

Car Parking on the roads surrounding the Precinct

- 6.10 I support the following proposed recommendations and conditions put forward by AT in relation to Travel Demand Management Measures:

- An assessment of likely parking demand, to inform associated on-site parking provision. Any additional parking demand, not catered for on-site, should be identified as an effect of development.
- To mitigate any undersupply of on-site parking identified in the assessment, a localised parking management plan, covering streets within a 750-metre walking catchment of the Precinct may be required. This plan would be in accordance with AT's Code of Practice for Parking and may necessitate an additional rule in I334.4 or standard in I334.6.
- An assessment of transitional options for on-site parking provision, such as, where an undeveloped site could be used for parking, until it is required for development and potentially staged to coincide with public transport network and service improvements.

Transport Connections to the south of the Precinct

- 6.11 I support the proposed approach of PC94 to limit any new transport connections to the south of the Precinct to local access and access for active mode users only, without facilitating new through traffic movements, in accordance with existing Wairaka Precinct Chapter Objective I334.2 (9).
- 6.12 While a future passenger transport service accessing the Precinct's internal road network via a new connection to the south may be beneficial, I consider that a publicly operated bus service would be unlikely to be commercially viable. In addition, I consider that local residential roads to the south of the precinct

would not be suited to such a service. However, I consider that a privately operated minibus based service serving the Precinct’s internal roads could be subject to future consideration, subject to future passenger demand within the Precinct to support such a service.

MHUD Proposed Updates to PC94 Provisions

6.13 I have reviewed the Applicant’s revised Precinct Provisions provided on 20 September 2024. I note a number of proposed amendments in relation to transportation matters, which include formalising of triggers and assessment criteria, including the following:

- Confirmation of trigger for a new integrated transport assessment for the precinct for a resource consent for any new development resulting in more than 4,000 dwellings within the precinct.
- Confirmation of trigger for an updated integrated transport assessment for the precinct for a resource consent for any development resulting in more than 3,000 dwellings within the precinct.
- I334.8.1. Matters of discretion for Restricted Discretionary Activities, including:
 - the effectiveness of any traffic calming measures on internal precinct roads in in slowing down local traffic movements crossing the southern boundary of the precinct
 - Consistency of proposed developments with Travel Plans and Integrated Transport Assessments (ITAs), or else provision of a new or updated Travel Plan or ITA to demonstrate that generated travel demand can be appropriately managed.
 - Design approach towards parking structures and vehicular access, including avoiding direct access to parking structures from existing public roads and enabling safe pedestrian access, including access for mobility impaired.
- Northwestern Shared Path – Additional references to recognise its strategic importance in the context of future pedestrian and cycle networks.
- Table I334.4.1 Permitted activities within the precinct, including new and amended activities in relation to connections and access to the south of the precinct, including the following:

Activity		Activity Status
(A27)	Extension of Laurel Street, Renton Road, Rhodes Avenue, or Mark Road into the precinct provided that a cul de sac is maintained	P
(A28)	Connection of any southern roads (or extensions to the southern roads that remain cul de sacs) to the Precinct with a private road (non-gated)	C

(A29)	Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the western road within the precinct	RD
(A30)	Direct vehicle connection between Laurel Street, Renton Road or Rhodes Avenue or Mark Road, and the Special Purpose – Tertiary Education Zone	NC

- I334.8.2 Assessment Criteria for restricted discretionary activities, which include more specific references to roads to the south of the Precinct, in the context of any extensions of them into the Precinct being considered.

- 6.14 While I am generally supportive of the above proposed changes in relation to transportation matters, I am unclear as to the rationale behind certain amendments to Permitted Activities in Table I334.4.1. In particular, Activity A29, which allows for an extension from one of the residential roads to the south to *the ‘western road within the precinct’*, as a public road. This differs from previous draft precinct provisions, which only allowed for extensions to roads from the south if a cul-de-sac was to be maintained. This proposed amendment thus appears to convey a different strategic approach to transport connections serving the precinct.
- 6.15 As per my previous recommendations, I remain of the view that residential roads to the south of the Precinct, namely Laurel Street, Renton Road, Rhodes Avenue and Mark Road are not suitable for handling large volumes of through traffic. To ensure that any potential future public road connection to the south of the precinct retains a largely local traffic function, mitigatory measures, such as traffic calming may have to be considered.
- 6.16 Furthermore, activity A29 appears to be at odds with the intent of A30, which deems any connection between the public roads to the south of the Precinct and the Special Purpose – Tertiary Education Zone to be non-complying.
- 6.17 Based on the above, I do not support the proposed amendment activity A29. Rather I would recommend retention of the existing wording of activity A29, which in combination with A27 and A28 would serve to either retain a cul-de-sac head to any public road extension from the south, or else provide a private road extension into the precinct.
- 6.18 I otherwise consider the proposed changes to the precinct provisions to be consistent with my recommendations in this report.

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review (*Freshwater Ecology*) on behalf of Auckland Council

(*Treffery Barnett*)

Introduction

1. My name is Treffery Barnett. I am a freshwater and coastal ecologist and I am qualified with a M.Sc. (Hons). I have over 30 years' professional experience in freshwater and coastal ecology, which includes undertaking and coordinating numerous assessments of rivers, streams, wetlands, estuaries and coastal environments throughout New Zealand, preparing and reviewing ecological effects assessments, design and implementation of ecological offset, management and monitoring for a range of projects, including subdivisions, roading, quarries, plan changes and Notices of Requirement, and attendance at hearings.
2. I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:
 - Review the original plan change application documents;
 - Visit the site;
 - Identify matters, within my area of expertise, that required further information from the applicant, and assessing the applicant's response;
 - Review the submissions and further submissions;
 - Identify issues relevant to my area of expertise;
 - Give my expert opinion on the issues, with recommendations where appropriate;
 - Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.
3. In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

Summary

4. I rely on the reporting planner to explain PPC94 including its location and what the plan change is seeking.
5. My assessment is that the freshwater provisions are mostly adequate as:
 - a) Oakley Creek / Te Auanuga will be protected by the existing esplanade reserve, which ranges between 20 and 43 m wide, plus the proposed PC95 (27) (b) provision of: *Establishing a 10m setback from the boundary of land that fronts Te Auaunga.*

- b) The Northern Tributary was historically modified into constructed stormwater ponds and are not natural inland wetlands, and there is no longer stream habitat present.
 - c) The Waikara Stream, which in addition to having high significance to mana whenua (note signage at upper reaches of stream), will retain all the standard protections of the AUP.
6. I have identified the following issues relevant to my area of expertise:
- a) There is no provision to plant the riparian yards of the stream, which is common practice in Precinct Plans and Plan Change areas upon subdivision.
Although I334.6.6. **Precinct boundary set back** states *Planting requirements of Standards H13.6.5 (Yards)...* apply. The planting requirement in H13.6.5 only applies to side and rear yard, not riparian yards.
It is worth noting that the Waikara riparian yard is already severely compromised by the impervious surfaces of the upgrades of the road off Farm Road.
 - b) The updated map Watercourse Map in response to the S92 request Appendix 1: Map, does not include the 30m of the daylighted stream (that was daylighted at the time of the Wairaka Stream daylighting) immediately south of the longer 'piped section' on Waikara Stream.



Photos 1 & 2. Additional daylighted stream March 2022 (left) and April 2024 (right).

Treffery Barnett

29 September 2024

Private Plan Change 94 - Wairaka Precinct (PPC94)

Specialist Review (*Economics*) on behalf of Auckland Council

Susan Fairgray

1 Introduction

1.1 My name is Susan Michelle Fairgray. I hold the qualifications of Bachelor of Science and Master of Science (1st Class Honours) in geography, specialising in economic geography from the University of Auckland.

1.2 I have over 15 years of experience in urban economics developing and supporting central/local government and private-sector positions across a range of areas. Residential capacity, growth and demand assessments across a range of higher and medium growth urban economies have formed an important area of focus within the context of assessing and developing district plans (and plan changes and variations). My experience traverses a wide range and scope of urban economics including but not limited to:

- (a) Capacity and demand assessments: under the National Policy Statement for Urban Development 2020 (NPS-UD), Housing and Business Development Capacity Assessments (HBAs), intensification plan changes and Future Development Strategies;
- (b) assessing land use patterns and effects on urban form;
- (c) developing robust and detailed methodologies for aligning residential capacity with demand;
- (d) retail assessments, providing advice for commercial and public sector clients on the most appropriate scale and location of retail as well as the effects of retail location on the existing network and future urban form; and
- (e) preparing and presenting evidence and expert conferencing in relation to the above matters.

1.3 I was engaged by Auckland Council at the time the application for PPC94 was lodged. My role has been to:

- Review the original plan change application documents;
- Visit the site;
- Identify matters, within my area of expertise, that required further information from the applicant, and assessing the applicant's response;
- Review the submissions and further submissions;
- Identify issues relevant to my area of expertise;
- Give my expert opinion on the issues, with recommendations where appropriate;
- Provide this Review as part of Councils RMA s42A reporting process to the Commissioners.

1.4 In preparing this Review I have read the code of conduct for expert witnesses contained in the Environment Court Practice Note (2023) and agree to comply with it. Except where I state that I am relying on the specified evidence of another person, the content of this

Review is within my area of expertise. I have not omitted to consider material facts known to me that might alter or detract from the opinions I express.

2 Summary

2.1 I rely on the reporting planner to explain PPC94 including its location and what the plan change is seeking.

2.2 I have identified the following issues relevant to my area of expertise:

- (a) The provision of additional housing supply, including the number and range of dwelling typologies, and the associated effects on housing choice and affordability for the community.
- (b) Effects on urban form through the establishment of an intensive urban node at this location. These include consideration of effects on urban form within the local surrounding context as well as the enabled development pattern within the wider context of Auckland's spatial economic structure.
- (c) Economic effects (development feasibility, land use efficiency, housing supply, urban form) related to the provision for additional building height across parts of the precinct, including the establishment of three higher density buildings in the northern part of the precinct.
- (d) Economic effects related to the provision for retail activity within the precinct. This includes effects on amenity within the precinct as well as the effect on surrounding retail centres.
- (e) Opportunities for Māori economic development.

2.3 The recommendations I make in respect of these issues are:

1. I support the proposed height increases within the current and proposed Business Mixed Use Zone (BMUZ) areas to 35 metres in Height Area 1 and Height Area 2, and to 27 metres in Height Area 4. I do not support any requests to reduce the enabled heights in these areas to that enabled under the existing BMUZ provisions.
2. I consider that there may only be limited economic benefit from provision for the construction of the three taller high-rise buildings in Height Area 1. However, there is also no economic reason to oppose the provisions for their development.
3. I support the provisions for increased residential development opportunity within the precinct. In addition to the provisions on height (addressed above), I support the further BMUZ and Mixed Housing Urban Zone (MHUZ) expansions, and the application of Medium Density Residential Standards (MDRS) to the MHUZ (as requested in Submission 68). I do not support alternatively proposed low density residential development.
4. I support the proposed provisions for Retail (including food and beverage) activity within the precinct as included in the notified PPC. This includes their proposed thresholds on gross floor area (GFA), their application by location within the precinct, and their limits in relation to tenancy size and numbers. My support for the proposed provisions takes into account the Discretionary activity status of Commercial Services activities. I do not support any requests within submissions to reduce the provision for retail within the precinct.

5. I support the provision for a supermarket of up to 1,500m² GFA within the proposed retail thresholds. I do not support the request for provision for an additional supermarket in submission 206.
6. If a significantly higher dwelling yield is likely to eventuate within the precinct than the currently estimated 4,600 dwellings (based on the proposed provisions), then I recommend further economic assessment is undertaken to determine the appropriateness and adequacy of the retail provisions.

3 Effects on Housing Supply and Affordability

Summary of Change

- 3.1 The PPC increases the level of development opportunity for residential dwellings within the precinct area. It increases both the potential dwelling yield and the range of dwelling typologies that are able to be constructed, which have important economic effects in relation to meeting dwelling demand within the community and housing affordability.
- 3.2 In summary, the increased residential development opportunity occurs through a combination of changes to the base zones in the southern part of the precinct as well as through increased height allowances (beyond those enabled in the base zones) across substantive portions of the precinct area. This includes the provision for three higher density apartment buildings within the northwestern part of the precinct. The proposed planning provisions and their changes from the existing baseline provisions that affect the enabled residential dwelling development opportunity are set out in the planning report.

Summary of Submissions

- 3.3 A significant number of submissions have been received relating to the proposed provisions that determine the residential development opportunity in the precinct. This subsection considers the issues raised in submissions as they relate to the total dwelling yield and typologies provided to the market, with issues relating to the economic effects of physical form and the typologies on development feasibility considered separately in Section 5, and those relating the economic effects associated with urban form considered in Section 4.
- 3.4 Submissions cover a range of views on this issue both in support and opposition of this aspect of the PPC. Some of the submissions request changes, but do not provide explanation for the change or are on the basis of factors that are primarily covered by other specialist reports. However, the requested changes are likely to have economic effects (through their effect on dwelling supply) and are therefore noted here. The submissions are summarised below followed by assessment of the economic effects in relation to this issue, including a response to economic rationale contained in submissions.
- 3.5 The submissions that generally support the type of residential development enabled by the PPC outline support in relation to the following economic effects:
 - A number of submitters (12, 17, 66, 67, 94, 138 and 161) support the provision of more dwellings as a result of the PPC or recognise the contribution of the PPC to

housing supply, with some submissions noting support is contingent upon sufficiently managing the effects of an increased population.

- A number of submitters (12, 17, 63, 66, 67, 40 and 161) support the increased dwelling mix (size and typology) that are enabled by the development opportunity from the PPC.
- A number of the submitters (12, 17, 63, 66, 67 and 161) consider that the PPC is likely to increase housing affordability. This is noted as likely to occur through a combination of expansion to the range of dwelling options available to the community as well as development intentions to deliver affordable dwellings.

3.6 A number of submitters also oppose the increase in dwellings at this location that would be likely to occur as a result of the PPC. These submissions are generally on the basis of forming or further intensifying an urban node at this location and the associated demands on amenity required to support the additional dwellings. From an economic perspective, the analyses of these submissions have instead been covered in Section 4.

3.7 Several submissions (101, 103, 184, 193 and 206) consider that the density of housing (in relation to the dwelling typologies) should be restricted in this location. Submissions 25 and 124 consider that the built form should be limited to include terraced housing up to mid-rise apartment dwellings, and exclude higher density apartment buildings. Submission 124 further considers that the increased height provisions are likely to limit the housing choice delivered by the market in the precinct.

3.8 Submission 57 considers that an increase in dwellings and density, particularly in relation to the higher density apartment buildings in the north, will result in changes to household demographics (with negative social effects). It considers these aspects have not been assessed in the PPC.

3.9 Submissions 57 and 86 consider that the proposed provisions are likely to have negative effects on the quality and type of housing within the precinct.

3.10 Submissions 57 and 129 consider that the effect of the development opportunity on housing affordability is not clear and have not been assessed as part of the PPC.

Analysis

3.11 I have examined the proposed provisions for residential development opportunity across the precinct. I have also considered the residential development pattern (by dwelling numbers and type) that the applicant has suggested is likely to occur within the wider range of enabled development opportunity.

3.12 I consider that the residential development opportunity enabled by the proposed provisions is likely to have several important economic effects. The scale and type of effects would be influenced by changes to, or removal of, provisions suggested within the submissions. These are outlined in the following paragraphs.

3.13 Firstly, I consider that the provisions are likely to increase dwelling supply at this location in comparison to the dwelling supply likely to occur under the existing baseline provisions. This will contribute positively to meeting housing demand in Auckland. Increased dwelling supply is likely to occur through both a greater plan enabled dwelling

yield as well as increasing the feasibility of more intensive and higher yield dwellings at this location (which is examined further in Section 5).

- 3.14 Secondly, I consider that the provisions will increase the housing choice available to the community in comparison to that enabled under the baseline provisions. Specifically, the provisions are likely to encourage the market to deliver a greater component of more intensive dwelling typologies, such as apartments. This provides greater choice in housing options by typology and size to households at this location.
- 3.15 An increased range of housing options will be likely to result in economic benefit for the community as it will expand the range of household types able to meet their housing demand at this location. As noted in several submissions, the surrounding residential areas are currently dominated by lower density residential dwellings, which are likely to form viable housing options for a narrower range of households. Part of this effect is already likely to occur under the existing baseline provisions as they already enable a greater range of dwelling typologies than the existing development patterns in the surrounding areas.
- 3.16 Thirdly, I consider that the PPC is likely to increase housing affordability at this location. I consider that achieving a beneficial dwelling mix for long-term housing need in the community is a core component of improving housing affordability. Importantly, this is a function of both dwelling typology and size where a dwelling mix across both of these factors is required to meet long-term community demand, which will be increased through the proposed provisions. While there is a correlation between dwelling size and dwelling value, the typology also significantly influences the substitutability of household demand across different housing options¹.
- 3.17 In my view, the proposed provisions are likely to encourage a greater range of dwelling options within the precinct, increasing the ability for these substitutions across dwelling types to occur locally. As above, part of this effect is already likely to occur through the existing baseline provisions, but is likely to be increased through the PPC with the greater range of likely dwellings.
- 3.18 Overall, I consider that most of the PPC economic benefit in relation to housing supply is likely to occur through a combination of increased heights of up to 27 metres to 35 metres within the proposed BMUZ area and the spatial expansion of the BMUZ. I consider there is likely to be limited basis for significant further net economic benefits (or costs to the community) of dwelling supply for development above this height (which is discussed further in Section 5, including the assumptions underpinning this view).

¹ Housing affordability is not increased through adding dwellings in the lowest dwelling value bands alone. It also requires an increased range of dwelling options that are suited to each household size and type, a share of which require larger dwellings. For instance, a three to four bedroom duplex is likely to form a cheaper viable option for a larger family household that may alternatively occupy a larger detached dwelling. While this larger duplex dwelling is unlikely to occur in the lowest dwelling value bands, it increases housing affordability for households that may otherwise occupy dwellings in the mid value bands.

4 Effects on Urban Form

Summary of Change

- 4.1 The PPC is likely to further increase a future node of urban development at this location. The level and density of residential (and other commercial) development within the precinct is likely to be significantly greater than the intensity of existing land use within the precinct as well as that in the surrounding residential neighbourhood areas. This will have economic effects in relation to the local urban form as well as the wider urban spatial economic structure.
- 4.2 The proposed provisions significantly increase the density and spatial extent of residential development opportunity and enable limited areas of commercial activity within the precinct. These are set out within the planning report.

Summary of Submissions

- 4.3 A number of submissions have identified the likely creation of a future intensive urban node within the precinct. The submissions that support intensification and relevant to the economic effects of urban form are generally summarised as:

- Submissions (12, 17, 63, 66, 67, 40) in support of an increased dwelling yield and residential density at this location. The basis for support is mainly in relation to providing additional housing options for future residents within this location. Submissions note the centrality of the location within Auckland and the proximity to larger commercial centres and areas of employment.
- Submission 40 contains further detailed points supporting intensification at this location in relation to economic factors in the strategic planning direction for Auckland. It considers that residential intensification is already anticipated in this location. Further intensification would contribute to a well-functioning urban environment under the NPS-UD through alignment with transport infrastructure and areas of high demand that are well supported by amenity from surrounding urban centres. It also supports its alignment with Auckland Plan 2050 urban form objectives at a wider regional scale through contributing to growth occurring within Auckland's existing urban footprint.
- Some submissions (10, 94 and 126) also contain some support for urban intensification at this location, albeit potentially at a reduced scale and if effects are able to be appropriately managed. In most cases, the reduced scale is proposed on the basis of other adverse effects that submitters consider are likely to occur with the development of higher density apartment buildings.

- 4.4 A range of submissions generally oppose the development of or extent of an intensive urban node at this location. The main reasons for opposing the level of density enabled within the precinct are broadly summarised as:

- Opposition generally to the level of density proposed in the PPC (79, 82, 87, 101, 103, 132, 156, 157, 168 and 169).
- Opposition to intensification at this location (107, 126, 146, 163 and 227).
- The density of urban development would be substantially inconsistent with that of the surrounding urban areas (118, 124, 144, 168 and 217).

- Submission 57 considers that a node at this location is not anticipated within Auckland Council's Future Development Strategy (FDS) and that the enabled development patterns differ significantly from that within the existing BMUZ. It states that a key issue not assessed in the PPC is the shift of the precinct from a suburban to urban character.

4.5 Submission 124 states there is a lack of certainty over the likely future residential population of the precinct. It considers the provisions potentially enable up to 18,000 people to live within the precinct, which equates to a proportionately larger density than the existing Mt Albert area. It considers that there are likely to be adverse economic effects on the surrounding areas associated with increased density, although these are not specified.

4.6 Submissions 124 and 192 consider that the provision for the proposed higher density apartment towers in the northern part of the precinct are inconsistent with Auckland's urban form. They consider that this scale of development should instead occur within locations such as the City Centre.

4.7 A range of submissions (22, 70, 78, 97, 137, 145, 184, 188 and 206) variously note concern at the scale of the proposed urban node and suggest that there should be restrictions to the dwelling yield.

4.8 Several submissions suggest alternative development levels that would result in a different urban form. These are:

- Submissions 25 and 57 oppose the formation of a high density urban core and consider that it should instead develop at a moderate density.
- Submission 157 proposes that the precinct should instead develop at a low density.

Analysis

4.9 I have considered the economic effects of the PPC on urban form both at the local scale as well as for the city's wider urban spatial economic structure.

4.10 It is important to differentiate the effect on urban form that may occur through the PPC from the changes that would already be likely to occur through the existing baseline planning provisions. In my view, the existing baseline provisions would already enable the development of an intensive urban node at this location, but at a reduced scale², that would be significantly more intensive than the existing pattern of surrounding land use. As such, I agree that the PPC is likely to substantially increase the dwelling yield delivered by the market within the precinct over the long-term. However, the effects need to be considered in relation to the nature and scale of the urban node relative to a reduced node rather than the formation of a node in its entirety.

² Although not provided in the PPC application, I estimate that around two-thirds of the applicant-indicated dwelling yield would be plan enabled under the baseline provisions. However, I estimate that a lower portion of these would be developed at the maximum enabled densities due to the lower feasibility of baseline height limits.

- 4.11 I have examined the dwelling development pattern (by typology and scale) suggested by the applicant that would produce around 4,600 dwellings within the precinct³. While detailed quantitative estimates of yield are outside of my scope of assessment, I consider it provides a reasonable approximation of the likely long-term development patterns of the precinct under the proposed provisions (taking into account the timing and scale of market demand). The indicative yields assume that over half of the residentially-used land area would be developed as apartments (walk-up, midrise and higher density), which would account for over four-fifths of the dwellings. This is relatively high within the context of recent Auckland large scale developments, but is broadly in line with the central location and likely medium to long-term timing of the development.
- 4.12 I agree that the dwelling yields enabled by the PPC could theoretically be higher than the development pattern suggested by the applicant and am aware that the infrastructure limit provides for a yield of 6,000 dwellings. However, I consider that the precinct is unlikely to be developed at significantly higher densities than this indicative pattern under the existing proposed provisions. Significant increases in the indicative yield would require larger shares of the land area to be developed as apartments (rather than terraced dwellings), or increases to the height of walk-up or midrise apartment buildings (which I understand may be limited by location-specific planning height provisions). I consider that the market would be less likely to significantly increase the share of the precinct developed as apartments as it would be less aligned with overall patterns of housing demand and would forego a share of terraced housing development opportunity that is lower risk and more able to occur within a shorter time period.
- 4.13 I have considered the potential upper range population of 18,000 residents suggested in submission 124. In my view, this is unlikely to occur, even if the precinct were to develop at higher intensities close to the maximum density theoretically enabled under the proposed provisions. Based on my own examination of Auckland average household sizes by dwelling types⁴, this would require the precinct to contain over 8,000 dwellings. As outlined above, I consider that the dwelling development pattern required to reach this yield is unlikely to be sustained by the market both in terms of the alignment with patterns of demand and feasibility and timing of dwelling supply. I instead consider that a population of around 10,000 to 11,000 residents is more likely to correspond to the dwelling development pattern indicated by the applicant.
- 4.14 In my view, further intensification of a node at this location is likely to represent an efficient development pattern within the local and wider city context. At the local scale, additional dwellings would increase demand within the primary catchment area of Pt Chevalier and Mt Albert Town Centres. Households within the precinct would therefore be supported by the commercial and social amenity of these centres as well as correspondingly support the commercial viability of these centres (which is discussed further in Section 6).
- 4.15 I also consider that the further intensification of this node, at the proposed scale, is likely to represent an efficient long-term development pattern within Auckland's wider

³ I note that this is an indicative potential development pattern supplied by the applicant for the purposes of assessing yield. It does not necessarily reflect individual landowner developer intentions. The yield forms a key input to the applicants retail economic assessment.

⁴ I have estimated the average household sizes by dwelling typology through examining customised Census data on household type by dwelling type for different urban areas including Auckland.

spatial economic structure. The precinct is relatively central on a wider Auckland basis and accessible to key employment areas in and around the City Centre and proximate to employment areas along Rosebank Peninsula. It is also within the main catchment areas of other sizeable commercial centres (New Lynn and St Lukes) within Auckland's urban centres hierarchy.

- 4.16 In my view, the proposed scale of residential intensification is economically efficient at this location and commensurate with that observed spatially across the Auckland market. The apartment market is well established within Auckland, accounting for an increasing share of new dwellings. The development of low-rise (including walk-ups) to midrise apartments as part of an urban node is consistent with its relatively central location within Auckland. It reflects the intensity that is likely to be required for the market to efficiently provide apartment dwellings at this location.
- 4.17 I agree that the higher density apartment buildings proposed within the northern part of the precinct are tall within the context of current patterns of development across Auckland. However, I consider that they are unlikely to produce negative economic effects in relation to urban form or from the level of required amenity to support this development. I understand that their total dwelling yield is limited by the proposed building dimension provisions. In my view, the higher density apartment market is well established in Auckland, meaning that the limited development at this location is unlikely to dilute the intensification (and its associated economic benefits) of this form from also occurring in other more central locations, including the City Centre or larger metropolitan centres.
- 4.18 I do not support a low density pattern of development as proposed in submission 157. I consider that this would represent an inefficient use of land in this location. It would produce fewer and higher value dwellings than the development pattern likely to occur with the PPC proposed provision. This would not have the economic benefits of increasing the range of dwellings available to the community and would be unlikely to improve housing affordability at this location.

5 Effects of Height on Development Efficiency and Feasibility

Summary of Change

- 5.1 The PPC increases the level of development opportunity across different parts of the precinct. This has important economic effects for the commercial feasibility and efficiency of development and land use within the precinct. While these factors form part of the equation for returns generated for private developers, they also affect the likely development patterns delivered by the market (dwelling mix and scale) within the precinct. These land use and dwelling supply outcomes have important economic effects for the community, which are discussed in Sections 3 and 4. This section focuses on the effects of the proposed provisions on the feasibility of development.
- 5.2 In summary, the proposed provisions would increase the development opportunity through a combination of increased height allowances across much of the precinct as well as spatial expansions to the BMUZ (including the further height allowances) and MHUZ within the existing Special Zone area in the southern part of the precinct. The proposed provisions are outlined in detail within the planning report. The key changes are:

- Increasing the enabled height within the BMUZ from 18 metres to 35 metres across Height Areas 1 and 2. This includes application within areas of expansion of this zone.
- Increasing the enabled height within the BMUZ from 18 metres to 27 metres across Height Area 4. This includes application within areas of expansion of this zone.
- Additional proposed increased height allowances for the construction of three high-rise apartment buildings (of one building up to 43.5 metres, one building up to 54 metres and one building up to 72 metres) within Height Area 1 to be applied together with provisions for tower dimensions that limit their total size.

Summary of Submissions

5.3 There have been numerous submissions on the provisions that affect the level of enabled development opportunity, and therefore feasibility, within the precinct. Many of these submissions are made on the basis of other factors, but would have economic effects, and are therefore considered in the analysis.

5.4 A number of submitters oppose the provisions for increased height within the precinct. These include opposition to increased height provisions generally as well as submissions opposing specific components of the proposed height increases. These are summarised as:

- Submissions opposing height increases on a general basis include 51, 71, 76, 78, 101, 108, 115, 119, 132, 139, 146, 186, 188, 193, 197, 212, 217 and 228.
- Submissions opposing the higher density apartment buildings proposed for the northern part of the precinct include 25, 38, 57, 82, 95, 103, 116, 118, 124, 126, 133, 134, 140, 144, 147, 160, 168, 192, 195, 196, 206 and 216.

5.5 Further specific points of opposition in relation to economic arguments, to these buildings include:

- The proposed towers have not been properly assessed (57).
- Apartment buildings are unlikely to be taken up by the market and result in poorer socioeconomic situations in these dwellings (22 and 219).
- The proposed towers do not amount to efficient use or development of the site (124).

5.6 Submissions opposing or limiting the spatial extent of height increases across other parts of the BMUZ (from 18 metres to 27 metres or 35 metres) include 25, 57, 95, 97, 118, 157.

5.7 Submission 162 opposes the height increases surrounding the Historic Heritage Overlay.

5.8 Submissions 1, 149 and 220 oppose the provisions for 11 metre or 3 storey heights in the MHUZ in the southern part of the precinct and consider they would reduce the property value and amenity of adjacent existing residential properties. Submission 8 requests a valuation of likely effects on adjacent property owners from development within these parameters in this location.

5.9 A number of submissions support the increased heights within the precinct (12, 17, 40, 63, 66, 67, 120, 142 and 161), with several submissions noting support specifically for the

increased development opportunity (12, 40, 63, 142 and 161) enabled by the proposed additional heights.

5.10 Submissions 5, 94, 104 and 162 support some increase in heights if the effects on other factors are able to be sufficiently managed.

5.11 Several submissions (16, 21, 25 and 36) consider that any provision for increased height within the precinct needs to appropriately balance economic feasibility for the development with the effects on community amenity. Submissions 21 (generally) and 57 (in relation to the tower buildings) consider that height increases only provide economic benefit to the developer.

5.12 Submitter number 68 also requests the inclusion of MDRS within the PPC. This is addressed in this section in relation to its effect on development feasibility.

5.13 A number of submissions propose alternative increases to enabled building heights within the precinct. These include:

- A maximum height of 3 storeys across the precinct (147).
- A maximum height of 4 storeys across the precinct (206).
- A maximum height of 5 storeys across the precinct (113).
- A maximum height of 6 storeys across the precinct (165).
- Submissions 112 and 120 propose further height increases within Height Area 4 beyond those proposed. Specifically, they seek an increase to 35 metres to all areas of this precinct north of Farm Road.

Analysis

5.14 I have examined the effect of the proposed provisions and requested changes in the submissions on the commercial feasibility of residential development in the precinct and the efficiency of land use outcomes at this location. I have considered these effects in relation to each of the following factors:

- Proposed height increases within the existing BMUZ and proposed areas of BMUZ within the Special Zone and Terrace Housing and Apartment Buildings (THAB) Zone area (Height Areas 2 and 4).
- Requested incorporation of MDRS within the precinct (Height Area 3) and other submissions opposing the three storey height limit in this precinct.
- Provision for three high-rise apartment towers within the northern part of the precinct (Height Area 1).

Height Areas 2 and 4

5.15 I consider that the proposed provisions for height increases in Height Areas 2 and 4 would increase the commercial feasibility of residential development across these areas. The existing baseline provisions currently limit development to around four storeys. In my experience of analysing residential development patterns, the baseline provisions are likely to limit the commercial feasibility of apartment dwellings. A greater number of storeys are generally required to enable a higher dwelling yield to offset the higher construction costs for this type of dwelling. I therefore consider that the proposed increase in height across these areas is likely to increase the feasibility of developing apartment dwellings in the precinct.

- 5.16 I also consider that the greater height allowance will increase the incentive to develop a portion of these sites as apartment dwellings. A higher yield, up to the point that the market can sustain, is likely to improve the commercial benefits of apartments to the developer relative to other alternative development patterns. I further note that the development of midrise apartment dwellings up to the proposed heights within these areas is consistent with patterns of apartment development in urban nodes across Auckland. This suggests that development at this scale, in an appropriate location, is likely to be commensurate with the scale and timing of Auckland apartment market demand.
- 5.17 In combination, I consider that these factors mean that the proposed height increases within these areas are likely to result in a greater share of apartment dwellings within the precinct than under the baseline provisions. I consider that this will result in economic benefits of an increased number and range of dwelling options available to meet housing demand as outlined in Section 3.
- 5.18 I consider that proposals to remove the additional height allowances within Height Areas 2 and 4 would be likely to reduce the economic benefits both to the community and developer associated with the PPC's contribution to housing supply. I consider that the reduction in benefit may be greater than the proportional impact on plan enabled capacity on sites that are likely to develop as apartments under the PPC. The reduced commercial feasibility of apartments at lower building heights may result in a greater share of these sites instead being developed as terraced dwellings. This alternative development pattern has a lower dwelling yield, but is typically an easier and lower risk option for developers than low-rise apartment dwellings. This would correspondingly reduce the range of dwelling options available to the community over the medium and long-term.
- 5.19 I also consider that a reduced dwelling yield at this location will result in a less economically efficient use of the site. As outlined in Section 4, the site is relatively central within Auckland and development at a higher intensity, if appropriate, would be a more efficient use of the site. Accommodating a greater number of dwellings in this location may reduce the total land use required to alternatively meet this housing demand in another location.
- 5.20 I have examined the submissions (112 and 120) to increase heights further (to 35 metres) across Height Area 4 north of Farm Road. In my view, this is likely to increase the dwelling yield delivered by the market in the precinct. This may occur through a combination of increased yield from parcels otherwise developed as mid-rise apartment buildings as well as increasing the incentive (through greater returns from a higher yield) to develop more parcels as mid-rise apartments than lower yield options (e.g. terraced or walk-up apartments). If this proposal is incorporated in the PPC, then I consider that further assessment needs to be undertaken to determine the increased requirements across other factors to support the higher dwelling yield. As noted in 6.11, included in this is the further assessment of the sufficiency of retail provision within the precinct.

Incorporation of MDRS in Height Area 3 and Three Storey Height Limit

- 5.21 The incorporation of MDRS into the PPC would affect the level of development enabled within the proposed MHUZ area in the southern part of the precinct. I understand that the provisions for residential development in the THAB Zone and BMUZ already exceed the level of development enabled by MDRS.

5.22 I consider that the incorporation of MDRS in the MHUZ (Height Area 3) is likely to slightly increase the flexibility of development for the market in this area. This occurs through slightly increased site coverage and height in relation to boundary allowances. In my view, greater flexibility is likely to increase the feasibility of developing these sites, but is unlikely to expand the range of typologies developed in this area.

5.23 I have considered submissions 1, 8, 149 and 220 opposing or requesting further assessment for the three storey height in Height Area 3 due to reductions in the value of adjacent existing residential properties. I understand that the 11 metre (three storey) height limit in this area is already enabled under the existing baseline planning provisions. Therefore, I consider that the effect of the height of any development in this area on adjacent property values is not attributable to changes to provisions proposed within the PPC.

Additional Height of High-Rise Apartment Buildings in Height Area 1

5.24 In this section I specifically assess the proposed further additional height allowances applied to three potential high-rise apartment buildings (to be constructed at up to 43.5 metres, 54 metres and 72 metres) above the increase to 35 metres otherwise proposed for Height Area 1. I consider these further height increases together with the effect of the required tower dimensions on enabled dwelling yield. I note that my views on this matter are contingent upon estimates that I have made for dwelling yields for alternative development of the site as mid-rise apartments compared to high-rise dwelling yields supplied by the applicant. If further information is provided in relation to yields, then this may affect my view of the economic effects of these provisions.

5.25 In my view, as outlined above, increases in the height of apartment buildings are generally likely to increase their level of commercial feasibility up to the level sustained by market demand. I therefore consider that the proposed additional height is likely to increase the feasibility of the high-rise developments. However, in my view, it is unclear whether the provisions would improve the viability of this development option ahead of other alternative development options, or if development of the site into high-rise buildings would produce significantly greater economic benefit in relation to housing supply for the community ahead of other options. I set this out in the following paragraphs.

5.26 I consider that the proposed high-rise buildings may not produce a dwelling yield that is significantly greater than the alternative residential dwelling development options enabled within the proposed 35 metre height limit. I understand that the proposed tower dimensions reduce the total GFA of the high-rise apartment buildings, and therefore reduce their potential dwelling yield. In my assessment I rely on an estimated yield of 307 dwellings (combined across the three potential high-rise buildings in Height Area 1) provided by the applicant as part of the RFI response⁵.

5.27 I have compared the high-rise dwelling yield with a potential yield of around 270 to 290 dwellings that I have estimated if the same land area were instead developed as mid-rise apartment buildings⁶ within the otherwise proposed 35 metre height limit. An alternative

⁵ Responses to Auckland Council RMA cl 23 Requests P1 provided by John Duthie of Tattico.

⁶ My calculations of alternative yield estimates are based on applying the same development assumptions to Height Area 1 as other sites with a 35 metre height limit that are developed as mid-rise apartments within the applicant-supplied indicative yield analysis. These development assumptions are obtained from the table

yield is not provided by the applicant for these sites. I note that my estimate has not been supplied to the applicant for verification or assessment and may not take into account other information, such as site constraints.

5.28 In my view, the difference in dwelling yield between development of these sites as mid-rise (9 storeys) vs. high-rise buildings may not be sufficient to incentivise (for the developer) the construction of high-rise buildings. A greater difference in yield is likely to be required to offset the higher construction costs and risk associated with high-rise developments and incentivise it ahead of alternative development options.

5.29 Furthermore, I consider that the similarities in dwelling yield, and a level of similarity in dwelling type, mean that the additional height provisions may only produce limited economic benefits for the community in relation to housing supply.

6 Effects of Provision for Retail (Including Food and Beverage)

Summary of Change

6.1 The PPC contains provision for up to 6,500m² of retail (which includes food and beverage) activity within the precinct. Retail development within the precinct has potential economic effects in relation to the provision of amenity for the population within the precinct and on the commercial activity within the surrounding centres.

6.2 The PPC contains a number of provisions that guide the scale and spatial distribution of retail GFA across different parts of the precinct. The provisions intend to efficiently distribute retail within the precinct to align with patterns of demand, and limit the formation of any significant retail node that may act as a quasi-centre. The proposed retail provisions are set out in detail in the planning report, with the main limits guiding the spatial distribution summarised below:

- Total provision for up to 6,500m² GFA of retail (including food and beverage) across the precinct. The remaining retail limits are included within this total.
- Provision for one supermarket of up to 1,500m² GFA within the central part of the precinct around Farm Road.
- Provision for up to 4,700m² GFA of retail (including food and beverage) within the BMUZ area. Within this, there is provision for up to 1,000m² GFA of retail (including food and beverage) within the Historic Heritage Overlay, which can alternatively be allocated within the rest of the BMUZ.
- Provision for up to 1,800m² GFA of retail (including food and beverage) within the Special Purpose Zone.
- Within the BMUZ, up to 1,700m² GFA of retail is able to locate within 100 metres of the supermarket, which can be increased by up to a further 1,000m² GFA of retail through applying any unused retail allowance from within the Historic Heritage Overlay.

provided by the applicant in the RFI response P1. These include initial land area (Block 2), land efficiency, site efficiency, building efficiency, height (storeys) and average apartment size.

Summary of Submissions

6.3 Several submissions have been received that relate to the retail provisions within the PPC. Some submissions oppose the inclusion of allowances for retail, while others support the retail allowances or request increased retail allowances. The key submission points included in my assessment are:

- Submission 57 opposes the provision for retail within the precinct due to concerns that it may undermine commercial activity within adjacent town centres. It considers that retail activity within the precinct is likely to undermine commercial activity within adjacent town centres through increasing rents and displacing jobs from within these centres. As part of this, it considers that the effects of the proposed supermarket have not been assessed.
- Submission 161 supports the provision of retail within the precinct to meet the needs of the population within the precinct. Submission 16 notes that higher dwelling yields may require increased provision for retail to provide further commercial amenity to the future population within the precinct. Some submissions (as noted in Section 4) identify the increased dwelling yield since the initial assessment of retail limits within the precinct prior to the current PPC.
- Submission 206 requests provision for an additional supermarket.
- Submission 57 requests the removal of provision for one retail tenancy of 201 to 300m² within the retail allowance adjacent to the Historic Heritage Overlay.
- Submission 40 considers that residential intensification at this location will increase the demand for retail and commercial amenity within adjacent town centres.

Analysis

6.4 I have examined the PPC provisions for retail within the precinct and considered their potential economic effects. I have also reviewed the further economic assessment⁷ of retail limits provided as part of the Clause 23 response by the applicant, as well as submissions relating to retail. Our initial responses to the PPC provisions and further response to the applicants Clause 23 response are contained in our RFI additions and further memo⁸.

6.5 The initial retail provisions were developed during earlier planning for the precinct around 2013 to 2016⁹ during the Auckland Unitary Plan hearings. These were developed within the context of a total dwelling yield of 2,400 to 3,200 dwellings, and were slightly lower than the currently proposed provisions, with some difference in spatial allocation. The applicants response to economic issues in the RFI includes consideration of the updated retail provisions within the context of an increased yield of around 4,000 to 4,500 dwellings.

6.6 There are a number of potential economic effects related to the provision for retail within the precinct. These relate to the scale of activity anticipated within the precinct and its

⁷ Provided by Tim Heath at Property Economics Ltd.

⁸ M.E Ltd, 2023. *Re: Wairaka Precinct Private Plan Change: Response to further information received (EA1 and EA2)*, memo prepared by Tilly Erasmus (Consultant at M.E Ltd) for Peter Reaburn (Director at Cato Bolam for Auckland Council), 7 September 2023.

⁹ I note that I was involved in developing the earlier retail limits during this time as part of the Auckland Unitary Plan process while I was employed at Auckland Council. M.E Ltd were also previously involved in developing these limits for earlier planning undertaken in the precinct during this period.

location in relation to other existing commercial centres. In summary, I consider the precinct is likely to form an intensive urban node where provision for retail within the precinct would be economically efficient and provide commercial amenity to support local demand within the precinct. However, the node is located within proximity of two town centres (Pt Chevalier and Mt Albert) that play important roles within their respective catchment areas. It is important that retail within the precinct does not undermine the commercial role of these centres. Provisions for the scale, type and distribution of retail within the precinct need to balance these factors.

Commercial Amenity within the Precinct

- 6.7 I consider that the proposed retail limits are likely to encourage convenience retail to establish in the precinct that is oriented toward serving local household demand. This will have economic benefits through increasing the commercial amenity to households in the precinct, and is appropriately aligned with the type of demand that is efficient to be met locally.
- 6.8 The provisions are likely to encourage a distribution of retail across different parts of the precinct. I consider that this is likely to create better geographical alignment with household demand and increase the level of local amenity within different parts of the precinct.
- 6.9 In my view, the proposed supermarket is an important part of meeting local convenience demand within the precinct, with consequent economic benefit for local households. A supermarket of up to 1,500m² GFA is small within the Auckland market context. It is likely to meet a portion of local demand with precinct households also meeting their needs at other supermarkets, including those within the surrounding commercial centres.
- 6.10 I have considered the proposal in submission 206 for a further supermarket of a similar scale to be enabled within the precinct. In my view, the market is unlikely to sustain two small supermarkets at this location. Provision for two supermarket tenancies may instead develop as two superettes, which would reduce the range of grocery convenience retail provided within the precinct.
- 6.11 I have earlier examined the scale of retail in relation to anticipated local demand as part of the Auckland Unitary Plan process. In my view, a key consideration (as set out in the RFI) for the PPC is whether the retail provision remains sufficient to serve a likely significantly increased future dwelling yield within the precinct to that in the earlier assessment. We broadly agree with the RFI response that the range and scale of retail enabled by the provisions is likely to be sufficient to meet local convenience demand based on an anticipated future yield of around 4,600 dwellings. Key aspects are the number of tenancies provided and the likely retail mix, which are discussed further in relation to the effects on centres.
- 6.12 If the dwelling yield is significantly higher than that currently estimated to occur, then further retail analysis may be required to assess whether the retail provisions remain adequate.

Effects on Commercial Centres

- 6.13 The potential effect of retail within the precinct on the commercial role of surrounding centres, particularly Pt Chevalier and Mt Albert, is an important economic consideration.

The commercial function of centres is important for sustaining the wider role of centres, which includes a range of social and other infrastructure. If the commercial function is undermined, it may correspondingly reduce other key aspects of the centre, therefore reducing the level of amenity provided to communities in the catchments they serve.

- 6.14 In my view, the potential effect on surrounding centres is related to the scale and type of retail node formation within the precinct. A key factor is how this node may function as a result of the type of activity that is likely to establish. The largest aggregation of retail (at 3,200m² to 4,200m² GFA, including a supermarket¹⁰) is enabled within the BMUZ towards centre of the precinct. Further commercial services activity, which typically co-locates with retail, has a Discretionary activity status, which would allow consideration of the effects on surrounding centres.
- 6.15 I consider that if this retail activity were to develop, then it would be likely to function as a smaller node serving mainly localised convenience retail demand arising from within the precinct. While it would also be likely to attract a share of demand from outside the precinct, I consider this would be limited by the type of retail likely to establish. In my view, the scale of retail enabled by the provisions would be insufficient for a node to develop that contains a significantly greater range of retail activity that would enable it to play a greater relative role within the surrounding catchment areas and substantially compete with the wider commercial role of existing centres.
- 6.16 In my view, the PPC would also add significant household demand within the main catchment areas surrounding Pt Chev and Mt Albert centres. Households meet their needs across a range of different centres and centre types, and are likely to also generate demand for commercial activity in these centres. I therefore consider that the PPC may support the role and function of those centres.
- 6.17 For the above reasons, I disagree with Submission 57 that commercial activity within the precinct would be likely to displace employment within the surrounding centres.

7 Enabled Opportunities for Māori Economic Development

Summary of Change

- 7.1 The PPC contains objectives and policies that recognise the opportunities of urban growth within the precinct for Māori economic development. The PPC does not contain any rules specific to Māori economic development (as a differentiated subset of economic development generally), nor does it apply differences in development standards to achieve Māori economic development. There is provision for Mana Whenua activities that are enabled for all landowners or developers within the precinct.

¹⁰ The provisions enable up to 3,200m² GFA, consisting of a supermarket up to 1,500m² GFA and up to a further 1,700m² retail GFA within 100m of the supermarket (of which 1,200m² GFA is able to locate close to Farm Road). There is also potential for up to a further 1,000m² retail GFA to locate around the supermarket if it is not developed within the Historical Heritage Overlay.

Summary of Submissions

7.2 A number of submissions¹¹ have been received from Iwi that are current or future landowners within the precinct, with many working together with the Crown on housing development in the precinct. The Iwi submissions generally support the PPC, with the following submission points relating to economic matters:

- Submissions 12, 17, 63, 66, 67, 120 and 142 consider that the PPC will provide opportunities for Māori economic development or enable development that aligns with their intentions.
- Submissions 12, 17, 63, 66, 67 and 120 consider that the PPC will enable the provision of housing, including provision of affordable housing (submitters 12, 17, 63, 66 and 67) as well as dwellings offered to the market generally. This is likely to occur through their housing development activities within the precinct.
- Submissions 12, 17, 63, 66, 67 and 142 consider that the PPC will provide positive growth outcomes for Auckland at this location.

7.3 Submissions have been received from other Iwi (120) and developers (112) that are working together on housing development in the precinct. They consider that the proposed provisions will enable them to deliver a beneficial housing mix for the community.

7.4 Other submissions have been received in both support and opposition of PPC objectives for Māori economic development. These are summarised as:

- Submission 124 opposes the inclusion of objectives to promote Māori economic development with the PPC. It considers that this is likely to prioritise developers' economic interests ahead of community objectives and that this would result in poorer development outcomes. A similar view is contained in submission 25.
- Submission 57 considers that Māori economic development objectives are insufficiently defined and not assessed.
- Submission 161 strongly supports the inclusion of objectives for Māori economic development opportunities, with support for the inclusion of these objectives also noted in submissions 40 and 94.

Analysis

7.5 I agree that the PPC is likely to provide economic development opportunities for Māori, and consider that this is an economic benefit. In my view, the PPC is likely to increase the economic returns achieved for landowners or developers through enabling greater development opportunity on the land in line with patterns of market demand. I set out the increases to the feasibility of development from the PPC in Section 5.

7.6 In my view, the PPC is likely to provide economic benefits for developers and landowners. It will therefore generate economic benefits for Iwi because they are the current or future landowners. As set out in the Section 32 report, the PPC does not contain differences in development standards based on land ownership or the developer.

7.7 I disagree with submission 124 that the PPC provides greater development opportunity to developers or landowners if they are Iwi. While the PPC contains objectives for Māori economic development, the rules and standards that determine development opportunity are applied equally to Iwi and other developers or landowners. The PPC does not contain

¹¹ These include submission numbers 12, 17, 63, 66, 67, 69, 105, 120 and 142.

increased levels of development opportunity for Iwi, nor does it contain a mechanism to encourage different patterns of development based on the developer or land ownership. I therefore also disagree with submission 124 that the inclusion of Māori economic development objectives would generate poorer development outcomes.

7.8 I generally agree with the submissions listed above that the PPC is likely to make a positive contribution to housing growth in Auckland. I have set this out in Section 3. Māori are part of Auckland's housing market and would therefore also benefit from this contribution.

7.9 In my view, economic benefits arising from the delivery of affordable housing¹² is dependent upon the landowner/developer decisions. There is no requirement within the PPC to produce affordable dwellings. However, I consider that the PPC is likely to increase the development feasibility and yield overall, which may improve the viability of delivering a share of the yield as affordable dwellings.

8 Review of Further Proposed Changes in Direction#2

8.1 I have reviewed the further amendments proposed (dated 20 September 2024) by the applicant following Direction #2 from the Hearings Panel in relation to the likely urban economic effects.

8.2 As set out in paragraphs 5.21 to 5.22, I consider that the incorporation of MDRS would enable greater flexibility for developers in the southern part of the precinct and consequently slightly increase feasibility.

8.3 I consider that the further amendments are unlikely to generate any significant economic effects beyond those already identified within the previous sections.

Susan Fairgray

28 September 2024

¹² Within this section, I have assumed that affordable housing, as raised in the submissions, refers to dwellings that are offered to households within the market at a price that is set below the price otherwise likely to be offered by a developer seeking to maximise profit. Although not defined in the submissions, affordable housing is generally defined through a dwelling price/rent that is set in relation to a certain level of household income. This differs to the consideration of 'housing affordability', which is a relative concept covered in Section 3 that considers how affordable different patterns of dwellings are likely to be.

APPENDIX 7

Amendments provided by the Applicant in response to the Panel's Direction 2

DIRECTION#2

ATTACHMENT XX

MHUD PRIVATE PLAN CHANGE 94: 20 SEPTEMBER 2024

Amendments requested by the Applicant shown in red text. Deletions are shown in ~~red strike-out~~.

NOTE : 1.This private plan change request applies to the existing Wairaka Precinct. This plan change seeks to rename this precinct the Te Auaunga Precinct.

2.The decision on submissions to Plan Change 75, relating to the Mason Clinic in sub-precinct A of the Wairaka Precinct, was made by Independent Hearing Commissioners on 19 September 2023. At the time of notification of this Plan Change, the appeal period on Plan Change 75 had not yet expired.

Part of that decision on Plan Change 75 was appealed by the Applicant.

On 17 September 2024 the Environment Court issued its consent determination on Plan Change 75. Once Private Plan Change 75 is made operative (anticipated to occur prior to the hearing for this Plan Change), the Te Auaunga Precinct provisions will be updated to reflect that decision.

This version of the Te Auaunga Precinct provisions incorporates Plan Change 75, as determined by the Independent Commissioners, in the following way:

- The black text is the unchanged provisions of the existing Operative Precinct provisions.
- The red text and ~~red strike out~~ are the requested changes (additions and deletions) proposed as part of this Plan Change application.
- The blue text and ~~blue strike out~~ are the changes (additions and deletions) made by Plan Change 75 to the Operative Precinct Provisions, as determined by the Hearing Commissioners in their decision (noting these provisions are not yet operative.)
- The ~~orange strike out~~ with the wavey underlining are changes proposed by the Hearing Commissioners in their decision on Plan Change 75 which are opposed (and were appealed) by the Applicant and are therefore proposed to be deleted as part of this plan change process.
- The green and ~~green strike out~~ text are proposed amendments by the Applicant to the notified version of this plan change following Direction #2 from the Hearings Panel.

I334 Wairaka Te Auaunga Precinct

PRIVATE PLAN CHANGE XX:

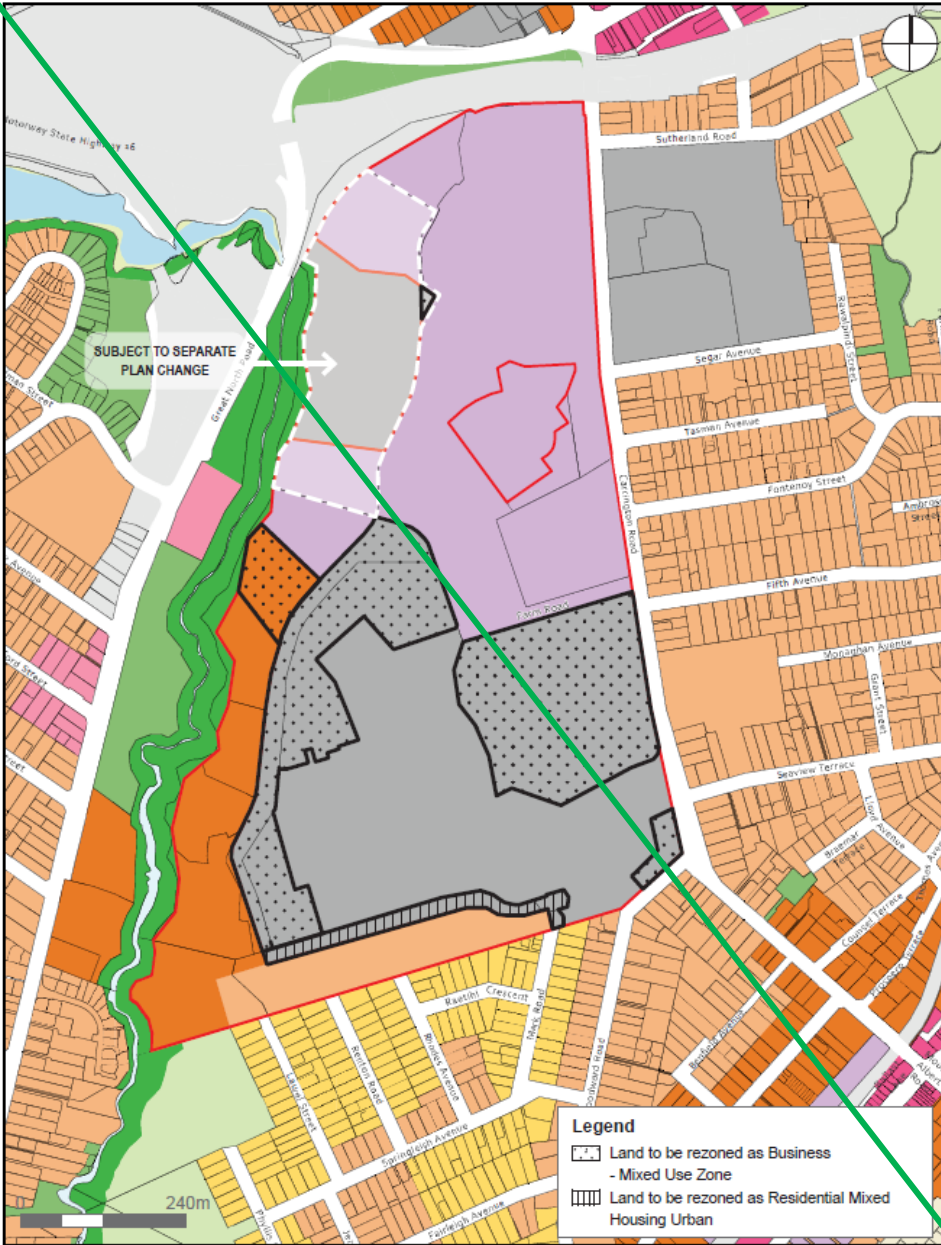
PART A AMENDMENT TO THE MAPS

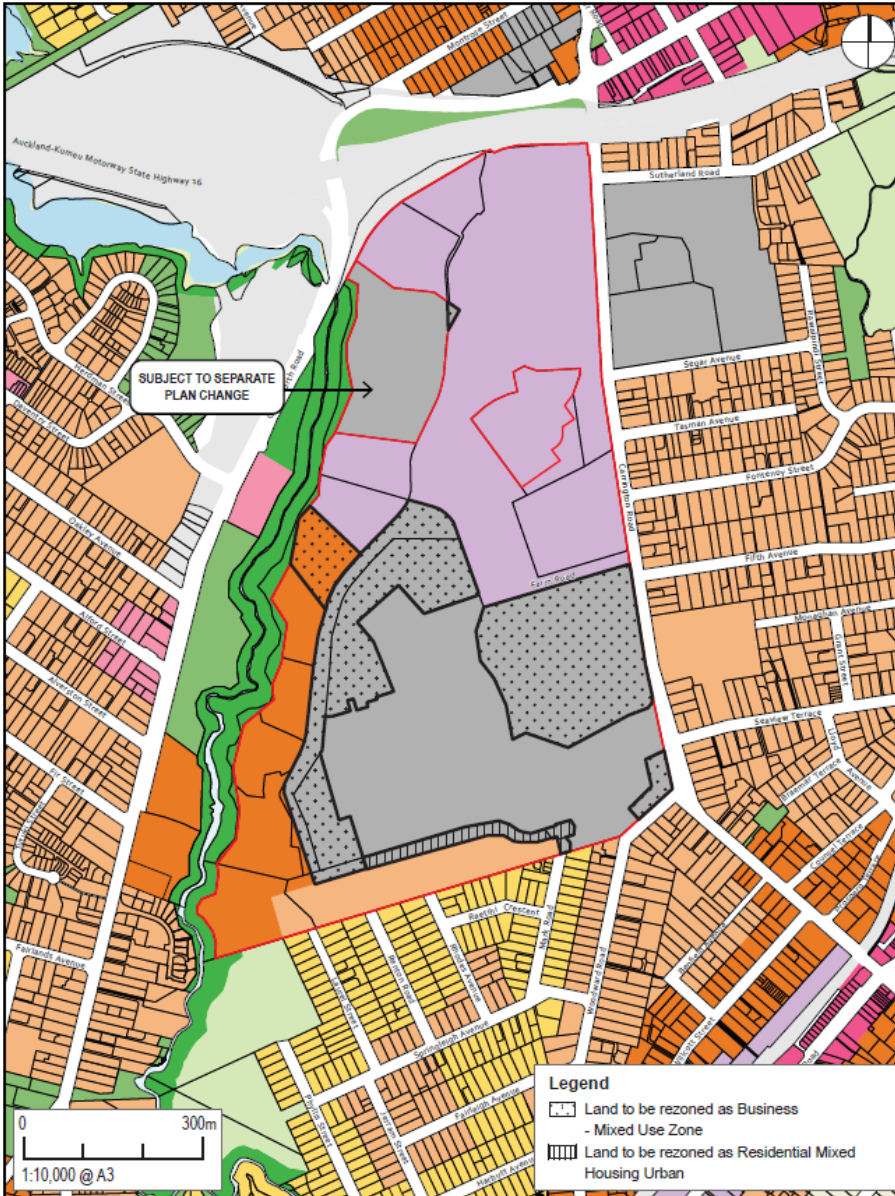
ZONING

That the land currently zoned Special purpose - Tertiary Education and Special purpose – Healthcare Facility and Hospital be rezoned Business: Mixed Use and Residential: Mixed Housing Urban as shown on the following zoning plan.

Map 1 – Zoning

Commented [IS1]: Ngāti Whatua Orakei - 105.1





PART B AMENDMENT TO I334 TE AUAUNGA PRECINCT

Insert the following new precinct provisions:

I334. WairakaTe Auaunga Precinct

I334.1. Precinct Description

The WairakaTe Auaunga Precinct extends from the north western motorway at Point Chevalier in the north, through to Woodward Road in the south, and from Oakley CreekTe Auaunga Waterway in the west to Carrington Road in the east, where the Unitec Institute of Technology (Unitec), the Crown, Waitemata District Health Board, one private landowner, and Ngāaī Whāaītua ŌŌraakei own contiguous blocks of land that make up the site.

The purpose of the WairakaTe Auaunga Precinct is to provide for a diverse urban community, including the ongoing development and operation of the tertiary education facility, the development and operation of a range of community, recreation, and social activities, the development of a compact residential community, and commercial service activities, open space, and the development of a range of healthcare related and supporting activities to cater for the special and diverse requirements of the users, employees and visitors to the Mason Clinic. Business and Innovation activities are to be enabled, including activities which benefit from co-location with a major tertiary education institution. The Pprecinct enables new development to create an urban environment that caters for a diverse population, employees and visitors in the area and that integrates positively with the Point Chevalier, Mt Albert and Waterview communities.

The WairakaTe Auaunga Precinct will provide for a variety of housing typologies that help cater for Auckland's growth and the diverse community that will establish in this location. It will also provide a heart to the community, focused around the campus but with a range of community, commercial and social services. It will provide the opportunity for people to live, work, and learn within the Pprecinct, while enjoying the high amenity of the area Wairaka environment. The interfaces between different activities are a key part of providing this amenity, and will be managed by provisions including setbacks and landscaping.

A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct. These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.

The WairakaTe Auaunga Precinct provides for an urban community within which there is a high quality tertiary education institution.

The location and extent of a major tertiary education institution (Unitec) at WairakaTe Auaunga Precinct is significant to the region. The precinct is 64.5ha, and comprises twelve land titles and four owners, land currently held by a small number of landowners. Unitec owns 83 per cent of the total land. In addition, medical and light industrial activities also occur on the site.

The Te Auaunga Precinct provides objectives for the restoration and enhancement of Māori capacity building and Māori cultural promotion and economic development within the precinct.

The WairakaTe Auaunga Precinct provides ~~overall~~ objectives for the whole area, and three sub-precincts:

I334 Wairaka Te Auaunga Precinct

- Sub-precinct A provides for healthcare/hospital related purposes activities and is intended to accommodate the intensification of the Mason Clinic.
- Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities, as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.
- Sub-precinct C toat the south and west of the precinct provides for a broad range of residential activities, together with supporting uses, activities appropriately located to a major tertiary education institution.

The Mason Clinic contains a mix of activities including healthcare activity and hospital. It is a facility which provides for a range of care, and short and long term accommodation for people with disabilities (including mental health, addiction, illness or intellectual disabilities), together with provision for custodial, tribunal, and justice facilities ancillary to forensic psychiatric services, and a range of health related accessory activities. The activities the Mason Clinic accommodates requires buildings which have a range of particular functional and operational requirements, including the incorporation of publicly accessible and secure facilities and areas for staff, visitors and the people accommodated, and for these to be integrated across the Mason Clinic in a way which considers the safety, privacy and wellbeing of the users.

There are also particular attributes of the Wairaka Te Auaunga Precinct, which contribute to the amenity of the precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the precinct. These include the following:

- The significant ecological area of Oakley Creek Te Auaunga;
- An open space network linking areas within the Wairaka Te Auaunga Precinct and providing amenity to neighbouring housing and business areas;
- A network of pedestrian and cycleway linkages that integrate with the area network;
- Retention of the open space storm-water management area which services Wairaka Te Auaunga and adjacent areas, and the amenity of the associated wetland;
- The Wairaka stream and the landscape amenity, ecological and cultural value this affords; and
- The Historic Heritage overlay of the former Oakley Hospital main building, and identified trees on site.

The open space network for the precinct is provided for by way of a combination of identified areas, and indicative areas, including walking paths and shared paths (shown on Precinct plan 1) and future areas and walkways/shared paths which are to be identified and developed as a component of the future urban intensification envisaged.

The implementation of ~~the~~ Precinct plan 1 outcomes is dependent on ~~requires~~ a series of works. ~~These works~~ focus on the provision of open space and a roading network giving including access from the east to the important Oakley Creek Te Auaunga public open space, and the walking and cycling connections linking east to west to Waterview and areas further west to Point Chevalier/Mount Albert, and north to south to Mount Albert and to Point Chevalier, and ~~This precinct plan also provides key linkages on~~ to the western regional cycle network.

The precinct provides for stormwater treatment for all land within the precinct, prior to entering Oakley Creek Te Auaunga. Currently the precinct also receives stormwater from

I334 Wairaka Te Auaunga Precinct

an adjacent catchment in the Mt Albert area and it is expected that this will continue following development of the precinct.

Transport is an essential component to the implementation and redevelopment of the precinct and will require a series of works to avoid, remedy or mitigate adverse transport effects. Some measures such as the indicative primary road network and walking and cycling connections area are identified in the precinct. Other measures to avoid, remedy and mitigate other transport effects will be identified through the preparation of an Integrated Transport Assessment at the time of the first resource consent to significantly develop the site.

These measures could include the following:

- Providing a connected road network through the site;
- Providing a connected pedestrian and cycling network into and through the site, in particular convenient east-west and north-south cycle connections from the Oakley Creek Te Auaunga over-bridge to the proposed bus node Carrington Road bus services, the adjacent Northwestern shared path and existing and proposed cycle networks beyond the site;
- Upgrading intersection access onto the site and avoiding, remedying and mitigating adverse effects on the surrounding transport network;
- Making provision for a bus node and road widening to support the public transport network, including walking and cycling connections to nearby public transport and expansion of the public transport network through the precinct;
- Managing vehicular movements through the connections to the south of the site;
- Managing parking to avoid, remedy, and mitigate adverse effects on the surrounding transport network; or
- Staging land use and development with any necessary infrastructure investment.

To reduce the potential of new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plan 1 and relevant policies. This method provides for integrated development of the area and ensures high quality outcomes are achieved.

The precinct incorporates the Medium Density Residential Standards (MDRS) set out in Schedule 3A of the Resource Management Act 1991.

The zoning of land within the precinct varies. Refer to the planning maps for the location and the extent of the precinct.

Note – For the purpose of the following provisions, 'dwelling' means a residential dwelling that have a land-use consent or building consent:

- I334.3 (23), (23A) and (26B)
- I334.8.1(1A)(d)(iv)
- I334.8.1(1A)(f)(ii) and (iii)
- I334.9(1) to (4)

I334.2. Objectives

- (1) The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for growth, change and diversification of activities.

Commented [IS2]: Auckland Transport – 40.5

Commented [IS3]: Auckland Transport – 40.5

Commented [IS4]: MDRS, requested by Auckland Council – 68.1

Commented [IS5]: Open Space For Aucklanders - 25.50 and Watercare - 45.3

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- (2) Comprehensive planning and integrated development of all sites within the precinct is achieved.
- (3) A mix of residential, business, tertiary education, education facilities, social facilities and community activities is provided, which maximises the efficient and effective use of land and provides for a variety of built form typologies.
- (4) The operation and intensification of the healthcare/hospital facility activity, accessory activities and associated buildings, structures and infrastructure in Sub-precinct A (Mason Clinic) are provided for.
- (5) The commercial laundry service and accessory activities and associated buildings, structures and infrastructure in Sub-precinct B are provided for as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.
- (6) Identified heritage values are retained through the adaptation of the scheduled buildings and retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on Oakley Creek Te Auaunga land, and the contribution they make to the precinct's character and landscape, are recognised, protected and enhanced in the precinct.
- (7) Open spaces, cycling and pedestrian linkages from the Ppprecinct to the wider area and neighbouring suburbs, including linkages between activities and open spaces nodes, are provided for and enhanced.
- (8) Development and/or subdivision within the precinct facilitates a transport network that:
 - (a) Integrates with, and avoids, remedies or mitigates adverse effects on the safety and efficiency of, the transport network within the precinct and the surrounding area, including providing any upgrades to the surrounding network; and
 - (b) Facilitates transport choices by providing for pedestrians, cyclists, public transport facilities, and vehicles.
- (9) Development of any roads connecting to the existing roading network to the south of the Ppprecinct must be subject to specific resource consent processes to ensure that any private or public road connections must:
 - (a) Avoid these southern connections becoming a direct vehicle entrance for the Special Purpose - Tertiary Education Zone; and
 - (b) Be designed to minimise the amenity effects on existing residents.

Commented [IS6]: Ministry of Education – 230.1

(9A) Occupation of development does not occur in advance of the availability of water supply and wastewater services for that development.

Commented [IS7]: Watercare - 45.3

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(10) An integrated urban environment is created, which:

- (a) Incorporates high quality built form and ~~urban~~-design;
- (b) Recognises, protects and enhances the natural and physical environmental attributes of Wairaka the precinct in its planning and development ~~of the Precinct~~;
- (c) Avoids, mitigates and remedies adverse effects on the environment and existing stormwater, water supply, wastewater and road/s infrastructure, recognising that the precinct stormwater system services areas beyond Wairaka the precinct boundary;
- (d) Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment ~~;~~ and
- (e) Contributes positively to the Mt Albert, Waterview and Point Chevalier communities ~~;~~ and
- (f) Contributes to Māori cultural promotion and economic development.

Commented [IS8]: NZHPT - 162.2

Commented [IS9]: Watercare - 45.3

(11) Provide for retail, food and beverage and commercial services in identified locations to serve local demand within the Wairaka Te Auaunga Precinct and at a scale and configuration which does not adversely affect the role, function and amenity of the Point Chevalier and Mt Albert town centres.

(12) The restoration and enhancement of Māori capacity building and Māori cultural and economic development within the precinct is provided for, promoted and achieved.

(13) Provide for increased heights in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct, and create 'landmark' buildings in the north western part of the precinct.

The zone, Auckland-wide and overlay objectives apply in this precinct in addition to those specified above.

Sub-Precinct C

(A1) A well-functioning urban environment that enables all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.

Commented [IS10]: MDRS incorporation, Auckland Council - 68.1

(B1) A variety of housing types and sizes that respond to –

- (a) Housing needs and demand; and
- (b) The neighbourhood's planned urban built character, including 3-storey buildings.

I334.3. Policies

Wairaka Te Auaunga Precinct – General

- (1) Enable and provide for a wide range of activities, including education, business, office, research, health care, recreation, residential accommodation, community facilities and appropriate accessory activities.
- (2) Respond to future demand and changes in the manner of learning and the desire to integrate business and education within the Special Purpose - Tertiary Education Zone.
- (3) Recognise the benefits of allocating a high quality tertiary education institution within a diverse urban environment.
- (3A) Recognise the social and health related benefits that the Mason Clinic provides for.
- (4) Promote comprehensive planning by enabling integrated development in accordance with ~~the p~~ Precinct plan 1 and Policy I334.3(15A) that provides for any of the following:
 - (a) Tertiary education and associated research, and community activities;
 - (b) Provision for the ongoing use, development, intensification and operation of the Mason Clinic;
 - (c) Provision for the operation of the commercial laundry service;
 - (d) ~~Intensive R~~ residential ~~accommodation activities~~;
 - (e) Economic development and employment, including supporting Māori capacity building and Māori cultural promotion and economic development;
 - (f) Public infrastructure that is integrated with existing infrastructure, recognising that ~~Wairaka~~ Te Auaunga Precinct receives stormwater from an upstream sub-catchment;
 - (g) Integrated transport and land use planning through the development of the precinct;
 - (h) Traffic management, including provision of pedestrian and cycle facilities, integration with public transport, parking provision and management;
 - (i) Identification and protection of significant landscape features, the adaptation of the scheduled historic buildings, identified trees and integrated open space network;
 - (j) Public road and open space access to ~~the Oakley Creek reserve~~ Te Auaunga;
or

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- (k) Pedestrian and cycle connections to Point Chevalier, Waterview and Mt Albert.
- (5) Promote economic activity and provide for employment growth that will create opportunities for students, graduates and residents of the precinct and Auckland, including Māori.
- (6) Encourage a mix of residential lifestyles and housing typologies to cater for a diverse and high density residential community at WairakaTe Auaunga.
- (7) Provide for a mix of residential and business activities which will enable development of an intensive residential core to the WairakaTe Auaunga Precinct.
- (8) Enable a broad range of educational, research, laboratory, office and business uses which meet the needs of, and respond to future changes in, teaching, learning, and research requirements for a modern campus environment.
- (9) Provide for a broad range of business, office, innovation and research activities which will encourage employment and economic development to locate in WairakaTe Auaunga, including those which benefit from the co-location with a tertiary education institution.
- (10) Enable subdivision and development that is compatible with and sensitive to the ecological qualities of the Oakley CreekTe Auaunga and the Motu Manawa Marine Reserve.

Built Form and Character

- (11) Encourage the retention and adaptation of the heritage and character buildings, and elements identified within the precinct.
- (12) Provide for the adaptation of the scheduled part of the heritage building for economically viable activities which ensure ongoing economic sustainability for this building and its integration into the WairakaTe Auaunga Precinct.
- (13) Require new buildings to be designed in a manner that provides for a high standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.
- (14) Require proposals for new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to ~~the scheduled historic heritage buildings, and/or~~ the significant ecological area of Oakley CreekTe Auaunga to provide appropriate native landscaping and to be sympathetic and provide contemporary and high-quality design, which enhances the precinct's built form and natural landscape.

(14A) Provide for taller buildings in the north western part of the precinct in this landmark location with enhanced outlook across the Waitemata Harbour and

Waitakere Ranges, but in a location removed from residential neighbourhoods outside the precinct.

(14AA) Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the precinct's built form.

(14B) Provide for additional height in the central and northern parts of the precinct, recognising the topographical and locational characteristics of this part of the precinct, and the ability to provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga.

Open Space

(15) Provide for public open space, including a neighbourhood park in the northern portion of the precinct.

~~(15A) Provide at least 7.1ha of key open space (private) within the precinct.~~

(15A) Provide key open space in accordance with Precinct Plan 1.

(16) Provide public connections to ~~Oakley Creek~~ Te Auaunga from Carrington Road through public roads and open space, giving quality public access to this ecological area.

Commented [IS11]: Open Space for Future Aucklanders Incorporated - 25.1

Pedestrian and cycle access, street quality and safety

(17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages, open space and plazas within the precinct.

(18) Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe and improve connectivity for all users.

(19) Establish a network of roads which give public access through the precinct and ~~the~~ pedestrian and cycling connections to ~~the Oakley Creek~~ Te Auaunga, the adjacent Northwestern shared path and Waterview pedestrian/cycle bridge.

Commented [IS12]: Auckland Transport - 40.7

Transport Planning

(20) Require subdivision and development to be integrated with transport planning and infrastructure in a way that:

- (a) Avoids, remedies or mitigates the adverse effects of the development on the transport network;
- (b) Integrates with rail, bus, pedestrian and cycle connections;
- (c) Implements as a minimum the transport elements within ~~the~~ Precinct Plan 1;

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- (d) Supports the provision of passenger transport services, linking to key public transport nodes such as the Mount Albert train station and Point Chevalier public transport services;
 - (e) Minimises traffic effects on pedestrian and residents' safety and amenity;
 - (f) Minimises overflow parking on roads occurring in the vicinity of the precinct; and
 - (g) Stages subdivision and development with necessary surrounding transport network infrastructure and upgrades where adverse effects on the transport network cannot be avoided, remedied and mitigated.
- (21) Enable parking areas to service the scheduled heritage building.
- (22) Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times. For the purpose of this precinct, the surrounding transport network comprises Carrington Road, the ~~P~~precinct's existing and proposed access points to Carrington Road, the Carrington Road/Woodward Road intersection, the Woodward Road/New North Road intersection, the Carrington Road/New North Road and Carrington Road/Great North Road intersections, Laurel Street, Renton Road, Rhodes Avenue, Mark Road and the other local roads bounded by Carrington Road, New North Road, and Oakley Creek Te Auaunga.
- (23) Require ~~a~~ a new integrated transport assessment for the precinct ~~as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to for any new development~~ greater than 2,500m² ~~gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an earlier assessment of transportation effects that is no more than two years old~~ 4,000 dwellings in the precinct, and for any new development greater than 3,000 dwellings in the precinct, where the overall development within the precinct is not consistent with the previously modelled yield.
- (23A) Require an updated integrated transport assessment for the precinct as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to greater than 3,000 dwellings, where the transport characteristics of the precinct are not consistent with the approved integrated transport assessment.
- (24) ~~Require an integrated transport assessment for the precinct as part of any southern road connection (public or private), the first subdivision in the Business—Mixed Use and residential zones (other than for controlled activities) or for any new development greater than 2,500m² gross floor area in the Business—Mixed~~

Commented [IS13]: Open Space for Aucklanders Incorporated - 25.50

Commented [IS14]: Open Space for Aucklanders Incorporated - 25.50

~~Use Zone or greater than 1,000m² gross floor area in the residential zones. [Deleted]~~

- (25) Avoid parking buildings within the Special Purpose - Tertiary Education Zone having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads) or the western road shown on ~~the p~~precinct plan 1.
- (26) Avoid direct vehicle access between the Special Purpose - Tertiary Education Zone and Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads).

Water Supply and Wastewater Infrastructure

Commented [IS15]: Watercare - 45.3

(26A) Require subdivision and development to provide water supply and wastewater infrastructure prior to the occupation of buildings.

(26B) Require an infrastructure capacity assessment for the precinct as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to greater than 4,000 dwellings.

Integrated development

- (27) Manage potential adverse amenity effects from buildings at the precinct boundary by:
- (a) Establishing a 5m yard and graduated building heights to the southern residential interface.
 - (b) Establishing a 10m setback from the boundary of land that fronts ~~Oakley Creek~~Te Auaunga.
 - (c) Require graduated building heights and locate higher buildings away from the precinct boundary ~~ies that adjoin Mixed Housing Suburban residential areas to the south of the precinct.~~
- (28) Encourage built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis.
- (29) Provide for the retail (including food and beverage) activities in identified locations of the precinct which:
- (a) meets the needs of the campus;
 - (b) serves local demand within the precinct; and
 - (c) creates the opportunity for retail (including food and beverage) activities in the Historic Heritage overlay.
- (30) Limit retail activities (including food and beverage) fronting or accessed directly from Carrington Road, restrict the number and size of supermarkets, preventing the concentration of retail activities at a single location, and plac~~ing~~e caps on the

PC78 (see modifications)

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size of retail tenancies and the overall gross floor area of retail in order to not adversely affect the role, function and amenity of the Point Chevalier and Mount Albert town centres.

(30A) Encourage the adaptive re-use of the existing buildings with historic value for retail and other activities.

Subdivision

(31) Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of ~~the p~~ Precinct plan 1 and Policy I334.3(15A).

Sub-precinct A

(32) Provide for ~~the a~~ range of healthcare, hospital, community facilities, and related accessory activities ~~of for~~ the Mason Clinic.

(33) Enable detailed site-specific planning for the design and development of the Mason Clinic to reflect how the ~~healthcare/hospital facility~~ sub-precinct will be used ~~and developed~~.

(34) Limit the scale of accessory activities so they do not undermine the role of the precinct or result in adverse traffic effects, but still meet the requirements of those who work, live or use services and activities in this sub-precinct.

(34A) Manage potential adverse effects from buildings at the sub precinct boundary by:

(a) establishing a 5m landscaped yard to the north and south boundaries of the Sub-precinct;

(b) requiring new buildings and significant additions to buildings that adjoin the eastern boundary to be designed to contribute to the maintenance and enhancement of amenity values of the streetscape, while enabling the efficient use of the Sub-precinct for the Mason Clinic;

(c) Encouraging new buildings to be designed to provide a high standard of amenity and safety appropriate to an urban environment of the Precinct and be of a quality design that contributes to the planning outcomes of the Precinct.

(34B) Recognise the functional and operational (including security) requirements of activities and development.

Sub-precinct B

(35) Provide for the range of light manufacturing and servicing activities associated with the commercial laundry service.

(36) Enable detailed site-specific planning of the commercial laundry service to reflect how the facility will be used and developed.

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- (37) ~~Limit the scale of accessory activities so they~~ Provide for other activities that do not undermine the role of the precinct, compromise the operation of the laundry service while this facility is in operation, or result in adverse traffic effects, but still meet the requirements of those who work or use services and activities in this sub-precinct.
- (38) ~~Recognise that should the commercial laundry service and associated activities on this sub-precinct relocate from Wairaka, then the activities and controls of the Wairaka Precinct would apply.~~ [Deleted]

Sub-precinct C

- (39) Provide a broad range of residential activities adjacent to ~~the Oakley CreekTe~~ Auaunga and residential neighbourhoods to the south of the precinct.
- (40) Provide quality dwellings which face west across Oakley CreekTe Auaunga, providing passive surveillance of the public lands within Oakley CreekTe Auaunga Valley.
- (41) Enable a variety of housing typologies with a mix of densities within the zone, including three-storey attached and detached dwellings, and low-rise apartments.
- (42) Encourage development to achieve attractive and safe streets and public open spaces, including by providing for passive surveillance
- (43) Enable housing to be designed to meet the day-to-day needs of residents.
- (44) Provide for developments not meeting permitted activity status, while encouraging high-quality developments.

Commented [IS16]: MDRS incorporation, Auckland Council - 68.1

Commented [IS17]: MDRS incorporation, Auckland Council - 68.1

Commented [IS18]: MDRS incorporation, Auckland Council - 68.1

Commented [IS19]: MDRS incorporation, Auckland Council - 68.1

The zoning, Auckland-wide and overlay policies apply in this precinct in addition to those specified above.

I334.4. Activity tables

The provisions in the zoning, Auckland-wide provisions and any relevant overlays apply in this precinct unless otherwise specified below.

- The activities listed in Table H13.4.1 Activity table for H13 Business – Mixed Use Zone at line items: (A20), (A21), (A23), (A24), ~~and~~ (A25) and (A45)
- The activities listed in Table H30.4.1 Activity table for Special Purpose – Tertiary Education Zone at line items (A3), (A4) and (A5)
- The activities listing in Table H25.4.1 Activity table for the Special Purpose – Healthcare Facility and Hospital Zone at line items (A18), (A20), and (A21).

Tables I334.4.1, I334.4.2, ~~and~~ I334.4.3 and I334.4.4 Activity table specify the activity status of land use, development and subdivision activities in the WairakaTe Auaunga Precinct pursuant to sections 9(3) and 11 of the Resource Management Act 1991 or any combination of all these sections where relevant.

Table I334.4.1 WairakaTe Auaunga Precinct (all of precinct except for sub-precinct A B and C)

Activity		Activity status
Use		
Accommodation		
(A1)	Dwellings in the Special Purpose - Tertiary Education Zone up to a maximum gross floor area of 7,500m ²	P
(A2)	Student accommodation, boarding houses and visitor accommodation in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
Commerce		
(A3)	Food and beverage, offices, commercial services, conference facilities, visitor accommodation, residential, community facilities, recreation and leisure activities within the Historic Heritage Overlay	P
(A4)	Offices in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
(A5)	Retail (including food and beverage) up to 200m ² gross floor area per tenancy	P
(A6)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to within 150m of , and accessed from via, Farm Road	RD
(A7)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to the Historic Heritage Overlay	RD
(A8)	Retail (including food and beverage but excluding one supermarket) up to 1,2700m ² adjacent to within 150m of , and accessed from via, Farm Road	P
(A9)	One supermarket of up to 1500m ² of retail floor space adjacent to within 150m of , and accessed from via, Farm Road	P
(A10)	Commercial services within 100m of a supermarket	D
(A11)	Retail (including food and beverage) adjoining the southern Carrington Road bus node between <u>Access Point A and D</u> gate access 3 and 4 shown on the Precinct plan 1, up to 500m ² gross floor area or 5 tenancies	P
(A12)	Retail (including food and beverage) within 100-metres of the Carrington Road frontage, not otherwise provided for	D
(A13)	Supermarkets not otherwise provided for	NC
(A14)	Retail (including food and beverage) not otherwise provided for	D
Community facilities		
(A15)	Informal recreation	P
(A16)	Organised sport and recreation	P
Industry		
(A17)	Light manufacturing and servicing <u>greater than 150m from</u>	D

Commented [IS20]: Consequential on proposed change to I334.6.2(3).

Commented [IS21]: Consequential on new Precinct Plan 1.

I334 Wairaka Te Auaunga Precinct

Activity	Activity status
	<u>Carrington Road</u>
(A17A)	<u>Light manufacturing and servicing within 150m of Carrington Road</u>
(A18)	Repair and maintenance services <u>greater than 150m from Carrington Road</u>
(A18A)	<u>Repair and maintenance services within 150m of Carrington Road</u>
(A19)	Warehousing and storage <u>greater than 150m from Carrington Road</u>
(A19A)	<u>Warehousing and storage within 150m of Carrington Road</u>
(A20)	Waste management facilities in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities
Mana Whenua	
(A21)	Marae
(A21A)	<u>Papakāinga</u>
(A21B)	<u>Whare Manaaki</u>
Development	
(A21C)	<u>New buildings</u>
(A21D)	<u>Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height</u>
(A21E)	<u>Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m</u>
(A22)	Parking buildings
(A23)	Non-security floodlighting, fittings and supports and towers
(A24)	Public amenities
(A25)	Sports and recreation structures
(A26)	Parking buildings associated with any Special Purpose – Tertiary Education Zone uses with direct vehicle connection to Western Road or to Laurel Street, Renton Road or Rhodes Avenue (or any extension of those roads)
(A27)	Extension of Laurel Street, Renton Road, or Rhodes Avenue, <u>or Mark Road</u> into the P precinct provided that a cul de sac is maintained
(A28)	Connection of any southern roads (or extensions to the southern roads that remain cul de sacs) to the P precinct with a private road (non-gated)
(A29)	Connection of any roads to the Precinct with a public road <u>Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the western road within the precinct</u>
(A30)	Direct vehicle connection between Laurel Street, Renton Road or Rhodes Avenue <u>or Mark Road</u> , and the Special Purpose – Tertiary Education Zone

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Activity		Activity status
(A31)	Any development not otherwise listed in Table I334.4.1 that is generally in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A)	RD
(A32)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A)	D
(A33)	Buildings that exceed Standard I334.6.4 Height [deleted]	D
(A33A)	New buildings or additions to buildings that do not comply with standard I334.6.13	NC
Subdivision		
(A34)	Any vacant lot subdivision proceeding in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A34A)	Subdivision of land for the purpose of construction and use of residential units	RD
(A34B)	Subdivision of land for the purpose of construction and for uses other than residential units	RD
(A35)	Any vacant lot subdivision that is not generally in accordance with the p Precinct plan <u>1</u> and Policy I334.3(15A)	D

Commented [IS22]: Te Whatu Ora - 65.1

Table I334.4.2 Wairaka Te Auaunga Precinct sub-precinct B

Activity	Activity status
(A36)	Light manufacturing and servicing associated with the commercial laundry services
(A37)	Buildings that exceed the Standard I334.6.4 Height [deleted]

Table I334.4.3 Wairaka Te Auaunga Precinct sub-precinct C

Activity	Activity status
(AX1)	<u>Up to three dwellings per site in a residential zone which complies with the I334.6.21 Residential Development Standards.</u>
(AX2)	<u>Four or more dwellings per site.</u>
(AX3)	<u>The conversion of a principal dwelling into a maximum of three dwellings which complies with the I334.6.21 Residential Development Standards.</u>
(AX4)	<u>Internal and external alterations and additions to an existing dwelling which complies with the I334.6.21 Residential Development Standards.</u>
(A38)	Informal recreation
(A39)	Public amenity structures
(A40)	Student accommodation, boarding houses and visitor accommodation accessory to tertiary education facilities

Commented [IS23]: MDRS incorporation, Auckland Council - 68.1

Commented [IS24]: MDRS incorporation, Auckland Council - 68.1

Commented [IS25]: MDRS incorporation, Auckland Council - 68.1

Commented [IS26]: MDRS incorporation, Auckland Council - 68.1

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(A41)	Tertiary education and ancillary activities existing in the Mixed Housing Urban and Residential Terrace Housing and Apartment Buildings zones at 1 November 2015	P
(A42)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	RD
(A43)	Any development not otherwise listed in Table I334.4.3 that is not generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	D
(A44)	Any vacant lot subdivision proceeding in accordance with the p precinct plan 1 and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A44A)	<u>Excluding subdivision in accordance with (A49) and (A50), subdivision of land for the purpose of construction and use of residential units</u>	RD
(A44B)	<u>Subdivision of land for the purpose of construction and for uses other than residential units</u>	RD
(A45)	Any vacant lot subdivision that is not generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	D
(A46)	Parking buildings within the Residential Mixed Housing Urban Zone	NC
(A47)	Parking buildings within the Residential Terrace Housing and Apartment Buildings Zone for any uses other than serving the residents of that zone	NC
(A48)	Buildings that exceed the Standard I334.6.4 Height	D
(A49)	<u>Subdivision in accordance with an approved land use resource consent complying with Standard I334.6.22</u>	C
(A50)	<u>Subdivision around existing buildings and development complying with Standard I334.6.22.</u>	C

Commented [IS27]: Watercare – 45.3

Commented [IS28]: Consequential on MDRS incorporation: (A49) and (A50). Auckland Council - 68.1

Commented [IS29]: Watercare - 45.3

Commented [IS30]: MDRS incorporation, Auckland Council - 68.1.

Commented [IS31]: MDRS incorporation, Auckland Council - 68.1.

Table I334.4.4 Wairaka-Precinct sub-precinct A

Activity	Activity status
Development	
(A49) All new buildings, and additions to existing buildings unless otherwise specified below	C
(A50) Demolition	P
(A51) Internal alterations to buildings	P
(A52) Additions to buildings that are less than: (a) 25 per cent of the existing gross floor area of the building; or (b) 250m ² GFA whichever is the lesser	P
(A53) New buildings or additions to existing buildings that increase the building footprint by more than 20 per cent or 200m ² GFA (whichever is the lesser), that are located within 10m of the eastern boundary	RD
(A54) New buildings or additions to buildings not complying	NC

I334 Wairaka Te Auaunga Precinct

	with I334.6.14 (2)	
(A55)	Any development not otherwise listed in Table 1334.4.4 that is generally in accordance with the precinct plan and Policy I334.3(15A)	RD
(A56)	Any development not otherwise listed in Table 1334.4.4 that is not generally in accordance with the precinct plan and Policy I334.3(15A)	D
(A57)	Justice Facilities	D
(A58)	Justice Facilities ancillary to forensic psychiatric services provided at the Mason Clinic	P

I334.5. Notification

(1) An application for resource consent for a controlled activity listed in Tables I334.4.1, ~~and I334.4.3, and I334.4.4 Activity table~~ above will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

(1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

(1B) An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

(2) Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, ~~and I334.4.3, and I334.4.4 Activity table~~ which is not listed in Standard ~~s~~ I334.5(1) ~~and I334.5(1A)~~ above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991.

(3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule C1.13(4).

Sub- Precinct C

(4) Unless the Council decides that special circumstances exist under section 95A(9), public notification of an application for resource consent is precluded if the application is for the construction and use of one, two, or three dwellings that do not comply with the I334.6.21 Residential Development Standards

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below.

- (5) Unless the Council decides that special circumstances exist under section 95A(9), public and limited notification of an application for resource consent is precluded if the application is for the construction and use of more than three dwellings that comply with the I334.6.21(2) standards below.
- (6) Unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991, public and limited notification of an application for a subdivision resource consent is precluded if the subdivision is associated with an application for the construction and use of:
- (a) one, two or three dwellings that do not comply with one or more of the Standards listed in I334.6.21 Residential Development Standards; or
 - (b) four or more dwellings that comply with the I334.6.21(2) standards
- (7) Any application for a resource consent which is listed in I334.4.3(A1), I334.4.3(A2) or I334.4.3(A3) above which also requires resource consent under other rules in the Plan will be subject to the normal tests for notification under the relevant sections of the RMA.

I334.6. Standards

~~The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.~~

- (1) Unless specified in Standard I334.6(2) below, all relevant overlay, Auckland-wide and zone standards apply to all activities listed in Activity Tables I334.4.1 to I334.4.3 above.
- (2) The following Auckland-wide and zone standards do not apply to the activities listed in activity tables above:
- (a) H13 Business – Mixed Use zone:
 - (i) Standards H13.6.0 Activities within 30m of a Residential Zone (but only as it relates to sites fronting Carrington Road), H13.6.1 Building Height, H13.6.2 Height in Relation to Boundary, H13.6.3 Building setback at upper floors, H13.6.4 Maximum tower dimension and tower separation, H13.6.5 Yards, H13.6.6 Landscaping and H13.6.8 Wind.
- (3) All activities listed as permitted, controlled or restricted discretionary in Table I334.4.1, I334.4.2 and I334.4.3 ~~Activity tables~~ must comply with the following standards.

I334.6.1. Floodlights

- (1) Where floodlights are located adjacent to a residential zone, the hours of operation must not extend beyond:

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- (a) 10pm Monday to Saturday; and
 - (b) 7.30pm Sunday and Public Holidays.
- (2) Floodlights must comply with the lighting standards in E24.6 Auckland-wide Standards – Lighting.

I334.6.2. Retail thresholds

- (1) The following thresholds apply in this precinct:
- (a) ~~The~~ the total gross floor area of retail (including food and beverage and supermarket) must not exceed 6,500m² for the whole precinct;
 - (b) the total gross floor area of retail (including food and beverage) within the Business - Mixed Use Zone must not exceed ~~4500m²~~ 4,700m²; and
 - (c) ~~The~~ the total gross floor area of retail (including food and beverage) within the Special Purpose - Tertiary Education Zone must not exceed ~~3000m²~~ 1,800m².
- (2) The total gross floor area of retail (including food and beverage) in the Historic Heritage Place must not exceed 1,000-m² subject to Standard I334.6.2(1)(a) above, provided that any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct.
- (3) All retail activities adjacent to, or within, 100m of ~~to~~ the supermarket must not exceed ~~4200m²~~ 1,700m² gross floor area, provided that:
- (a) any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct; and
 - (b) the 1,700m² gross floor area may be increased by any transferred gross floor area under Standard I334.6.2(2).
- (4) Any supermarket within 150m of, ~~adjacent to~~ and accessed from ~~via~~, Farm Road, must not have vehicle access or parking directly off Carrington Road.

I334.6.3. Stormwater

- (1) All subdivision and development of the land in the precinct must be consistent with the ~~an~~ approved stormwater management plan.

I334.6.4. Height

- (1) Standards in the table below apply rather than underlying zone heights unless specified. Buildings must not exceed the heights set out below: The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Mixed Use zone and Areas 1 – 4, identified on Precinct plan 3: Te Auaunga Height.

<u>Building location</u>	<u>Maximum height (m)</u>
<u>Less than 20m from a boundary with Carrington Road (as at 1 November 2015) or the Open Space: Conservation Zone (excluding the Residential – Mixed Housing Urban</u>	<u>18m</u>

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and Residential Terrace Housing and Apartment Buildings zones)	
Greater than or equal to 20m from a boundary with Carrington Road (as at 1 November 2015) or Open Space: Conservation Zone (excluding the Residential Mixed Housing Urban, Residential Terrace Housing and Apartment Buildings and Special Purpose Healthcare Facility and Hospital zones)	27m
Residential Mixed Housing Urban, Residential Terrace Housing and Apartment Buildings and Special Purpose Healthcare Facility and Hospital zones	Specified zone height applies
Buildings within the Residential Mixed Housing Urban Zone and within 10m of the southern precinct boundary	8m

PC78 (see modifications)

I334.6.5. Landscaping

~~(1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions. [Deleted]~~

I334.6.6. Precinct boundary set back

- (1) Buildings on land within Sub-precinct C adjoining residential zoned land outside the precinct and to the south must be set back a minimum width of 5m from the external precinct boundary. Planting requirements of Standards H13.6.5 (Yards) and H13.6.6 (Landscaping) Business - Mixed Use Zone in Sub precinct C apply.
- (2) Buildings on land adjoining Open Space – Conservation zoned land outside the precinct must be set back a minimum width of 10m from the external precinct boundary. Planting requirements of Standards H13.6.5 (Yards) and H13.6.6 (Landscaping) Business - Mixed Use Zone apply.
- (3) Buildings on land fronting Carrington Road must be set back a minimum width of 28.2m when measured from the eastern edge of the Carrington Road road reserve as at 1 November 2015. This setback area may be used for walkways, cycleways, public transport facilities, site access, street furniture, outdoor dining and cafes. Other areas within the 28.2m not used for these activities must be landscaped. This setback does not apply once the road widening affecting the Wairaka Te Auaunga Precinct Carrington Road frontage has been vested in the Auckland Council.

PC78 (see modifications)

I334.6.7. Tree protection

- (1) In addition to any notable tree, ~~S~~subject to Standard I334.6.7(2) below, the following trees identified in I334.11.2 Precinct plan 2 – ~~p~~Protected ~~T~~Trees and in Table I334.6.7.1 below must not be altered, removed or have works undertaken within the dripline except as set out in I334.6.7(2) below. Trees located within an existing or future road-widening area along Carrington Road frontage are not subject to this control.

- (2) Tree works to the trees identified below must be carried out in accordance with all of the provisions applying to Notable Trees in D13 Notable Tree Overlay, with the exception that up to 20 per cent of live growth may be removed in any one year.

Table I334.6.7.1 - Identified Trees

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
1	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
2	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
3	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
5	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
7	Karaka	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
9	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
10	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
11	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
13	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
14	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
15	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
16	Swaine's Gold, Italian cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
17	Michelia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
18	Sky Flower	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
19	New Zealand Ngaio	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
20	Mediterranean Cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
22	Mediterranean Fan Palm	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
23	Mountain Coconut, Coco	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
24	Chinquapin	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
25	White Mulberry	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
26	Totara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
27	Australian Francipani	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
28	Kauri	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
29	Three Kings Climber	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
30	Norfolk Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
31	Pepper Tree, Peruvian	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
32	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
33	Jacaranda	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
34	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
35	Variegated Five Finger	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
36	Maidenhair Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
37	Brazilian Coral Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
38	Dogwood	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
39	Houpara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
40	Oleander	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
41	Taupata	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
42	Camphor Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
43	Plum Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
44	Camellia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
45	Kohuhu	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
46	Silver Poplar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
47	Liquidambar	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935

I334.6.8. Access

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(1) The primary traffic access to the precinct must be from Carrington Road at locations shown on ~~the~~ Precinct plan 1.

~~(2) Any retail (including food and beverage) fronting the southern bus node, must not have vehicle access directly off Carrington Road.~~

I334.6.9. Parking

(1) No parking is required for activities located within the scheduled heritage building other than for the provision of loading requirements.

~~(2) There must be no parking provided at the bus node for retail activities.~~

I334.6.10. Building to building set back

Purpose: to ensure adequate separation between taller buildings.

(1) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height the minimum separation distance between buildings shall be 14m. This control shall be measured 8.5m above ground level.

I334.6.11 Maximum tower dimension – Height Area 1 and Area 2

Purpose: to ensure that high-rise buildings in Height Area 1 and Height Area 2 on Precinct plan 3 – Te Auaunga Additional Height:

- enable an appropriate scale of building to increase land efficiency in this part of the precinct;
- allow adequate sunlight and daylight access to public streets and public open space;
- provide adequate sunlight and outlook around and between buildings;
- mitigate adverse wind effects;
- discourage a high podium base on any one building, in order to positively respond to Area 1's qualities as a visual gateway and its wider landscape setting; and
- manage any significant visual dominance effects by applying a maximum tower dimension.

(1) This standard only applies in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height.

(2) The maximum tower dimensions applying in Height Area 1 and Height Area 2 identified on Precinct plan 3 – Te Auaunga Additional Height must not exceed the dimension specified in Table I334.6.11.1 below.

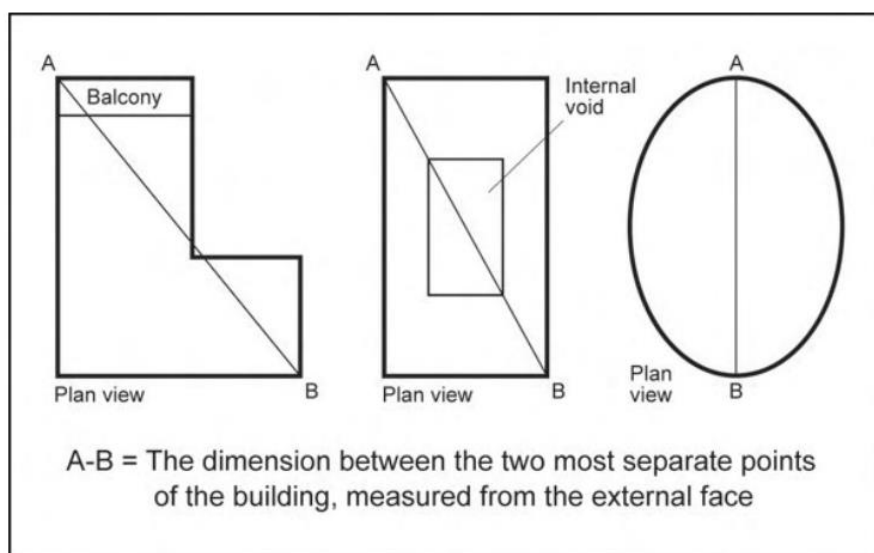
Table I334.6.11.1: Maximum tower dimensions

	<u>Maximum Tower Dimension</u>
<u>Buildings up to 35m</u>	<u>No tower dimension applies</u>

<u>Building with height up to 43.5m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 54m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 72m</u>	<u>42m max. tower dimension</u>

(3) The maximum tower dimension is the horizontal dimension between the exterior faces of the two most separate points of the building and for the purposes of this standard applies to that part of the building as specified in Figure I334.6.11.2 below. This control shall be measured 8.5m above ground level.

Figure I334.6.11.2 Maximum tower dimension plan view



I334.6.12. Wind

Purpose: to mitigate the adverse wind effects generated by tall buildings.

(1) A new building exceeding 27m in height and additions to existing buildings that increase the building height above 27m must not cause:

(a) The mean wind speed around it to exceed the category for the intended use of the area as set out in Table I334.6.12.1 and Figure I334.6.12.2 below;

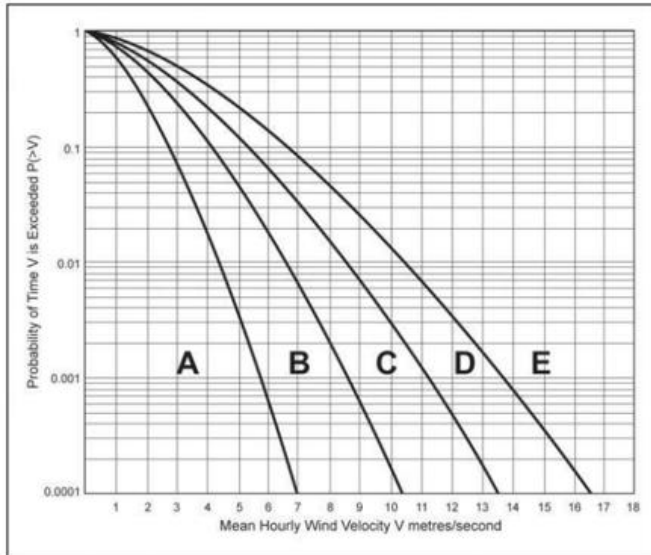
I334 Wairaka Te Auaunga Precinct

- (b) The average annual maximum peak 3-second gust to exceed the dangerous level of 25m/second; and
- (c) An existing wind speed which exceeds the controls of Standard I334.6.12.(1)(a) or Standard I334.6.12.(1)(b) above to increase.
- (2) A report and certification from a suitably qualified and experienced person, showing that the building complies with Standard I334.6.12.(1) above, will demonstrate compliance with this standard.
- (3) If the information in Standard I334.6.12.(2) above is not provided, or if such information is provided but does not predict compliance with the rule, a further wind report including the results of a wind tunnel test or appropriate alternative test procedure is required to demonstrate compliance with this standard.

Table I334.6.12.1 Categories

<u>Category</u>	<u>Description</u>
<u>Category A</u>	<u>Areas of pedestrian use or adjacent dwellings containing significant formal elements and features intended to encourage longer term recreational or relaxation use i.e. public open space and adjacent outdoor living space</u>
<u>Category B</u>	<u>Areas of pedestrian use or adjacent dwellings containing minor elements and features intended to encourage short term recreation or relaxation, including adjacent private residential properties</u>
<u>Category C</u>	<u>Areas of formed footpath or open space pedestrian linkages, used primarily for pedestrian transit and devoid of significant or repeated recreational or relaxational features, such as footpaths not covered in categories A or B above</u>
<u>Category D</u>	<u>Areas of road, carriage way, or vehicular routes used primarily for vehicular transit and open storage, such as roads generally where devoid of any features or form which would include the spaces in categories A-C above</u>
<u>Category E</u>	<u>Category E represents conditions which are dangerous to the elderly and infants and of considerable cumulative discomfort to others, including residents in adjacent sits. Category E conditions are unacceptable and are not allocated to any physically defined areas of the city</u>

Figure I334.6.12.2 Wind Environment Control



Derivation of the wind environment control graph:

The curves on the graph delineating the boundaries between the acceptable categories (A-D) and unacceptable (E) categories of wind performance are described by the Weibull expression:

$$P(>V) = e^{-(v/c)^k}$$

where V is a selected value on the horizontal axis, and P is the corresponding value of the vertical axis:

and where:

P(>V) = Probability of a wind speed V being exceeded;

e = The Napierian base 2.7182818285

v = the velocity selected;

k = the constant 1.5; and

c = a variable dependent on the boundary being defined:

$$A/B, c = 1.548$$

$$B/C, c = 2.322$$

$$C/D, c = 3.017$$

$$D/E, c = 3.715$$

I334.6.13. Sub-precinct A Northern Boundary setback

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- (1) Buildings on land adjoining the northern boundary of Sub-precinct A must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.
- (2) This standard does not apply to:
- (a) retaining walls
 - (b) underground car-parking buildings less than 1.5m in height above ground level.

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Standards in Sub Precinct A

All activities listed as permitted, controlled and restricted discretionary in Table I334.4.4 must comply with the following standards.

I334.6.14. Height in relation to Boundary

- (1) Buildings in Sub-precinct A must not project beyond a 45-degree recession plane measured from a point 3m vertically above ground level along the north and south boundaries of the Sub-precinct.

I334.6.15. Height

- (1) I334.6.4 applies.

I334.6.16. Landscaping

- ~~(1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions.~~

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I334.6.17. Tree Protection

- (1) I334.6.7 applies

I334.6.18. Sub-precinct A Boundary setback

- (1) I334.6.6(2) applies.

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(2) Buildings on land within Sub-precinct A adjoining the northern and southern boundaries of the Sub-precinct must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.

(3) Buildings on land within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct must be set back a minimum width of 5m from the external precinct boundary. This setback shall remain landscaped with mature trees, with the Identified Trees in this location supplemented as necessary to maintain a heavily treed frontage.

I334.6.19. Stormwater

(1) I334.6.3 applies.

I334.6.20. Parking

(1) No minimum and no maximum parking is required in Sub-precinct A.

I334.6.21 Sub-Precinct C – Residential Density Standard

Purpose: Enable development of a variety of housing typologies with a mix of densities within residential zones that responds to the planned urban built character.

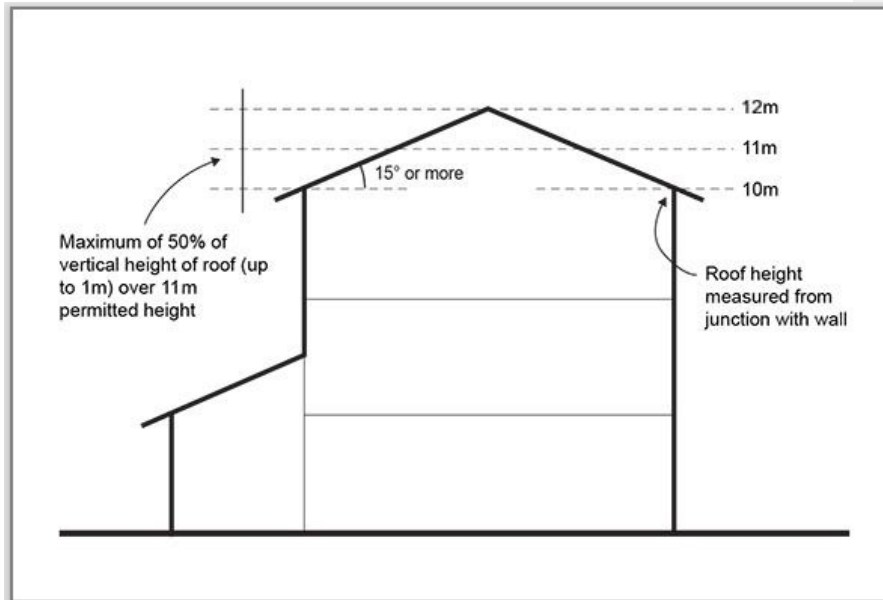
- (1) There must be no more than three dwellings per site.
- (2) The development of dwellings on land zoned Residential – Mixed Housing Urban and Residential – Terrace House and Apartment Building must comply with the following Medium Density Residential Standards as specified below.

(a) Building height

- (i) In the Residential – Terraced Housing and Apartment Building zone, buildings must not exceed 16m in height.
- (ii) In the Residential – Mixed Housing Urban zone, buildings must not exceed 11 metres in height, except that 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1 metre, where the entire roof slopes 15° or more, as shown on the following diagram:

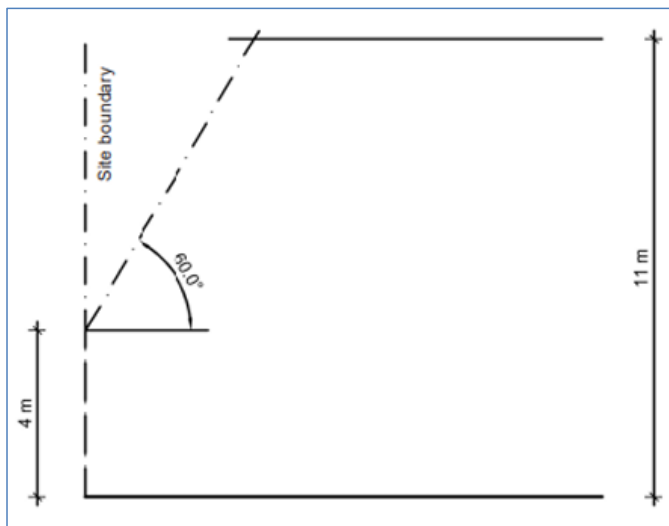
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Commented [IS36]: MDRS incorporation, more enabling height limit (THAB), Auckland Council – 68.1.



(b) Height in Relation to Boundary

- (i) Buildings must not project beyond a 60 degree recession plane measured from a point 4m vertically above ground level along the side and rear boundaries, as shown in the figure below.



(ii) This standard does not apply to—

- (a) a boundary with a road;
- (b) existing or proposed internal boundaries within a site;
- (c) site boundaries where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed.

(c) Yards

A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in the table below.

<u>Yard</u>	<u>Minimum Depth</u>
<u>Front</u>	<u>1.5</u>
<u>Side</u>	<u>1m</u>
<u>Rear</u>	<u>1m</u>

- (i) This standard does not apply to site boundaries where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed.
- (ii) This standard does not apply buildings adjoining residential zoned land outside the precinct and to the south (refer to I3346.6(1)).

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(d) Building Coverage

The maximum building coverage must not exceed 50 per cent of the net site area

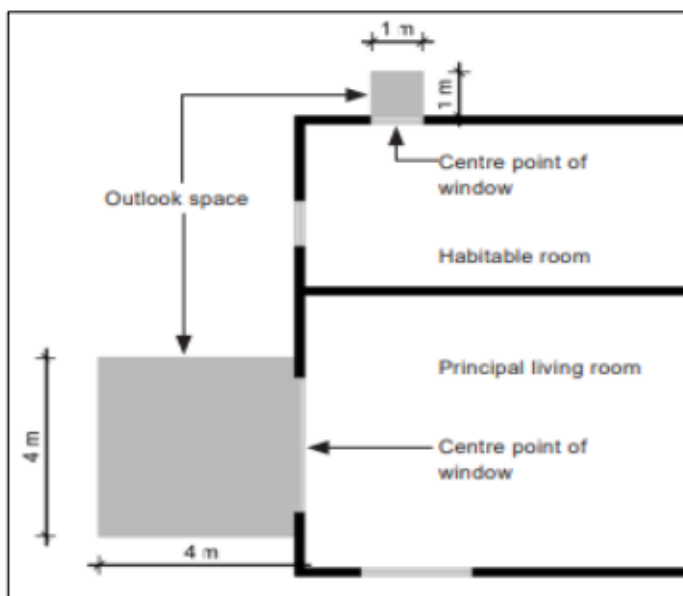
(e) Landscaped Areas

- (i) A dwelling at ground floor level must have a landscaped area of a minimum of 20 per cent of a developed site with grass or plants, and can include the canopy of trees regardless of the ground treatment below them.
- (ii) The landscaped area may be located on any part of the development site, and does not need to be associated with each dwelling

(f) Outlook Space

An outlook space must be provided for each dwelling as specified in this clause.

- (i) An outlook space must be provided from habitable room windows as shown in the diagram below.



(ii) The minimum dimensions for a required outlook space are as follows:

(a) a principal living room must have an outlook space with a minimum dimension of 4 metres in depth and 4 metres in width; and

(b) all other habitable rooms must have an outlook space with a minimum dimension of 1 metre in depth and 1 metre in width.

(iii) The width of the outlook space is measured from the centre point of the largest window on the building face to which it applies.

(iv) Outlook spaces may be over driveways and footpaths within the site or over a public street or other public open space.

(v) Outlook spaces may overlap where they are on the same wall plane in the case of a multi-storey building.

(vi) Outlook spaces may be under or over a balcony.

(vii) Outlook spaces required from different rooms within the same building may overlap.

(viii) Outlook spaces must—

(a) be clear and unobstructed by buildings; and

(b) not extend over an outlook space or outdoor living space required by another dwelling

(g) Outdoor Living Space

(i) A dwelling at ground floor level must have an outdoor living space that is at least 20m² and that comprises ground floor, balcony, patio, or roof terrace space that:

(a) where located at ground level, has no dimension less than 3 metres for three or more dwellings; and

(b) where provided in the form of a balcony, patio, or roof terrace, is at least 8m² and has a minimum dimension of 1.8 metres; and

(c) is accessible from the dwelling; and

(d) may be:

(i) grouped cumulatively by area in 1 communally accessible location; or

(ii) located directly adjacent to the unit; and

(e) is free of buildings, parking spaces, and servicing and manoeuvring areas.

(ii) A dwelling located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace that:

(a) is at least 8m² and has a minimum dimension of 1.8 metres for three or more dwellings; and

(b) is accessible from the dwelling; and

(c) may be:

(i) grouped cumulatively by area in 1 communally accessible location, in which case it may be located at ground level; or

(ii) located directly adjacent to the unit

(h) Windows to street

Any dwelling facing the street must have a minimum of 20 per cent of the street facing façade in glazing. This can be in the form of windows or doors.

I334.6.22 Sub-Precinct C – Subdivision

Purpose: Enable subdivision around the development of a variety of housing typologies with a mix of densities within residential zones that responds to the planned urban built character.

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- (1) There must be no minimum lot size, shape size, or other size-related subdivision requirements for the following:
- (a) any allotment with an existing dwelling, if—
 - (i) either the subdivision does not increase the degree of any non-compliance with under Standard I334.6.21 or any other zone standards that apply, or land use consent has been granted; and
 - (ii) no vacant allotments are created:
 - (b) any allotment with no existing dwelling, where a subdivision application is accompanied by a land use application that will be determined concurrently if the applicant for the resource consent can demonstrate that:
 - (i) it is practicable to construct on every allotment within the proposed subdivision, as a permitted activity, a dwelling; and
 - (ii) each dwelling complies with the residential density standards under Standard I334.6.21 or any other zone standards that apply; and
 - (iii) no vacant allotments are created.
- (2) For the purposes of standard I334.6.22(1)(a)(i) if a subdivision is proposed between dwellings that share a common wall, the requirements as to height in relation to boundary in this precinct do not apply along the length of the common wall.

I334.7. Assessment – controlled activities

I334.7.1. Matters of control

The Council will reserve its control to the following matters when assessing a controlled activity resource consent application, in addition to the matters specified for the relevant controlled activities in the zone, Auckland-wide, or overlay provisions:

- (1) Connection of **Pp**precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
- (a) traffic effects on adjoining streets and the transport network;
 - (b) amenity and safety of adjoining streets and those within the precinct;
 - (c) design of road connections;
 - (d) benefits of connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and

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- (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(2) Subdivision:

- (a) Boundaries of the precinct and sub-precincts aligning with the proposed site boundaries.

(b) Compliance with existing resource consent (if applicable).

(c) Site size, shape, design, contour, and location.

(d) Infrastructure.

(e) Historic and cultural heritage.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A:

(a) high quality design and amenity;

(b) functional and operational (including security) requirements;

(c) the integration of landscaping;

(d) safety;

(e) effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network having regard to:

(i) visibility and safe sight distances;

(ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;

(iii) proximity to and operation of intersections;

(iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and

(v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;

(f) The location and capacity of infrastructure servicing:

(i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the Sub-precinct;

(ii) management and mitigation of flood effects, including on buildings and property;

(iii) methods and measures to avoid land instability, erosion, scour and flood risk to buildings and property;

(iv) location, design and method of the discharge; and

(v) management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures.

I334.7.2. Assessment criteria

The Council will consider the relevant assessment criteria below for controlled activities, in addition to the assessment criteria specified for the relevant controlled activities in the zone, Auckland-wide or overlay provisions:

- (1) Connection of ~~P~~precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
 - (a) the extent to which the design of the road and associated landscap~~ing~~e creates:
 - (i) access consistent with the local road function; and
 - (ii) street trees, planting and other landscap~~ing~~e features that ensure a good standard of amenity;
 - (b) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and to manage speed;
 - (c) the extent to which the management of the private road through such measures as signage, surface treatment, landscaping and speed restrictions does restrict the use of these roads to only those vehicles with authorised access;
 - (d) the extent of any positive benefits arising from the proposed connection (excluding benefits relating to diversion of traffic from Carrington ~~R~~oad);
 - (e) the provision of walkway and cycleway access is not restricted. The extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways; and
 - (f) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(2) Subdivision

~~(1)(a)~~(a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with ~~the precinct plan shown in~~ Precinct plan 1 ~~and with~~ Policy I334.3(15A) (or with any approved road network).

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- (b) Compliance with an existing resource consent.
- (c) The effect of the site design, size, shape, contour, and location, including existing buildings, manoeuvring areas and outdoor living space.
- (d) The adequate provision and capacity of infrastructure provisions.
- (e) The effect on historic heritage and cultural heritage items.

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(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A

- (a) The extent to which the building and associated landscaping contributes to a high quality amenity outcome when viewed from neighbouring land and buildings, including the appearance of the roofscape:
- (b) Whether the design recognises the functional, operational, and security requirements of the intended use of the building, and addresses the safety of the surrounding residential community and the public realm:
- (c) The extent to which effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
 - (i) visibility and safe sight distances:
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring:
 - (iii) proximity to and operation of intersections:
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways:
- (d) The location and capacity of infrastructure servicing:
 - (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) The extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.

I334.8. Assessment – restricted discretionary activities

I334.8.1. Matters of discretion

The Council will restrict its discretion to the following matters when assessing a restricted discretionary activity resource consent application, in addition to the

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matters specified for the relevant restricted discretionary activities in the zones, Auckland-wide, or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to within 150m of~~, and accessed ~~from via~~, Farm Road (A6); and ~~or adjacent to the bus hub or Oakley Hospital building~~ Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):

- ~~(a) building interface with any public place~~
- ~~(b) safety;~~
- ~~(c) services;~~
- ~~(d) traffic;~~
- ~~(e) travel plans and integrated transport assessments;~~
- ~~(f) design of parking and access; and~~
- (a) matters of discretion I334.8.1(1A)(d) - I334.8.1(1A)(h); and
- (g)(b) degree of integration with other centres.

(1A) New buildings which comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) whether proposed finished contour levels at a subject site abutting land identified as open space on Precinct plan 1 or vested public roads across the subject land area adequately manages pedestrian access from the ground floor level of buildings to the adjoining identified open space land and public roads variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available and buildings are adjoining); and
- (ii) where ground floor dwellings or visitor accommodation is proposed, whether some minor variations between the ground floor level and the level of adjoining open space or street (where adjoining) may be acceptable to provide for the privacy of residents and occupants/users

(b) Building form and character:

- (i) whether building design and layout achieves:
 - (a) separate pedestrian entrances for residential uses within mixed use buildings;
 - (b) legible entrances and exits from buildings to open spaces and pedestrian linkages;

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- (e) articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage the extent of large blank and/or flat walls and/or façades;
 - (d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape;
 - (e) a high quality, clear and coherent design concept utilises a palette of durable materials to express the building form;
 - (f) high quality visual interest through the use of façade modulation and articulation, and/or the use of materials and finishes and ensures any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to provide architectural relief;
 - (g) rooftop mechanical plant or other equipment is screened or integrated in the building design;
 - (h) any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to provide architectural relief;
 - (i) parking areas located within or abutting buildings which are visually discreet when viewed from public roads and open space identified on Precinct plan 1;
 - (j) long building frontages are visually broken up by façade design and roofline, recesses, awnings, balconies and other projections, materials and colours;
 - (k) building form is designed to allow a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use;
 - (ii) activities at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;
 - (iii) outdoor living areas and internal living spaces achieve privacy from publicly accessible areas while maintaining a reasonable level of passive surveillance; and
 - (iv) whether any proposed publicly accessible spaces within a development, including pedestrian and cycle linkages, are integrated into the existing or planned pedestrian network;
- (c) Safety including passive surveillance:
- (i) whether new buildings are designed in accordance with Crime Prevention Through Environmental Design principles, including by providing passive surveillance of publicly accessible areas. For the purpose of this

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assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within a tertiary education campus(es) will be considered as if they are public open spaces; and

(d) Services including infrastructure **capacity** and stormwater management:

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- (i) stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area;
- (ii) location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems; and
- (iii) the effects of potential contamination of stormwater and ground water arising from discharges from roofing materials.
- (iv) **whether** any development that would bring the total number dwellings in the precinct in excess of 4,000 dwellings provides an infrastructure capacity assessment that demonstrates that there is sufficient capacity in the bulk water supply and wastewater network to service the development at the time of occupation.

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(e) Traffic:

- (i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct discourage through traffic from outside the Te Auaunga Precinct, and slow traffic with an origin or destination in the Special Purpose - Tertiary Education Zone or southern neighbourhoods.

(f) Travel plans and integrated transport assessments:

- (i) proposed developments are consistent with any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and any corresponding travel plans are provided by way of conditions of any consent prior to occupation;
- (ii) **whether any development that would bring the total number of dwellings** in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated transport assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and
- (iii) **whether any development that would bring the total number of dwellings** in excess of 4,000 dwellings either provides an integrated transport

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assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.

(g) Design of parking structures and vehicular access:

- (i) within the Special Purpose - Tertiary Education Zone avoids parking either at grade or within a building at or above ground level, having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on Precinct plan 1;
- (ii) minimises the extent to which parking within a building at or above ground level directly faces Te Auaunga and the Carrington Road frontage;
- (iii) parking areas are screened;
- (iv) parking structures minimise direct venting to pedestrian environments at ground level;
- (v) vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and be separated from pedestrian access, or are designed as a shared space; and
- (vi) design of pedestrian routes between parking areas, building entrances/lobbies and the street ensures that these spaces are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.

(h) Landscape:

- (i) landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. Landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways. Landscaping includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas.

(i) Matters applying to the Carrington Road frontage:

- (i) building frontages to Carrington Road are designed to express a scale of development that responds to Policy I334.3(13);
- (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, separation and layout to contribute to the visual character, and articulation of the Carrington Road frontage; and
- (iii) building frontages to Carrington Road are designed to address the perception of a solid walled mass through techniques including building recesses, clear visual breaks between buildings, variation in roofline and overall building silhouette.

(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height, and Buildings within the Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m:

- (a) matters of discretion I334.8.1(1A)(a) - I334.8.1(1A)(h);
- (b) building design and location:
 - (i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki Makaurau cityscape and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop;
 - (ii) The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form.
- (c) shading:
 - (i) the extent to which the location and design of buildings ensures a reasonable level of sunlight access (measured at the Equinox) to residential units and open space areas; taking into consideration site and building orientation, and the planned built-character of the precinct.

(2) Parking buildings/structures:

- ~~(a) ground contours;~~
- ~~(b) building interface with public places;~~
- ~~(c) safety;~~
- ~~(d) services including infrastructure and stormwater management;~~
- ~~(e) traffic;~~
- ~~(f) travel plans and integrated transport assessments; and~~
- ~~(g) design of parking and access.~~
- (a) matters of discretion I334.8.1(1A)(a), and I334.8.1(1A)(d) - I334.8.1(1A)(i).

(3) Connection of any road to the Precinct with a public road Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A29):

- (a) traffic;
- (b) amenity and safety;
- (c) design of road connections; and

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- (d) benefits of road connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (4) Any development not otherwise listed in Tables I334.4.1, ~~and~~ I334.4.3, ~~and~~ I334.4.4 that is generally in accordance with ~~the p~~precinct plan ~~1 and Policy~~ I334.3(15A):
- (a) Effects of the location and design of the access on the safe and efficient operation of the adjacent transport network having regard to:
 - (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
 - (b) The location and capacity of infrastructure servicing:
 - (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area;
 - (ii) ~~The~~ effects on receiving environments from the location and design of the Indicative Stormwater Management Area and stormwater devices including the following:
 - (i): management of the adverse effects on receiving environments, including cumulative effects (which may be informed by any publicly available current stormwater and/or catchment management plans and analyses);
 - (ii): BPO for the management of the adverse effects of the stormwater diversion and discharge on receiving environments;
 - (iii): implementation of stormwater management devices and other measures and programmes that give effect to the BPO;
 - (iv): management and mitigation of flood effects, including on buildings and property;

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- ~~(v)~~ methods and measures to minimise land instability, erosion, scour and flood risk to buildings and property;
 - ~~(vi)~~ location, design and method of the discharge; and
 - ~~(vii)~~ management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures;
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of:
- (i) open spaces which are prominent and accessible by pedestrians;
 - (ii) the number and size of open spaces in proportion to the future intensity of the precinct and surrounding area; ~~and~~
- (d) effective and safe pedestrian and/or cycle linkages;
- ~~(ad)~~ ~~The~~ location, physical extent and design of open space;
 - ~~(be)~~ ~~The~~ location of anticipated land use activities within the development;
 - ~~(ef)~~ ~~The~~ location and physical extent of parking areas; ~~and~~
 - ~~(eg)~~ ~~The~~ staging of development and the associated resource consent lapse period;
 - ~~(eh)~~ ~~The~~ location and form of building footprints and envelopes; ~~and~~
 - ~~(fi)~~ ~~B~~uilding scale and dominance (bulk and location).
- (5) For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; ~~I334.6.5 Landscaping~~; I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; [I334.6.13 Height in relation to Boundary](#); [I334.6.17\(3\) Sub-precinct A Boundary setback](#); the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:
- (a) the matters of discretion in Rule C1.9(3) of the general provisions apply; ~~and~~
 - (b) ~~any special or unusual characteristic of the site which is relevant to the standard;~~
 - (c) ~~where more than one standard will be infringed, the effects of all infringements considered together; and~~
 - (d) the effects on the following relevant matters:
 - (i) floodlights – the effects on the amenity values of adjoining residential areas;

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- (ii) retail thresholds – the needs of the campus and serving the local demand within the precinct, the role function and amenity of the Point Chevalier and Mt Albert town centres;
 - (iii) stormwater – ~~S~~see Matter I334.8.1(4)(c) above;
 - (iv) height – the effects on the amenity values of open spaces and adjoining residential areas;
 - (v) ~~landscaping – the street edge, the delineation of pedestrian routes, the visual and pedestrian amenity effects caused by access ways, parking and service areas; [deleted]~~
 - (vi) precinct boundary set back - ~~I~~nterface with the public realm and effects on neighbouring sites, building scale and dominance (bulk and location), and ~~O~~utlook and privacy;
 - (vii) trees – ~~S~~see restricted discretionary activity matters of discretion in Matters D13.8.1 Notable Trees Overlay;
 - (viii) access – the primary access to the precinct being on Carrington Road, the amenity values of existing residents as a result of the southern connections becoming a direct vehicle entrance to the precinct;
 - (ix) parking – the heritage values of the Oakley Hospital ~~main building; the efficiency of operation of the bus hub;~~
 - (x) Boundary setback in respect of buildings within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct – landscape amenity;
 - (xi) Height in relation to boundary – visual dominance, overlooking, shading and privacy.
- (6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary:
Where buildings do not abut the street frontage
- (a) the effectiveness of screening and/or landscaping on the amenity of the streetscape;
 - (b) safety;
 - (c) functional and operational (including security) requirements;
Where buildings do abut the street frontage
 - (d) the effectiveness of screening and/or landscaping (if any);
 - (e) the maintenance or enhancement of amenity for pedestrians using the adjoining street;
 - (f) measures adopted for limiting the adverse visual effects of any blank walls along the street frontage;

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(g) measures adopted to provide for the visual interest at the street frontage, while ensuring the security, and functional and operational requirements of the Mason Clinic;

(h) safety

Matters applying to all buildings

(i) Those matters contained in I334.7.1.(3).

(7) Subdivision of land for the purpose of construction and use of residential units:

(a) Boundaries of the precinct and sub-precincts aligning with the proposed site boundaries.

(b) Site size, shape, design, contour, layout and location.

(c) Infrastructure.

(8) Four or more dwellings within Sub-Precinct C

(a) Matters of discretion H5.8.1(2) and H6.8.1(2) apply;

(b) The standards in IXXX.6.21(2)

(c) Infrastructure and servicing.

Commented [IS44]: Consequential on inclusion of new subdivision rules A34A and A34B

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I334.8.2. Assessment criteria

The Council will consider the relevant assessment criteria below for restricted discretionary activities, in addition to the assessment criteria specified for the relevant restricted discretionary activities in the zones, Auckland-wide or overlay provisions:

(1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to~~ within 150m of, and accessed ~~from~~ via, Farm Road ~~and or adjacent to the bus hub or Oakley Hospital building (A6); and Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):~~

~~(a) Building interface with any public places;~~

- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exits to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~

- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use and whether they may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses; and~~
- ~~(ix) the extent to which through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and whether they are:
 - ~~• publicly accessible and attractive; and~~
 - ~~• designed to provide a high level of pedestrian safety.~~~~

~~(b) Safety:~~

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~
- ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~

~~(c) Services:~~

- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
- ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

~~(d) Traffic:~~

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- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~
- ~~(ii) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application.~~

~~(e) Traffic plans and integrated transport assessments:~~

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

~~(f) Design of parking and access:~~

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of these streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(g)~~(b) Degree of integration with other centres:

- (i) the extent to which the location, scale and staging of anticipated activity types in the precinct mitigates potential conflicts with activities within neighbouring centres; and
- (ii) the extent to which the location, scale and staging of offices retail does not have adverse effects on the role of other centres, beyond those effects ordinarily associated with trade effects or trade competition.

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(1A) New buildings under I334.4.1(A21C) that comply with Standard I334.6.4 Height:

(a) Ground contours:

(i) Refer to Policies I334.3.(13) and (27).

(b) Building form and character:

(i) Refer to Policies I334.3.(13), (14) and (27).

(c) Safety including passive surveillance:

(i) Refer to Policies I334.3.(13), (14) and (27).

(d) Services including infrastructure and stormwater management:

(i) Refer to Policies I334.3. ~~(4)(f)~~, (26A), (26B) and (27).

(e) Traffic:

(i) Refer to Policies I334.3.(20) and (22).

(f) Travel plans and integrated transport assessments:

(i) Refer to Policies I334.3. (4)(g), (20), (23), and (27).(g) Design of parking structures and vehicle access:

(i) Refer to Policies I334.3.(13), (14), (14A), (14B), (24) and (25).

(h) Landscape:

(i) Refer to Policy I334.3.(13).

(i) Additional criteria applying to building frontage to Carrington Road:

(i) Refer to Policies I334.3.(13) ~~and (14).~~

(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height; and Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m:

(a) Refer to Policies I334.3 (13), (14), (14A), (14AA) and (14B).

(b) Assessment criteria ~~I334.8.2(1A)(d).~~

(2) Parking buildings ~~and structures:~~

~~(a) Ground contours:~~

~~(i) the extent to which the proposed finished contour levels across the subject land area avoid variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available); and~~

~~(ii) The extent to which where ground floor dwellings or visit accommodation is proposed, some minor variations between the ground floor level and the level of adjoining open space or street may be acceptable to provide for the privacy of residents and occupants/users.~~

Commented [IS46]: Watercare - 45.3

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~~(b) Building interface with public spaces:~~

- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exists to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed-use buildings;~~
- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use. This may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses;~~
- ~~(ix) whether through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and are publicly accessible, attractive and designed to provide a high level of pedestrian safety.~~

~~(c) Safety:~~

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~
- ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~

~~(d) Services including infrastructure and stormwater management:~~

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- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
- ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

~~(e) Traffic:~~

- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~

~~(f) Travel plans and integrated transport assessments:~~

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

~~(g) Design of parking and access~~

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(a) Assessment criteria I334.8.2(1A)(a) and I334.8.2(1A)(d) - I334.8.2(1A)(h).~~

- ~~(3) Connection of any road to the Precinct with a public road Extension of Laurel Street, Renton Road, or Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A30):~~

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- (a) Traffic:
- (i) the extent to which traffic management measures on roads which connect to the south of the Precinct are designed to avoid the southern connection becoming the primary entrance for tertiary education uses or becoming an faster alternative to Carrington Road for non-local traffic;
- (b) Amenity and safety:
- (i) whether the design of the road and associated landscaping inge creates:
- access consistent with the local road function;
 - street trees, planting and other landscaping inge features that ensure a good standard of amenity; and
- (ii) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and manages speed. Methods could include, but are not limited to, one lane sections, narrow carriageways, intersections designed to slow traffic and interrupt flow, avoidance of roundabouts which facilitate speedy movement through the precinct, and designing the carriageway as shared space with a meandering route.
- (c) benefits of road connections (excluding benefits related to diversion of traffic from Carrington Road):
- (i) the extent of any positive benefits arising from the proposed connection (excluding benefits related to diversion of traffic from Carrington Road) and ensure the provision of walkway and cycleway access is not restricted.
- (d) provision of walkway and cycle access:
- (i) the extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways.
- (e) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone:
- (i) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (4) Any development not otherwise listed in Tables I334.4.1, and I334.4.3, and I334.4.4 that is generally in accordance with ~~the~~ the Precinct plan 1 and Policy I334.3(15A):
- (a) The extent to which effects of the location and design of the access on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:

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- (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (b) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) the extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of and pedestrian and/or cycle connections:
- (i) ~~The~~ the extent to which the design demonstrates the staging of wider network improvements to public open space, including covered plaza, open spaces, pedestrian walkways and cycleway linkages including:
 - the layout and design of open space and connections with neighbouring streets and open spaces;
 - integration with cultural landmarks, scheduled buildings, ~~scheduled~~ identified trees and historic heritage in and adjacent to the precinct; and
 - ~~(ii)~~ (ii) the extent to which the location, physical extent and design of open space meets the demand of future occupants of the site and is of a high quality, providing for public use and accessibility, views, sunlight access and wind protection within the application area.
- ~~(d)~~ (d) The location of land use activities within the development:
- (i) the extent to which the location and staging of anticipated activity types and/or the location, orientation or layout of buildings avoids or mitigates potential conflicts between activities within the subject land area; and

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- (ii) opportunities to establish community facilities for future occupants of the site and for the wider community are encouraged within the development.

~~(f)~~(e) The location and physical extent of parking areas and vehicle access:

- (i) ~~The~~ extent to which parking, loading and servicing areas are integrated within the application area taking account of location and staging of anticipated activity types.

~~(g)~~(f) The staging of development and the associated resource consent lapse period:

- (i) ~~Whether~~ the proposal adequately details the methods by which the demolition and development of the site will be staged and managed to compliment the proposed open space, road and lane network and to avoid, remedy or mitigate adverse effects associated with vacant disused areas of the site.

~~(h)~~(g) The location and form of building footprints and envelopes:

- (i) the assessment criteria of the zone standards for new buildings and/or alterations and additions to buildings apply; ~~and~~
- (ii) the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of ~~the p~~ Precinct plan 1 and Policy I334.3(15A), including the location of the transport network, open spaces and infrastructure; ~~and~~
- (iii) the extent to which buildings that do not comply with the bulk and location and amenity controls demonstrate that the ground floor of a building fronting a street or public open space provides interest for pedestrians and opportunities for passive surveillance of the public realm.
- (iv) Whether buildings activate the adjoining street or public open space by:
- being sufficiently close to the street boundary and of a frontage height that contributes to street definition, enclosure and pedestrian amenity;
 - having a pedestrian entrance visible from the street and located sufficiently close to reinforce pedestrian movement along the street;
 - providing a level of glazing that allows a reasonable degree of visibility between the street/public open space and building interior to contribute to pedestrian amenity and passive surveillance;
 - ~~avoiding~~minimising blank walls at ground level; and
 - providing convenient and direct entry between the street and the building for people of all ages and abilities.

- (v) Whether dwellings located on the ground floor of a building adjoining a street or public open space positively contribute to the public realm while achieving privacy and a good standard of amenity for occupiers of the dwelling, in particular by:
- providing balconies over-looking the street or public open space;
 - providing a planted and/or fenced setback to the street or public open space. Landscaping or fencing should be low enough to allow direct sightlines from a pedestrian in the street or public open space to the front of a balcony; and
 - raising the balcony and floor plate of the ground floor dwellings above the level of the adjoining street or public open space to a height sufficient to provide privacy for residents and enable them to overlook the street or public open space.
- (vi) The extent to which development that does not comply with the amenity controls demonstrates that:
- landscaping, including structural tree planting and shrubs, defines the street edge, delineates pedestrian routes and mitigates adverse visual and pedestrian amenity effects caused by access ways, parking and service areas. Whether landscaping is planted to ensure sight lines to or from site entrances are not obscured; and
 - where the side or rear yard controls are infringed, any adverse visual amenity and nuisance effects on neighbouring sites are mitigated with screening and landscaping.
- (i) Building scale and dominance (bulk and location):
- (i) the extent to which buildings that exceed the building height, ~~height in relation to boundary, and maximum building coverage~~ demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:
- streets and public open spaces;
 - adjoining sites, particularly those with residential uses; and
 - the proposed building;
- (ii) the extent to which such buildings meet policies in the Special Purpose - Tertiary Education Zone and ~~Wairaka~~Te Auaunga Precinct;
- (iii) the extent to which the building is not visually dominating when viewed from the street, neighbouring sites, public open spaces and from distant locations;
- (iv) ~~T~~the extent to which buildings on corner sites demonstrate that additional building mass and height is appropriate in that location and makes a positive contribution to the streetscape;

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- (v) whether activities and buildings that do not comply with the outlook control demonstrate that:
- ~~(vi)~~ occupants are provided with a good standard of outlook and privacy between useable/occupied spaces on the same and adjacent sites;
 - ~~(vii)~~ the building positively contributes to passive surveillance of the street, rear/sides of site and streetscape amenity; and
 - ~~(viii)~~(vi) where the requirements of the outlook control are met, whether such buildings adversely affect the amenity of any complying new/ existing development on an adjoining site.

(5) For development that does not comply with Standard I334.6.14 (3): Boundary setback in respect of buildings within Sub-precinct A or Standard I334.6.10: Height in relation to boundary.

For buildings which infringe Standard I334.6.14(3) Boundary Setback

(a) the extent to which a landscaped buffer between buildings and activities and adjoining land is maintained to mitigate adverse visual effects;

(b) landscaping that is maintained is of sufficient quality as to make a positive contribution to the amenity of the outlook to the site from neighbouring land;

(c) whether the design recognises the functional and operational requirements of the intended use of the building, including providing for security.

For buildings which infringe Standard I334.6.10 Height in relation to boundary

(d) the extent to which buildings that exceed the height in relation to boundary standard demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to adjoining sites, particularly those with residential uses;

(e) the extent to which such buildings are consistent with the policies in the Special Purpose – Healthcare Facility and Hospital Zone, the Wairaka Precinct – General, and the Wairaka Precinct – Sub-precinct A; and

(f) the extent to which buildings as viewed from adjoining sites are designed to reduce visual dominance effects, overlooking and shadowing and to maintain privacy.

(6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary.

Where buildings do not abut the street frontage

(a) the extent to which the visual effects of the building are screened by landscaping, comprising the planting of a mixture of closely spaced trees, shrubbery and ground cover;

(b) the extent to which the design of the building and the design of the interface between the building and the adjacent street contributes to a high quality visual amenity (including safety) outcome when viewed from the street while meeting the

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operational and functional requirements (including security) of the use of the building.

Where buildings do abut the street

(c) the extent to which the visual effects of the building are screened by landscaping;

(d) the extent to which design features can be used to break up the bulk of the building by, for example varying building elevations, setting parts of the building back, and the use of architectural features to achieve a high quality outcome, without compromising the functional requirements of the use of the building;

(e) the extent to which the design of safety measures together with the design of the interface between the building and the adjacent street provide for sensitive design in a high quality urban environment, while meeting the security requirements for the Mason Clinic;

(f) the extent to which the ground floor of the building (where fronting a street) provides interest for pedestrians and opportunities for passive surveillance (including safety) of the public realm while ensuring the functional and operational requirements (including security) of the Mason Clinic;

(g) the extent to which buildings respond to the policies contained in the Special Purpose - Healthcare Facility and Hospital zone, policies the Wairaka Precinct-General, and the Wairaka Precinct – Sub-precinct A;

All buildings

(h) Those criteria contained in I33.7.2(3)(c) and (d).

(7) Subdivision of land for the purpose of construction and use of residential units:

(a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with Precinct plan 1 (or with any approved road network).

(b) The effect of the site design, size, shape, contour, and location, including existing buildings, manoeuvring areas and outdoor living space.

(c) The effect of the layout, design and pattern of blocks and roads in so far as they contribute to enabling a liveable, walkable and connected neighbourhood;

(d) The adequate provision and capacity of infrastructure is provided prior to occupation of the buildings.

(e) The layout of sites provides safe, legible and convenient access to a legal road.

(8) Four or more dwellings within Sub-Precinct C

(a) Assessment criteria H5.8.2(2) and H6.8.2(2) apply

(b) The extent to which the development achieves the purpose of the Residential Density Standard I334.6.21.

Commented [IS49]: Consequential on inclusion of new subdivision rules A34A and A34B

Commented [IS50]: MDRS incorporation, Auckland Council 68.1

I334.9. Special information requirements

An application for any subdivision or development must be accompanied by:

Integrated Transport Assessment

- (1) ~~Prior to any proposed developments which would result in more that will increase the total number of dwellings within the precinct to greater than 3,000 dwellings within the precinct, an assessment of the then actual transport characteristics compared to the ITA assumptions shall be provided. If the transport network and generation is not consistent with the assumptions within the precinct ITA, then an updated ITA is required prior to residential development in excess of 3,000 dwellings.~~
- (2) ~~As part of any southern road connection (public or private), the first subdivision resource consent application in the Business—Mixed Use or residential zones (other than for controlled activities) or land use resource consent application for any development greater than 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² in the residential zones, proposed development that will increase the total number of dwellings within the precinct to greater than result in the precinct exceeding 4,000 dwellings, the applicant is required to produce a new integrated transport assessment for the precinct. An updated integrated transport assessment for the precinct will be required for all further development in excess of 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an Integrated Transport Assessment that is not more than two years old.~~

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Commented [IS52]: Open Space For Future Aucklanders - 25.50

Water supply and wastewater Infrastructure Capacity Assessment

Commented [IS53]: Watercare - 45.3

- (3) As part of any proposed development that will increase the total number of dwellings within the precinct to greater than 4,000 dwellings, the applicant is required to produce a bulk water supply and wastewater Infrastructure Capacity Assessment for the precinct to demonstrate there is sufficient capacity in the wider water and wastewater reticulated network.
- (4) As part of any proposed development, a schedule must be provided which confirms the total dwelling numbers approved for resource consent within the precinct at the time the application is made. The purpose of this is to keep a current record of the number of dwellings within the precinct.

Stormwater Management Plan

Commented [IS54]: Ngā Ringa o Te Auaunga - Friends of Oakley Creek - 94.15

- (5) As part of land use applications for development within the precinct, information must be provided to demonstrate how stormwater will be managed in accordance with the stormwater management plan for the precinct.

~~(1) The following applies to land use consent applications for the land in the precinct:~~

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- ~~(a) as part of the first land use consent application (excluding developments of less than 1,000m² gross floor area in the Special Purpose—Tertiary Education Zone; and developments less than 2,500m² in the Business—Mixed Use and Terrace Housing and Apartment Buildings zones), a comprehensive stormwater management plan which considers the appropriateness of any identified stormwater quality and quantity management devices to service the development must be prepared for all the land in the precinct.~~
- ~~(b) the comprehensive stormwater management plan must be prepared in accordance with the information requirements in Requirement I334.9(3) below.~~
- ~~(c) this standard does not apply where the land use application is in accordance with a subdivision consent previously approved on the basis of a previously approved comprehensive stormwater management plan~~

~~(2) A stormwater management plan that:~~

- ~~(a) demonstrates how stormwater management will be managed across the precinct or development to avoid, remedy or mitigate adverse effects;~~
- ~~(b) applies an integrated stormwater management approach, consistent with Policy E1.3.(10);~~
- ~~(c) identifies any areas of on-site stormwater management and provides for these in development and subdivision;~~
- ~~(d) identifies the location, extent and of any infrastructure, including communal stormwater management devices and any proposed new or upgrades to infrastructure;~~
- ~~(e) integrates/interfaces with the wider stormwater network, including that outside of the precinct; and~~
- ~~(f) demonstrates compliance with the Council's relevant codes of practise and infrastructure standards; OR~~

~~(3) Demonstrate how stormwater will be managed in accordance with the stormwater management plan prepared for the precinct.~~

An application for development ~~that is or is not generally in accordance with the precinct plan and Policy I334.3(15A).~~ must include the following:

(1) Plans showing:

- (a) the overall context of the subject land area relative to existing buildings, public open space and transport connections and any approved buildings and approved framework plans generally;

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- (b) where changes are intended, the relationship of site contours to existing and proposed streets, lanes, any public open space shown;
 - (c) building footprints, profiles and height relative to existing and proposed streets, lanes and any existing or proposed public open space;
 - (d) the location and layout of public open space areas (within the control of the landowner or leaseholder), including the general location of soft and hard landscaping areas, such as pocket parks, plazas, pedestrian linkages, walkways, covered plazas and linking spaces that complement the existing public open space network;
 - (e) the location and layout of vehicle access, entries, exits, parking areas, emergency access including number of spaces and loading and storage areas;
 - (f) the location and layout of services and infrastructure;
 - (g) the location and function of pedestrian, cycling and vehicle routes to and within the precinct, and their relationship to other areas. This must include representative street and lane cross sections showing the width of footpaths, cycle paths and traffic lanes;
 - (h) the general location and function of existing and proposed streets and lanes, including cross-sections where applicable; and
 - (i) indicative location and layout of proposed sites, including their site areas and buildings types.
- (2) Proposed building profile and height as viewed from all existing and proposed street frontages, existing and proposed public open spaces. For the purpose of this requirement, building profile means two--dimensional and three--dimensional building block elevations and building cross- sections showing:
- (a) overall building form and height (as opposed to detailed design);
 - (b) indicative proposed floor to ceiling heights of each building storey;
 - (c) areas at ground level adjoining public open space intended to be available for active uses; and
 - (d) areas of walls likely to contain windows for principal living areas of accommodation units to demonstrate how the outlook space development control will be met.
- (3) A landscape management plan for any landscaped areas to be covenanted, public open space landscaping, roads and streetscapes and walkways. The plan must provide details on:
- (a) range of appropriate plant species ~~schedules~~;
 - (b) ~~planting specifications including individual tree planting locations~~;

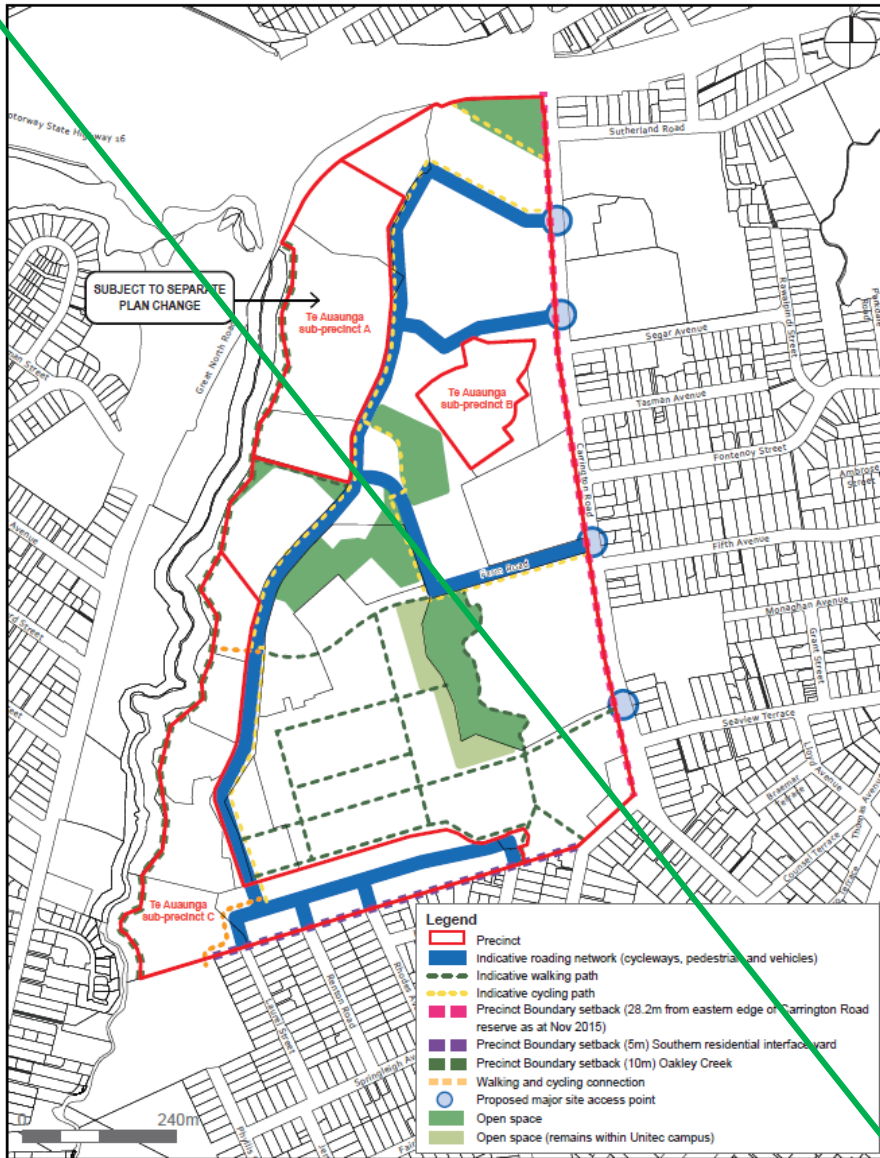
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- ~~(e)(b)~~ weed control and management;
 - ~~(d)(c)~~ implementation; and
 - ~~(e)(d)~~ the location and design of public seating, vehicle barriers, signage, pedestrian lighting, litter receptacles, and other amenity features in line with crime prevention through environmental design principles.
- ~~(4) An infrastructure and stormwater management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding infrastructure and servicing, including:~~
- ~~(a) location and extent of infrastructure, including areas of on-site stormwater management (if applicable) and integration/interface with the wider precinct;~~
 - ~~(b) any proposed new or upgrade to infrastructure;~~
 - ~~(c) staging of development; and~~
 - ~~(d) compliance with the Council's relevant codes of practise and infrastructure standards.~~
- ~~(5) A traffic management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding traffic generation and management, including:~~
- ~~(a) a traffic management assessment demonstrating how the precinct will manage traffic demand, alternate transport options, connections to public transport and key connections to and within the precinct; and~~
 - ~~(b) be prepared in accordance with current best practise guidelines adopted by Auckland Transport.~~
- ~~(6)(4)~~ The general location of activity types with potential to influence the staging and design of development across the subject land area including:
- (a) general proposed activity types at activity interfaces, including activity types to be established adjacent to existing lawful activities (including industrial activities); and
 - (b) proposed staging of demolition, earthworks and building development, and where information is available, the staging of public open space.

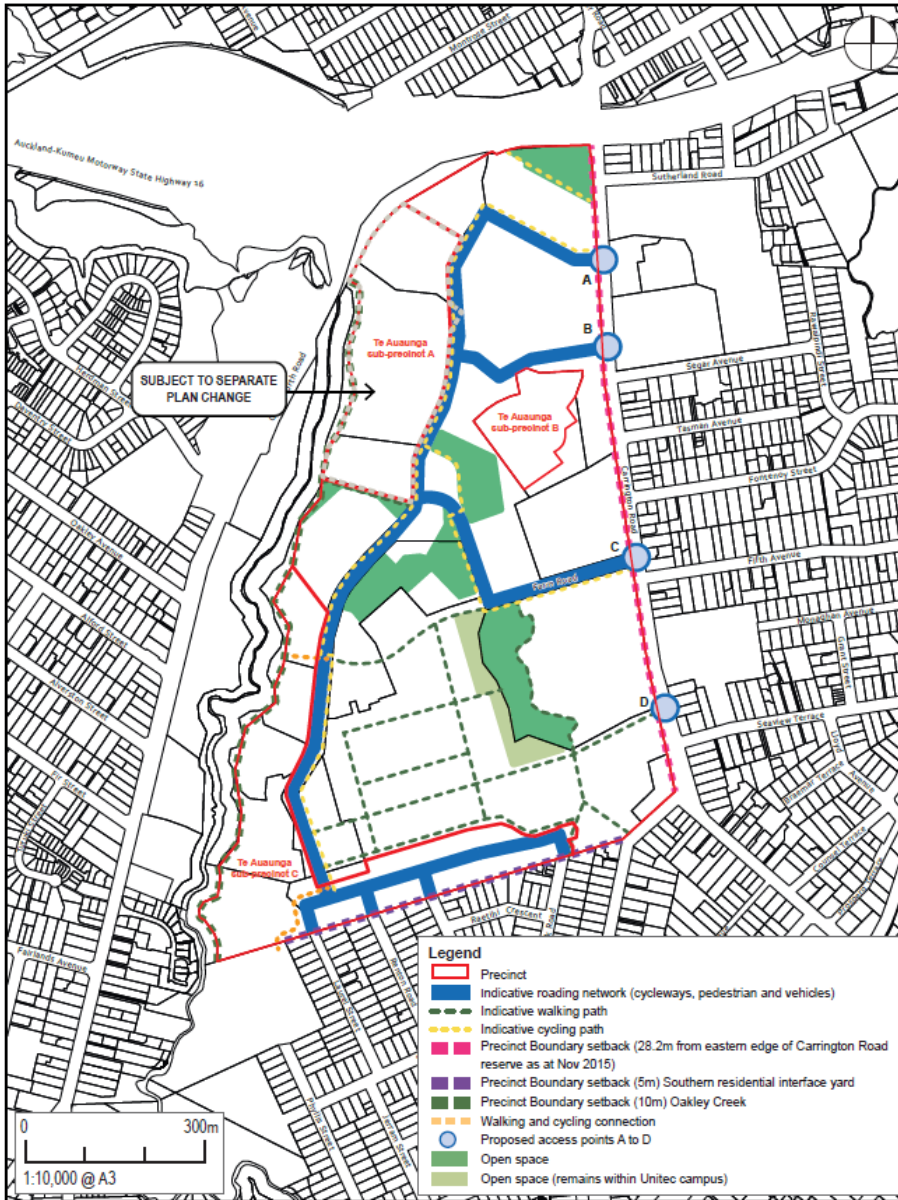
I334.10. Precinct plans

I334.10.1 Wairaka Te Auaunga: Precinct plan 1

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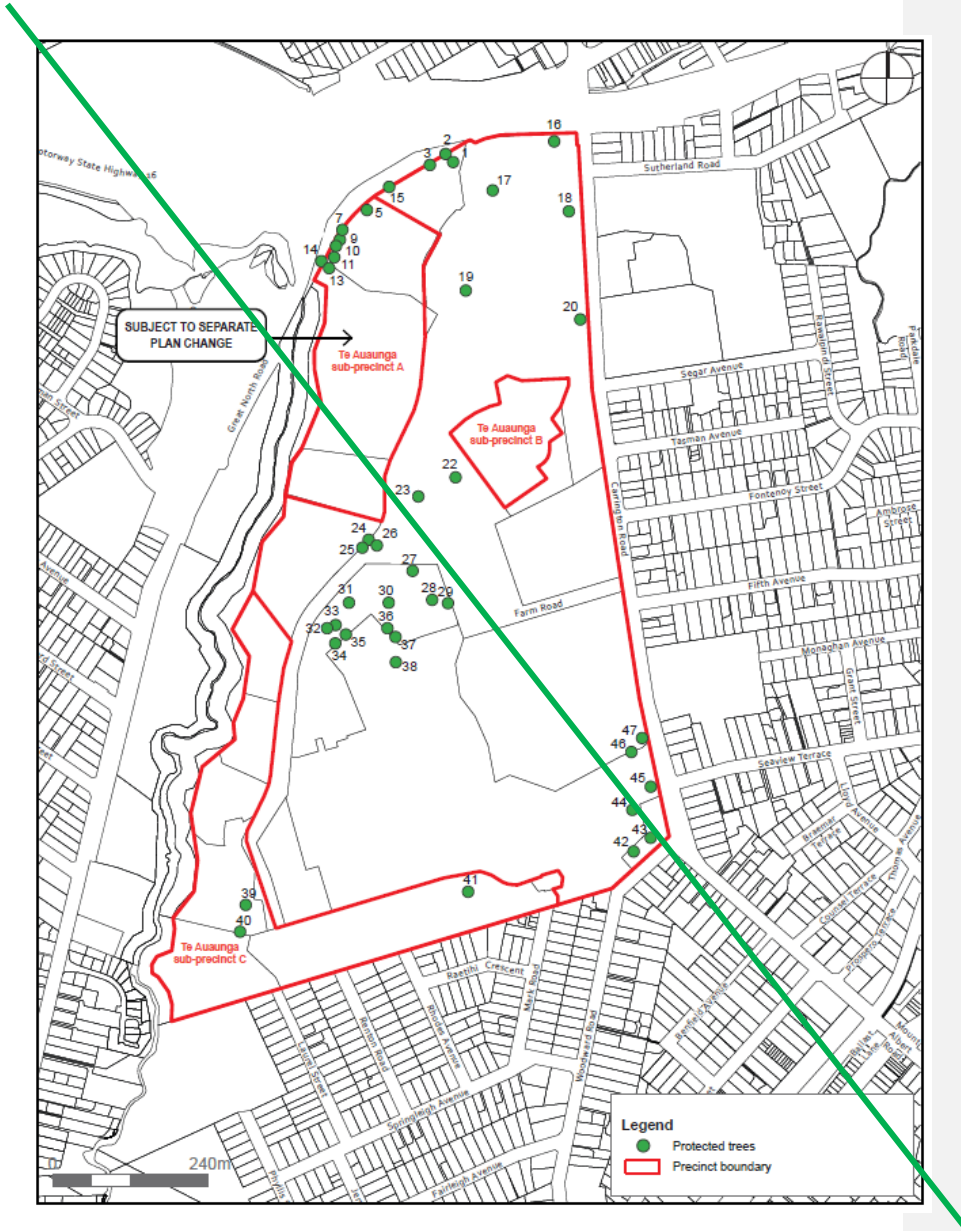


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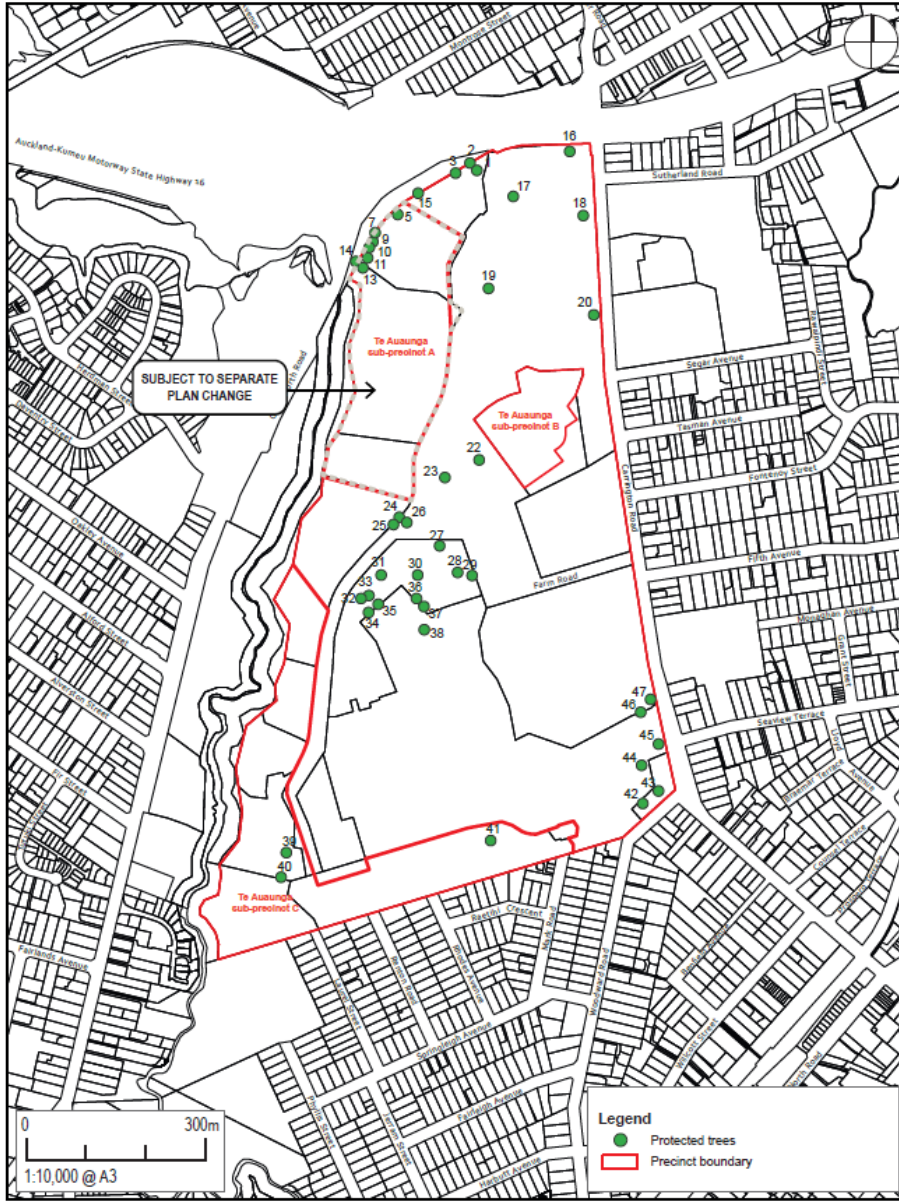


I334.10.2 Wairaka Te Auaunga: Precinct plan 2 – Protected Trees

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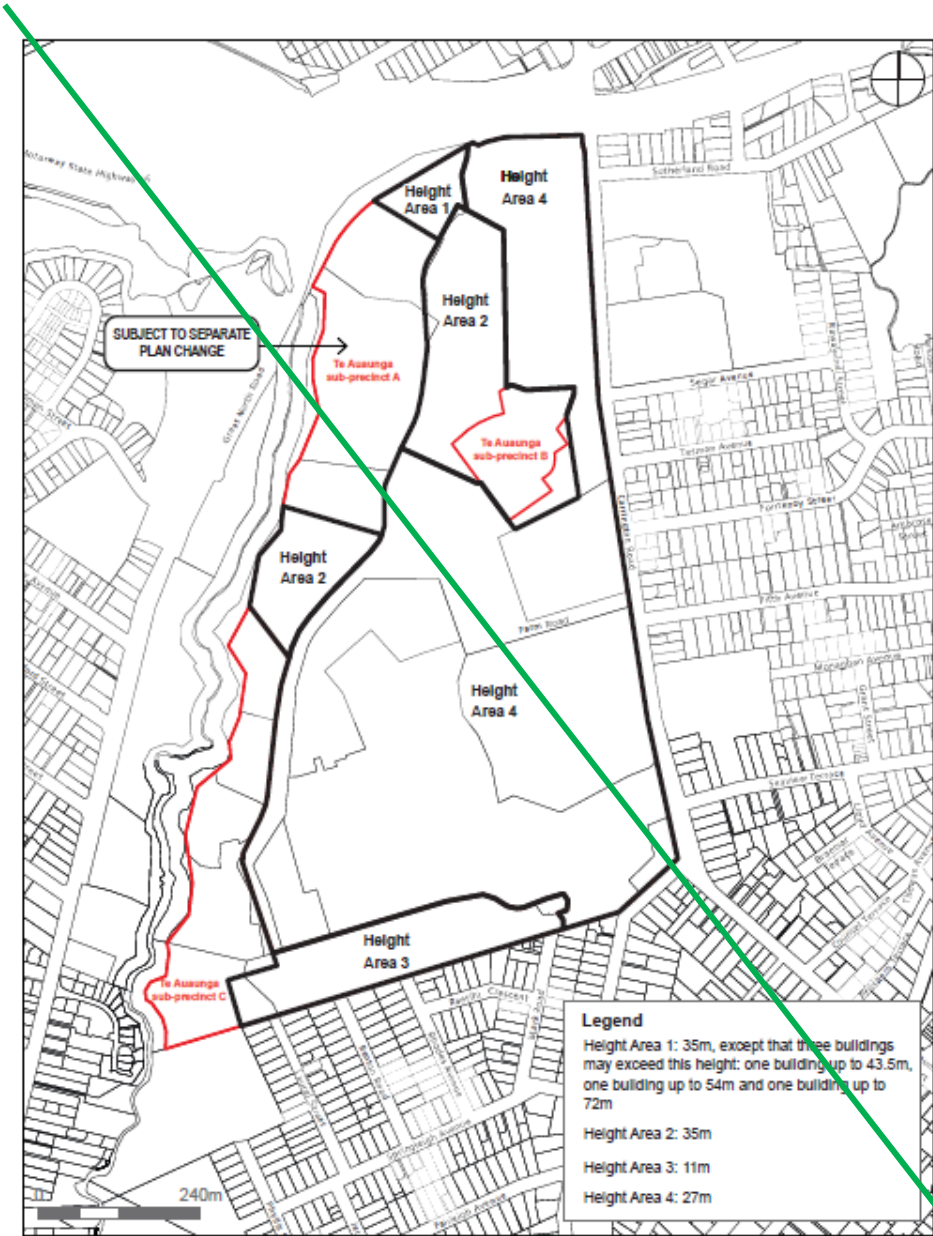


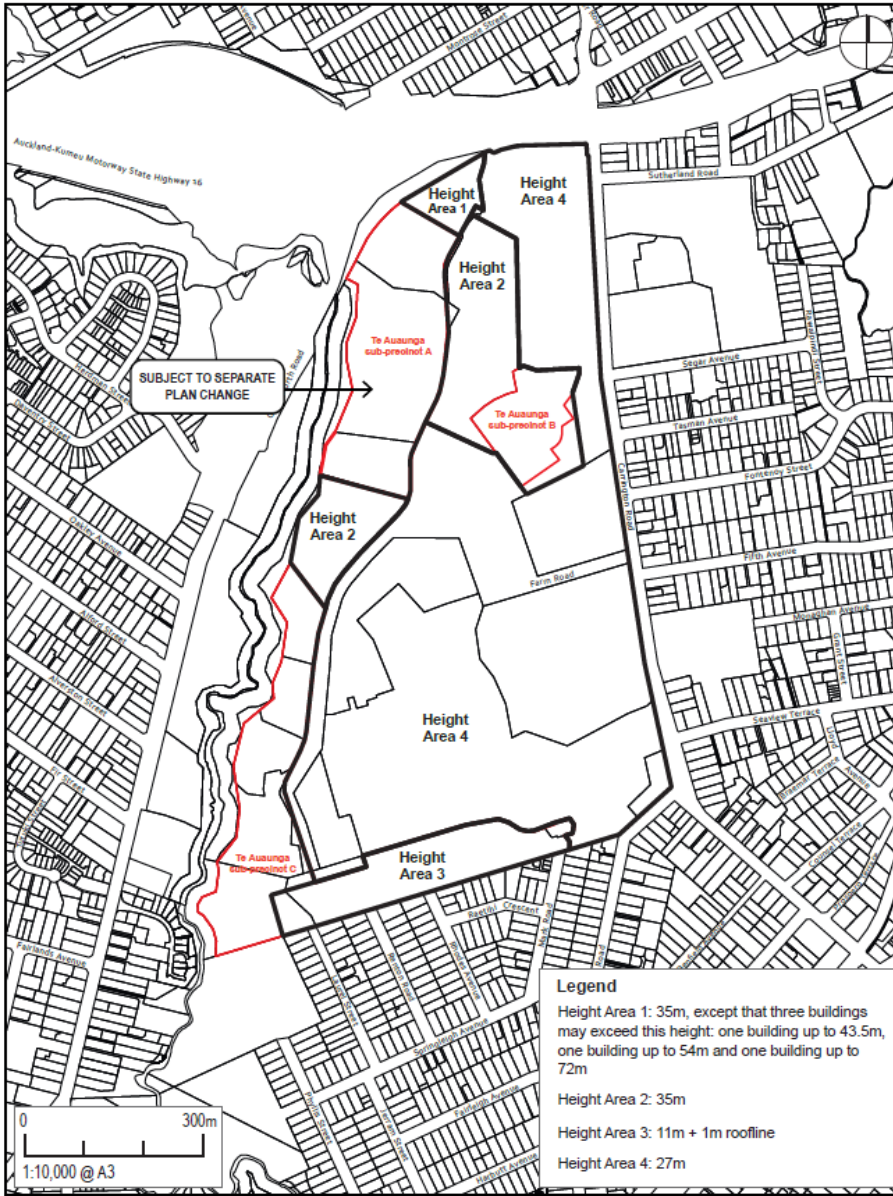
I334 Te Auaunga Precinct



I334.10.3 Te Auaunga: Precinct plan 3 – Te Auaunga Additional Height

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APPENDIX 8

S42a Draft recommended amendments to PC94

DRAFT RECOMMENDED PROVISIONS – s42A

4 October 2024

This version of the Wairaka Precinct provisions shows changes from the notified version. Additions are in underline and deletions in ~~strike through~~.

- The black underlined and deleted text is from PC75
- The green text are proposed amendments by the Applicant to the notified version of PC94 following Direction #2 from the Hearings Panel that are agreed in the s42A recommendations.
- The red text and red strike out are the draft recommended changes made in the s42A reporting.
- Comments boxes are included to cross-reference parts of the s42A report

I334 ~~Wairaka Te Auaunga~~ Precinct

PRIVATE PLAN CHANGE XX:

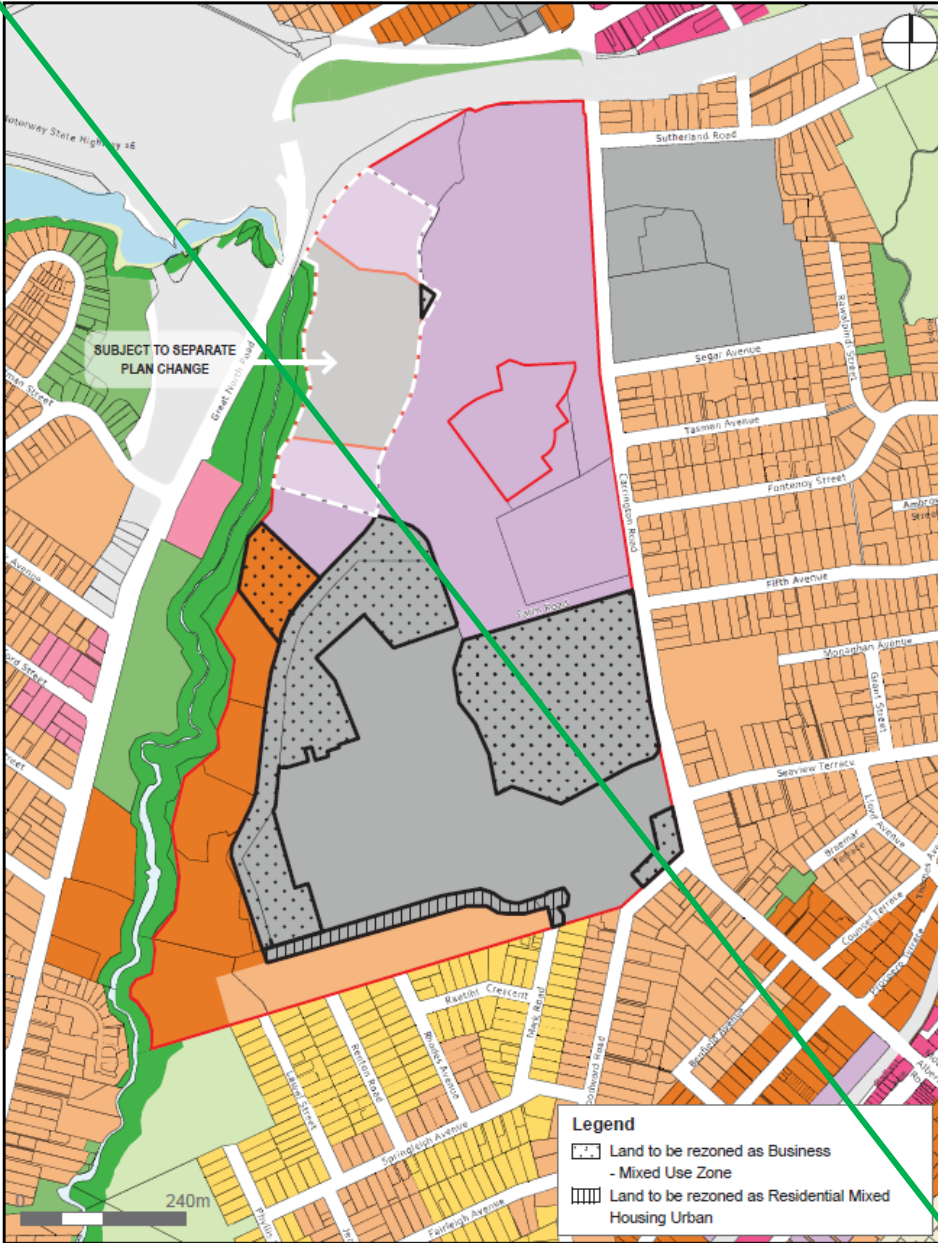
PART A AMENDMENT TO THE MAPS

ZONING

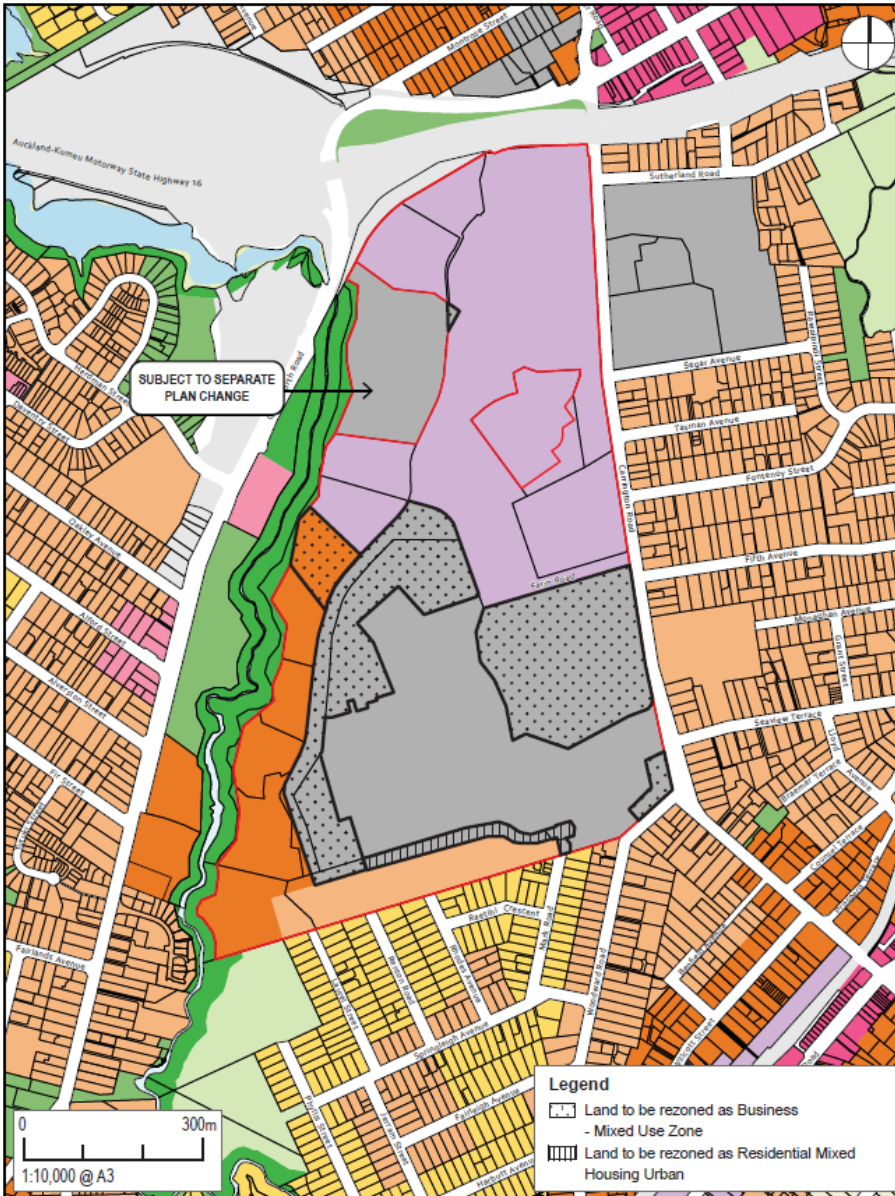
That the land currently zoned Special purpose - Tertiary Education and Special purpose – Healthcare Facility and Hospital be rezoned Business: Mixed Use and Residential: Mixed Housing Urban as shown on the following zoning plan.

Map 1 – Zoning

Commented [IS1]: Ngāti Whatua Orakei - 105.1



I334 Wairaka Te Auaunga Precinct



PART B AMENDMENT TO I334 TE AUAUNGA PRECINCT

Insert the following new precinct provisions:

I334. ~~Wairaka Te Auaunga~~ Precinct

I334.1. Precinct Description

The ~~Wairaka Te Auaunga~~ Precinct extends from the north western motorway at Point Chevalier in the north, through to Woodward Road in the south, and from ~~Oakley Creek Te Auaunga Waterway~~ in the west to Carrington Road in the east, where the Unitec Institute of Technology (Unitec), the Crown, Waitemata District Health Board, one private landowner, and Ngāāti Whāātua ŌŌraākei own contiguous blocks of land that make up the site.

The Precinct covers an area of land that once formed part of the Oakley Hospital, one of New Zealand's oldest purpose-built psychiatric hospitals. The complex was established on 200 acres of farmland, which developed to comprise a series of historic buildings that supported the hospital's functioning, growth, and evolution during the late nineteenth and early twentieth centuries. Chief among these is the Oakley Hospital Main Building, a scheduled historic heritage place of outstanding significance that has long stood as a distinctive and recognisable landmark in the local landscape.

The purpose of the ~~Wairaka Te Auaunga~~ Pprecinct is to provide for a diverse urban community, including the ongoing development and operation of the tertiary education facility, the development and operation of a range of community, recreation, and social activities, the development of a compact residential community, and commercial service activities, open space, and the development of a range of healthcare related and supporting activities to cater for the special and diverse requirements of the users, employees and visitors to the Mason Clinic. Business and Innovation activities are to be enabled, including activities which benefit from co-location with a major tertiary education instituteion. The Pprecinct enables new development to create an urban environment that caters for a diverse population, employees and visitors in the area and that integrates positively with the Point Chevalier, Mt Albert and Waterview communities.

~~The Wairaka Te Auaunga Pprecinct will provide for enables~~ a variety of housing typologies and a range of community, commercial and social services that help cater for Auckland's growth and the diverse community that will establish in this location. ~~It will also provide a heart to the community, focused around the campus but with a range of community, commercial and social services.~~ It will provide the opportunity for people to live, work, and learn within the Pprecinct, while enjoying the high amenity of the area Wairaka environment. The interfaces between different activities are a key part of providing this amenity, and will be managed by provisions including setbacks and landscaping.

A range of building heights are applied across the precinct that recognise the favourable size, location and topography of the land within the precinct. These heights recognise the relative sensitivities of adjoining and adjacent neighbouring properties, with greater height applied to areas where the potential adverse effects can be managed within the precinct and graduated heights along the frontage with Carrington Road. In the north-western corner of the site height is also proposed to act as a landmark for the development, supporting the urban legibility of the precinct.

The precinct incorporates the Medium Density Residential Standards (MDRS) set out in Schedule 3A of the Resource Management Act 1991 (RMA). The MDRS provide for the use or construction of up to 3 dwellings as a permitted activity, complying with

Commented [PR2]: See s42A Section 8.8. No firm recommendation is made on a change of name. The current (Wairaka) name is accordingly used throughout, pending a decision on this matter.

Commented [PR3]: s42A Section 8.5

Commented [PR4]: Changes to this paragraph recognise the significant change in emphasis that has occurred for the precinct (See s42A Section 8.1)

Commented [PR5]: Recognises proposed standard along Carrington Road s42A Section 8.2

~~identified Standards in the relevant residential zones. The outcomes anticipated in the precinct correspond to the Residential – Mixed Housing Urban Zone and Residential-Terrace Housing and Apartment Buildings Zone with MDRS incorporated. The precinct provisions apply except to the extent the MDRS are incorporated.~~

~~The ~~Wairaka Te Auaunga~~ Precinct ~~The precinct covers 64.5ha. It provides for an mixed use urban community including an ultimate residential population of 10,000 – 12,500 people supported by a range of retail and other support activities, including enabling schools and community services, within which there is a high quality tertiary education institution. The location and extent of It includes a major tertiary education institution (Unitec) at the Wairaka the Te Auaunga Precinct is significant to the region. The precinct is 64.5ha, and comprises twelve land titles and four owners, and currently held by a small number of landowners. Unitec owns 83 per cent of the total land. In addition, and a major medical facility (Mason Clinic), and Light industrial activities also occur on the site.~~~~

~~The Te Auaunga pPrecinct provides objectives for the restoration and enhancement of Māori capacity building and Māori cultural promotion and economic development within the precinct.~~

The ~~Wairaka Te Auaunga Pp~~precinct provides ~~overall~~ objectives for the whole area, and three sub-precincts:

- Sub-precinct A provides for healthcare/hospital related ~~purpose activities~~ and is intended to accommodate the intensification of the Mason Clinic.
- Sub-precinct B provides for light manufacturing and servicing associated with laundry services and is intended to accommodate the current range of light industrial activities, as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.
- Sub-precinct C ~~at~~ the south ~~and west~~ of the precinct provides for a broad range of residential activities, together with supporting uses, activities appropriately located to a major tertiary education institution.

The Mason Clinic contains a mix of activities including healthcare activity and hospital. It is a facility which provides for a range of care, and short and long term accommodation for people with disabilities (including mental health, addiction, illness or intellectual disabilities), together with provision for custodial, tribunal, and justice facilities ancillary to forensic psychiatric services, and a range of health related accessory activities. The activities the Mason Clinic accommodates requires buildings which have a range of particular functional and operational requirements, including the incorporation of publicly accessible and secure facilities and areas for staff, visitors and the people accommodated, and for these to be integrated across the Mason Clinic in a way which considers the safety, privacy and wellbeing of the users.

There are also particular attributes of the ~~Wairaka Te Auaunga Pp~~precinct, which contribute to the amenity of the precinct and the surrounding area and are to be retained and enhanced, and future areas introduced through the development of the precinct. These include the following:

- The significant ecological area of Oakley Creek Te Auaunga;
- An open space network linking areas within the ~~Wairaka Te Auaunga~~ Precinct and providing amenity to neighbouring housing and business areas;
- A network of pedestrian and cycleway linkages that integrate with the area network;

Commented [PR6]: Relocated and expanded reference to the MDRS

Commented [PR7]: Changes recognise the significant change in emphasis that has occurred for the precinct (See s42A Section 8.1)

I334 ~~Wairaka Te Auaunga~~ Precinct

- Retention of the open space storm-water management area which services ~~Wairaka Te Auaunga~~ and adjacent areas, and the amenity of the associated wetland;
- The Wairaka stream and the landscape amenity, ecological and cultural value this affords; and
- The ~~Historic Heritage overlay of the former~~ Oakley Hospital ~~mMain bBuilding and historic heritage overlay extent of place, identified historic buildings~~, trees on site.

The open space network for the precinct is provided for by way of a combination of identified areas, and indicative areas, including walking paths and shared paths (shown on Precinct plan 1) and future areas and walkways/shared paths which are to be identified and developed as a component of the future urban intensification envisaged.

The implementation of ~~the~~ Precinct plan 1 outcomes is dependent on ~~requires~~ a series of works. These works focus on the provision of open space and a roading network ~~giving~~ including access ~~from the east~~ to the important ~~Oakley Creek~~ Te Auaunga public open space, ~~and the walking and cycling connections linking east to west to Waterview and areas further west to Point Chevalier/Mount Albert, and north to south to Mount Albert and to Point Chevalier, and~~ ~~This precinct plan also provides key linkages on~~ to the western regional cycle network.

The precinct provides for stormwater treatment for all land within the precinct, prior to entering ~~Oakley Creek~~ Te Auaunga. Currently the precinct also receives stormwater from an adjacent catchment in the Mt Albert area and it is expected that this will continue following development of the precinct.

Transport is an essential component to the implementation and redevelopment of the precinct and will require a series of works to avoid, remedy or mitigate adverse transport effects. Some measures such as the indicative primary road network and walking and cycling connections area are identified in the precinct. Other measures to avoid, remedy and mitigate other transport effects will be identified through the preparation of an Integrated Transport Assessment at the time of the first resource consent to significantly develop the site.

These measures could include the following:

- Providing a connected road network through the site;
- Providing a connected pedestrian and cycling network into and through the site, in particular convenient east-west and north-south cycle connections from the ~~Oakley Creek~~ Te Auaunga over-bridge to the ~~proposed bus node~~ Carrington Road bus services, the adjacent Northwestern shared path and existing and proposed cycle networks beyond the site;
- Upgrading intersection access onto the site and avoiding, remedying and mitigating adverse effects on the surrounding transport network;
- Making provision for ~~a bus node and~~ road widening to support the public transport network, including walking and cycling connections to nearby public transport and expansion of the public transport network through the precinct;
- Managing vehicular movements through the connections to the south of the site;
- Managing parking to avoid, remedy, and mitigate ~~ing~~ adverse effects on the surrounding transport network; or
- Staging land use and development with any necessary infrastructure investment.

Commented [IS8]: Auckland Transport – 40.5

Commented [IS9]: Auckland Transport – 40.5

~~To reduce the potential of new development occurring in an uncoordinated manner, the precinct encourages the land owner/s to develop the land in accordance with the Precinct plans 1, 2 and 3 and relevant policies, rules and assessment criteria encourage land owners to develop the land in a coordinated manner.~~ ~~This~~ These methods provides for integrated development of the area and ensures high quality outcomes are achieved.

~~The precinct incorporates the Medium Density Residential Standards (MDRS) set out in Schedule 3A of the Resource Management Act 1991.~~

The zoning of land within the precinct varies. Refer to the planning maps for the location and the extent of the precinct.

Note – For the purpose of the following provisions, 'dwelling' means a residential dwelling that have an approved land-use consent or building consent:

- [I334.3 \(23\), \(23A\) and \(26B\)](#)
- [I334.8.1\(1A\)\(d\)\(iv\)](#)
- [I334.8.1\(1A\)\(f\)\(ii\) and \(iii\)](#)
- [I334.9\(1\) to \(4\)](#)

I334.2. Objectives

General – all of precinct

- (1) The provision for a high quality ~~of~~ tertiary education institution and accessory activities in the precinct is continued, while also providing for growth, change and diversification of activities.
- (2) Comprehensive planning and integrated development of all sites within the precinct is achieved.
- (3) A mix of residential, business, tertiary education, education facilities, social and community facilities, recreation and community activities is provided in locations that will serve local demands within the Wairaka Precinct, which maximises the efficient and effective use of land and provides for a variety of built form typologies.
- (4) The operation and intensification of the healthcare/hospital-facility activity, ~~accessory activities~~ and associated buildings, structures and infrastructure in Sub-precinct A (Mason Clinic) are provided for.
- (5) The commercial laundry service and accessory activities and associated buildings, structures and infrastructure in Sub-precinct B are provided for, as well as other activities or enabling works which do not compromise the laundry service while this facility is in operation.
- (6) Identified heritage values are retained through the scheduled buildings ensuring the retention and enabling the adaptation of the Oakley Hospital Main Building and identified historic buildings, retention of identified trees, together with the management of the historic heritage, and Māori sites of significance on Oakley Creek Te Auaunga land, and that the contribution they make to the precinct's

Commented [PR10]: Changes to focus on encouraging coordinated planning. s42A Section 8.1

Commented [IS11]: MDRS, requested by Auckland Council – 68.1

Commented [IS12]: Open Space For Aucklanders - 25.50 and Watercare - 45.3

Commented [PR13]: MDRS change

Commented [PR14]: Additional heading considered necessary

Commented [IS15]: Ministry of Education – 230.1

Commented [PR16]: Supports suggestion from AE Local Board. Second part of objective unnecessary - focus should be on the first part. See addition to 10(a)

Commented [PR17]: Similar "location" wording to Policy 11. s42A Section 8.1

Commented [PR18]: s42A Section 8.5

I334 ~~Wairaka Te Auaunga~~ Precinct

character and landscape, are recognised, protected and enhanced in the precinct.

- (7) Open spaces, cycling and pedestrian linkages from the ~~P~~precinct to the wider area and neighbouring suburbs, including linkages between activities and open spaces ~~nodes~~, are provided for and enhanced.
- (8) Development and/or subdivision within the precinct facilitates a transport network that:
 - (a) Integrates with, and avoids, remedies or mitigates adverse effects on the safety and efficiency of, the transport network within the precinct and the surrounding area, including providing any upgrades to the surrounding network; and
 - (b) Facilitates transport choices by providing for pedestrians, cyclists, public transport facilities, and vehicles.
- (9) Development of any roads connecting to the existing roading network to the south of the ~~P~~precinct must be subject to specific resource consent processes to ensure that any private or public road connections must:
 - (a) Avoid these southern connections becoming a direct vehicle entrance for the Special Purpose - Tertiary Education Zone; and
 - (b) Be designed to minimise the amenity effects on existing residents.

(9A) Occupation of development does not occur in advance of the availability of water supply and wastewater services for that development.

Commented [IS19]: Watercare - 45.3

- (10) An integrated urban environment is created, which:
 - (a) Incorporates high quality built form and ~~urban~~ design including a variety of high-quality, built form typologies;
 - (b) Recognises, protects and enhances the natural and physical environmental attributes of Wairaka the precinct in its planning and development ~~of the Precinct~~;
 - (ba) Ensures a range of high quality, well located and connected, and suitably sized, publicly accessible open spaces able to be developed for a range of passive and active recreational activities commensurate with the intensification and population enabled within the Precinct;
 - (c) Avoids, mitigates and remedies adverse effects on the environment and existing stormwater, water supply, wastewater and road/s infrastructure, recognising that the precinct stormwater system services areas beyond Wairaka the precinct boundary;

Commented [PR20]: s42A Section 8.2

Commented [IS21]: NZHPT - 162.2

Commented [PR22]: s42A Section 8.3

Commented [IS23]: Watercare - 45.3

I334 ~~WairakaTe Auaunga~~ Precinct

(d) Is developed in a comprehensive manner, which complements and fits within the landscape and character of the surrounding environment; ~~and~~

(e) Contributes positively to the Mt Albert, Waterview and Point Chevalier communities; ~~and~~

(f) Contributes to Māori cultural promotion and economic development.

(11) Provide for retail, food and beverage activities and commercial services in identified locations to serve local demands within the ~~WairakaTe Auaunga~~ Precinct and at a scale and configuration which does not adversely affect the role, function and amenity of the Point Chevalier and Mt Albert town centres.

(12) The restoration and enhancement of Māori capacity building and Māori cultural and economic development within the precinct is provided for, promoted and achieved.

(13) Provide for ~~increased varied~~ heights in appropriate parts of the precinct and along Carrington Road so as to provide greater housing choice, increase promote land efficiency, and benefit from the outlook from the precinct, ~~and create 'landmark' buildings in the north western part of the precinct.~~

~~The zone, Auckland-wide and overlay objectives apply in this precinct in addition to those specified above.~~

Sub-Precinct C

~~(A1)~~ (14) A well-functioning urban environment that enables all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.

~~(B1)~~ (15) A relevant residential zone provides for a variety of housing types and sizes that respond to –

(a) housing needs and demand; and

(b) the neighbourhood's planned urban built character, including ~~3~~ three-storey buildings.

~~In addition to the objectives specified above all relevant overlay, Auckland-wide and zone objectives apply in this precinct with the exception of the following:~~

- ~~H5.2(2) Objectives~~
- ~~H6.2(2) Objectives~~

I334.3. Policies

~~WairakaTe Auaunga Precinct General – all of precinct~~

Commented [PR24]: Suggestion from AE Local Board supported

Commented [PR25]: Wording changes are considered to be better terminology, towers not recommended, recognise building height setback Carrington Road - s42A Section 8.2

Commented [PR26]: Separates out sub-precinct C for the purposes of adding MDRS objectives

Commented [PR27]: Sub-Precinct minor numbering and MDRS changes

Commented [IS28]: MDRS incorporation, Auckland Council - 68.1

Commented [PR29]: MDRS change - Sch 3A cls6(1)

Commented [PR30]: Heading change considered necessary

I334 ~~Wairaka Te Auaunga~~ Precinct

- (1) Enable and provide for a wide range of activities, including education, business, office, research, health care, recreation, residential accommodation, community facilities, open space and appropriate accessory activities.
- (2) Respond to future demand and changes in the manner of learning and the desire to integrate business and education within the Special Purpose - Tertiary Education Zone.
- (3) Recognise the benefits of allocating a high quality tertiary education institution within a diverse urban environment.
- (3A) Recognise the social and health related benefits that the Mason Clinic provides for.
- (4) Promote comprehensive planning by ~~enabling~~ ensuring integrated development in accordance with ~~the p~~ Precinct plans 1, 2 and 3 and Policy I334.3(15A) that provides for ~~any of~~ the following:
 - (a) Tertiary education and associated research, and community activities;
 - (b) Provision for the ongoing use, development, intensification and operation of the Mason Clinic;
 - (c) Provision for the operation of the commercial laundry service;
 - (d) Intensive Residential accommodation activities;
 - (e) Economic development and employment, including supporting Māori capacity building and Māori cultural promotion and economic development;
 - (f) Public infrastructure that is integrated with existing infrastructure, recognising that ~~the Wairaka the Te Auaunga Precinct~~ receives stormwater from an upstream sub-catchment;
 - (g) Integrated transport and land use planning through the development of the precinct;
 - (h) Traffic management, including provision of pedestrian and cycle facilities, integration with public transport, parking provision and management;
 - (i) Identification and protection of significant landscape features, the adaptation of the ~~scheduled historic buildings Oakley Hospital Main Building, identified historic buildings,~~ identified trees and provision of an integrated open space network;
 - (j) Public road and open space access to ~~the Oakley Creek reserve~~ Te Auaunga; ~~or and~~
 - (k) Pedestrian and cycle connections within the precinct and to Point Chevalier, Waterview and Mt Albert.

Commented [PR31]: Support requested addition in Submission 25

Commented [PR32]: See s42A Section 8.1 and additional RDA criteria

Commented [PR33]: Support AE Local Board suggestion - all precinct plans should be referenced

Commented [PR34]: "any" is not necessary or appropriate - all are provided for (also change at end of (j) below)

Commented [PR35]: s42A Section 8.3

Commented [PR36]: AE Local Board feedback supported s42A Section 8.4

I334 ~~Wairaka Te Auaunga~~ Precinct

- (5) Promote economic activity and provide for employment growth that will create opportunities for students, graduates and residents of the precinct and Auckland, including Māori.
- (6) Encourage a mix of residential lifestyles and a variety of housing typologies to cater for a diverse ~~and high density~~ residential community at ~~Wairaka Te Auaunga~~.
- (7) Provide for a mix of residential and business activities which will enable development of a ~~an intensive residential core to~~ well-functioning urban environment in the ~~Wairaka Te Auaunga~~ Precinct.
- (8) Enable a broad range of educational, research, laboratory, office and business uses which meet the needs of, and respond to future changes in, teaching, learning, and research requirements for a modern campus environment.
- (9) Provide for a broad range of business, office, innovation and research activities which will encourage employment and economic development to locate in ~~Wairaka Te Auaunga~~, including those which benefit from the co-location with a tertiary education institution.
- (10) Enable subdivision and development that is compatible with and sensitive to the ecological qualities of ~~the Oakley Creek Te Auaunga~~ and the Motu Manawa Marine Reserve.

Commented [PR37]: s42A Section 8.2

Commented [PR38]: Support change suggested in Submission 25 s42A Section 8.1

Built Form and Character

- (11) Encourage the retention and ~~adaptation of the adaption~~ adaptive re-use (e.g., retail and other activities) of the heritage and character buildings Oakley Hospital Main Building, identified historic buildings and elements identified within the precinct.
- (12) Provide for the adaptation of the ~~scheduled part of the heritage building Oakley Hospital Main Building and identified historic buildings~~ for economically viable activities which ensure ongoing economic sustainability for this these buildings and ~~its~~ their integration into the ~~Wairaka Te Auaunga~~ Precinct.
- (13) Require new buildings to be designed in a manner that provides for a high standard of amenity, recognises landscape values and, where appropriate, enhances the streetscape and gateway locations of the precinct.
- (14) Require proposals for new buildings, structures and infrastructure or additions to existing buildings, structures and infrastructure adjoining or adjacent to Oakley Hospital Main Building and identified historic buildings ~~the scheduled historic heritage buildings, and/or the~~ significant ecological area of Oakley Creek Te Auaunga to provide appropriate native landscaping and to be sympathetic and provide contemporary and high-quality design, which enhances the precinct's built form, heritage values and natural landscape.

Commented [PR39]: s42A Section 8.5

Commented [PR40]: s42A Section 8.5

Commented [PR41]: s42A Section 8.5su

~~(14A) Provide for taller buildings in the north-western part of the precinct in this landmark location with enhanced outlook across the Waitomata Harbour and Waitakere Ranges, but in a location removed from residential neighbourhoods outside the precinct.~~

Commented [PR42]: Towers not recommended s42A Section 8.2

~~(14AA) Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide a sympathetic contemporary and high quality design which enhances the precinct's built form.~~

Commented [PR43]: Policy required even without provision for towers s42A Section 8.5

(14B) Provide for additional heights in the central and northern parts of the precinct that recognising the topographical and locational characteristics of this part of the precinct, and the ability to provide greater housing choice, increase land efficiency, benefit from the significant views and outlook from the precinct, and leverage the proximity and amenity of Te Auaunga.

Commented [PR44]: Changes are considered necessary (i.e. additional to what?)

Commented [PR45]: Unknown whether this relates to the towers, in which case word should be deleted as towers not recommended

Open Space

(15) ~~Provide for a range of public open space, including a neighbourhood park in the northern portion of the precinct~~

(15A) Ensure provision of publicly accessible areas of open space, including identified neighbourhood parks, other identified areas of open space and, where required to ensure that standard is met, approved additional areas of publicly accessible open space, that together provide a range of high quality, well located and connected, and suitably sized, open spaces able to be developed for a range of passive and active recreational activities commensurate with the intensification and population enabled within the Precinct.

~~(15A) Provide at least 7.1ha of key open space (private) within the precinct.~~

~~(15A) Provide key open space in accordance with Precinct Plan 1.~~

Commented [IS46]: Open Space for Future Aucklanders Incorporated - 25.1

(16) Provide public connections to ~~Oakley Creek~~ Te Auaunga from Carrington Road through public roads and open space, giving quality public access to this ecological area.

Pedestrian and cycle access, street quality and safety

(17) Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages, open space and plazas within the precinct.

(18) Require the key pedestrian and cycle linkages through the precinct to be direct and convenient, well designed, safe and improve connectivity for all users.

(19) Establish a network of roads which give public access through the precinct and ~~the~~ pedestrian and cycling connections to ~~the Oakley Creek~~ Te Auaunga, the adjacent Northwestern shared path and Waterview pedestrian/cycle bridge.

Commented [IS47]: Auckland Transport - 40.7

(19A) Ensure a safe and integrated network of public open spaces including through the establishment of park edge roads.

Commented [PR48]: s42A Section 8.3

Transport Planning

- (20) Require subdivision and development to be integrated with transport planning and infrastructure in a way that:
- (a) Avoids, remedies or mitigates the adverse effects of the development on the transport network;
 - (b) Integrates with rail, bus, pedestrian and cycle connections;
 - (c) Implements as a minimum the transport elements within ~~the~~ Precinct ~~Plan 1~~;
 - (d) Supports the provision of passenger transport services, linking to key public transport nodes such as the Mount Albert train station and Point Chevalier public transport services;
 - (e) Minimises traffic effects on pedestrian and residents' safety and amenity;
 - (f) Minimises overflow parking on roads occurring in the vicinity of the precinct; and
 - (g) Stages subdivision and development with necessary surrounding transport network infrastructure and upgrades where adverse effects on the transport network cannot be avoided, remedied and mitigated.
- (21) Enable parking areas to service the ~~scheduled heritage building~~ Oakley Hospital Main Building.
- (22) Manage the expected traffic generated by activities in the precinct to avoid, remedy and mitigate adverse effects on the safety and efficiency of the surrounding transport network, particularly at peak times. For the purpose of this precinct, the surrounding transport network comprises Carrington Road, the ~~P~~precinct's existing and proposed access points to Carrington Road, the Carrington Road/Woodward Road intersection, the Woodward Road/New North Road intersection, the Carrington Road/New North Road and Carrington Road/Great North Road intersections, Laurel Street, Renton Road, Rhodes Avenue, Mark Road and the other local roads bounded by Carrington Road, New North Road, and Oakley Creek~~Te Auaunga~~.
- (23) Require ~~a~~ new integrated transport assessment for the precinct ~~as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to for any new development~~ greater than 2,500m² gross floor area in the Business — Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, ~~unless that additional development was assessed as part of an earlier assessment of transportation effects that is no more than two years old~~ 4,000 dwellings in the precinct, and for any new development greater than 3,000 dwellings in the precinct, where the overall development within the precinct is not consistent with the previously modelled yield.

Commented [IS49]: Open Space for Aucklanders Incorporated - 25.50

(23A) Require an updated integrated transport assessment for the precinct as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to greater than 3,000 dwellings, where the transport characteristics of the precinct are not consistent with the approved integrated transport assessment.

Commented [IS50]: Open Space for Aucklanders Incorporated - 25.50

(24) Require an integrated transport assessment for the precinct as part of any southern road connection (public or private), the first subdivision in the Business—Mixed Use and residential zones (other than for controlled activities) or for any new development greater than 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones.

(25) Avoid parking buildings within the Special Purpose - Tertiary Education Zone having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads) or the western road shown on ~~the p~~ Precinct plan 1.

(26) Avoid direct vehicle access between the Special Purpose - Tertiary Education Zone and Laurel Street, Renton Road, Rhodes Avenue (or any extension of those roads).

Water Supply and Wastewater Infrastructure

Commented [IS51]: Watercare - 45.3

(26A) Require subdivision and development to provide water supply and wastewater infrastructure prior to the occupation of buildings.

(26B) Require an infrastructure capacity assessment for the precinct as part of a resource consent for any new development that will increase the total number of dwellings within the precinct to greater than 4,000 dwellings.

Integrated development

(27) Manage potential adverse amenity effects from buildings at the precinct boundary by:

- (a) Establishing a 5m yard and graduated building heights to the southern residential interface.
- (b) Establishing a 10m setback from the boundary of land that fronts ~~Oakley~~ Greek Te Auaunga.
- (c) Require graduated building heights and locate higher buildings away from the precinct boundaries ies that adjoin Mixed Housing Suburban residential areas to the south of the precinct.

(28) Encourage built form, activities, public open spaces and infrastructure to be planned and designed on a comprehensive land area basis, rather than on an individual site basis.

PC78 (see modifications)

I334 ~~Wairaka Te Auaunga~~ Precinct

- (29) Provide for the retail (including food and beverage) activities in identified locations of the precinct which:
- (a) meets the needs of the campus;
 - (b) serves local demand within the precinct; and
 - (c) creates the opportunity for retail (including food and beverage) activities in the Historic Heritage overlay.
- (30) Limit retail activities (including food and beverage) fronting or accessed directly from Carrington Road, restrict the number and size of supermarkets, preventing the concentration of retail activities at a single location, and placing caps on the size of retail tenancies and the overall gross floor area of retail in order to not adversely affect the role, function and amenity of the Point Chevalier and Mount Albert town centres.

~~(30A) Encourage the adaptive re-use of the existing buildings with historic value for retail and other activities.~~

Commented [PR52]: s42A Section 8.5 - see amendment to Policy 11 above

Subdivision

- (31) Apply the subdivision controls of the zoning to the subsequent subdivision of the precinct or sub-precinct, subject to that subdivision also meeting the requirements of ~~the p~~precinct plan 1 and Policy I334.3(15A).

Sub-precinct A

- (32) Provide for ~~the a~~ range of healthcare, hospital, community facilities, and related accessory activities ~~of~~ for the Mason Clinic.
- (33) Enable detailed site-specific planning for the design and development of the Mason Clinic to reflect how the ~~healthcare/hospital facility~~ sub-precinct will be used ~~and developed~~.
- (34) Limit the scale of accessory activities so they do not undermine the role of the precinct or result in adverse traffic effects, but still meet the requirements of those who work, live or use services and activities in this sub-precinct.
- (34A) Manage potential adverse effects from buildings at the sub precinct boundary by:
- (a) establishing a 5m landscaped yard to the north and south boundaries of the Sub-precinct;
 - (b) requiring new buildings and significant additions to buildings that adjoin the eastern boundary to be designed to contribute to the maintenance and enhancement of amenity values of the streetscape, while enabling the efficient use of the Sub-precinct for the Mason Clinic;
 - (c) Encouraging new buildings to be designed to provide a high standard of amenity and safety appropriate to an urban environment of the Precinct and be of a quality design that contributes to the planning outcomes of the Precinct.

(34B) Recognise the functional and operational (including security) requirements of activities and development.

Sub-precinct B

- (35) Provide for the range of light manufacturing and servicing activities associated with the commercial laundry service.
- (36) Enable detailed site-specific planning of the commercial laundry service to reflect how the facility will be used and developed.
- (37) ~~Limit the scale of accessory activities so they~~ Provide for other activities that do not undermine the role of the precinct, compromise the operation of the laundry service while this facility is in operation, or result in adverse traffic effects, but still meet the requirements of those who work or use services and activities in this sub-precinct.
- (38) ~~[Deleted] Recognise that should the commercial laundry service and associated activities on this sub-precinct relocate from Wairaka, then the activities and controls of the Wairaka Precinct would apply~~

Sub-precinct C

- (39) Provide a broad range of residential activities adjacent to ~~the Oakley Creek Te Auaunga~~ and residential neighbourhoods to the south of the precinct.
- (40) Provide quality dwellings which face west across ~~Oakley Creek Te Auaunga~~, providing passive surveillance of the public lands within ~~Oakley Creek Te Auaunga~~ Valley.
- (41) ~~Enable~~ a variety of housing typologies types with a mix of densities within the zone, including three-storey attached and detached dwellings, and low-rise apartments.
- (42) ~~Apply the MDRS across all relevant residential zones in the district plan except in circumstances where a qualifying matter is relevant (including matters of significance such as historic heritage and the relationship of Māori and their culture and traditions with their ancestral lands, water, sites, wahi tapu, and other taonga).~~
- (43)(42) ~~Encourage~~ development to achieve attractive and safe streets and public open spaces, including by providing for passive surveillance.
- (44)(43) ~~Enable~~ housing to be designed to meet the day-to-day needs of residents.
- (45)(44) ~~Provide~~ for developments not meeting permitted activity status, while encouraging high-quality developments.

~~The zoning, Auckland-wide and overlay policies~~ In addition, to the policies specified above, all relevant overlay, Auckland-wide and zone policies apply in this precinct in addition to those specified above, with the exception of the following:

Commented [IS53]: MDRS incorporation, Auckland Council - 68.1

Commented [PR54]: MDRS (standard word used)

Commented [PR55]: MDRS Sch 3A cls 6(1)

Commented [IS56]: MDRS incorporation, Auckland Council - 68.1

Commented [IS57]: MDRS incorporation, Auckland Council - 68.1

Commented [IS58]: MDRS incorporation, Auckland Council - 68.1

I334 ~~Wairaka Te Auaunga~~ Precinct

- [Policies H5.3\(1\) – \(5\)](#)
- [Policies H6.\(3\), \(5\) and \(6\)](#)

I334.4. Activity tables

~~The provisions in the zoning, Auckland-wide provisions and any relevant overlays. All relevant overlay, Auckland-wide and zone activity tables~~ apply in this precinct unless otherwise specified below:

- The activities listed in Table H13.4.1 Activity table for H13 Business – Mixed Use Zone at line items: (A20), (A21), (A23), (A24), ~~and (A25) and (A45)~~
- The activities listed in Table H30.4.1 Activity table for Special Purpose – Tertiary Education Zone at line items (A3), (A4) and (A5)
- The activities listing in Table H25.4.1 Activity table for the Special Purpose – Healthcare Facility and Hospital Zone at line items (A18), (A20), and (A21).

Tables I334.4.1, I334.4.2, ~~and I334.4.3 and I334.4.4 Activity table~~ specify the activity status of ~~land use, development and subdivision~~ activities in the ~~Wairaka Te Auaunga~~ Precinct pursuant to sections 9(3) and 11 of the Resource Management Act 1991. ~~or any combination of all these sections where relevant.~~

A blank table cell with no activity status specified means that the zone, Auckland-wide and overlay provisions apply.

Note:

All applications for subdivision consent are subject to section 106 of the RMA.

Table I334.4.1 ~~Wairaka Te Auaunga~~ Precinct (all of precinct except for sub-precinct ~~A, B and C~~)

Activity	Activity status
Use	
Accommodation	
(A1)	Dwellings in the Special Purpose – Tertiary Education Zone up to a maximum gross floor area of 7,500m²
(A2)	Student accommodation, boarding houses and visitor accommodation in the underlying Special Purpose – Tertiary Education Zone – accessory to tertiary education facilities.
Commerce	
(A3)	Food and beverage, offices, commercial services, conference facilities, visitor accommodation, residential, community facilities, recreation and leisure activities within the Historic Heritage Overlay

Commented [PR59]: Use standard precinct terminology

Commented [PR60]: A45 relates to new buildings - covered by proposed precinct category A21C

Commented [PR61]: Use standard precinct terminology

Commented [PR62]: Note: Amendments have been made throughout the activity tables (particularly, the sub-precinct C activity table) to align MDRS provisions so that these provisions are closer to the standard structure Council wishes to adopt in precinct provisions. s42A Section 9

Commented [PR63]: s42A Section 8.1 (deleted pending an explanation from the Applicant as to why these categories should be retained)

I334 Wairaka Te Auaunga Precinct

Activity	Activity status	
(A4)	Offices in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	P
(A5)	Retail (including food and beverage) up to 200m ² gross floor area per tenancy	P
(A6)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	RD
(A7)	Retail (including food and beverage) comprising up to one tenancy between 201m ² and 300m ² gross floor area adjacent to the Historic Heritage Overlay	RD
(A8)	Retail (including food and beverage but excluding one supermarket) up to 1,270m ² adjacent to <u>within 150m of</u> , and accessed from <u>via</u> , Farm Road	P
(A9)	One supermarket of up to 1500m ² <u>of retail floor space adjacent to</u> within 150m of , and accessed from <u>via</u> , Farm Road	P
(A10)	Commercial services within 100m of a supermarket	D
(A11)	Retail (including food and beverage) adjoining the southern Carrington Road bus node between Access Point A and D gate access 3 and 4 shown on the Precinct plan <u>1</u> , up to 500m ² gross floor area or 5 tenancies	P
(A12)	Retail (including food and beverage) within 100-metres of the Carrington Road frontage, not otherwise provided for	D
(A13)	Supermarkets not otherwise provided for	NC
(A14)	Retail (including food and beverage) not otherwise provided for	D
Community facilities		
(A15)	Informal recreation	P
(A16)	Organised sport and recreation	P
Industry		
(A17)	Light manufacturing and servicing <u>greater than 150m from Carrington Road</u>	D
(A17A)	<u>Light manufacturing and servicing within 150m of Carrington Road</u>	NC
(A18)	Repair and maintenance services <u>greater than 150m from Carrington Road</u>	D
(A18A)	<u>Repair and maintenance services within 150m of Carrington Road</u>	NC
(A19)	Warehousing and storage <u>greater than 150m from Carrington Road</u>	D
(A19A)	<u>Warehousing and storage within 150m of Carrington Road</u>	NC
(A20)	Waste management facilities in the underlying Special Purpose – Tertiary Education Zone accessory to tertiary education facilities	D
Mana Whenua		

Commented [IS64]: Consequential on proposed change to I334.6.2(3).

Commented [IS65]: Consequential on new Precinct Plan 1.

I334 ~~Wairaka Te Auaunga~~ Precinct

Activity		Activity status
(A21)	Marae	P
(A21A)	<u>Papakāinga</u>	<u>P</u>
(A21B)	<u>Whare Manaaki</u>	<u>P</u>
Development		
(A21C)	<u>New buildings</u>	<u>RD</u>
(A21D)	<u>Buildings within the Height Areas identified on Precinct plan 3 – Te AuaungaWairaka Additional Height that exceed the heights specified on Precinct plan 3 – Wairaka Te Auaunga Additional Height</u>	<u>RD</u>
(A21E)	<u>Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m</u>	<u>RD</u>
(A22)	Parking buildings	RD
(A23)	Non-security floodlighting, fittings and supports and towers	P
(A24)	Public amenities	P
(A25)	Sports and recreation structures	P
(A26)	Parking buildings associated with any Special Purpose – Tertiary Education Zone uses with direct vehicle connection to Western Road or to Laurel Street, Renton Road or Rhodes Avenue (or any extension of those roads)	NC
(A27)	Extension of Laurel Street, Renton Road, or Rhodes Avenue, <u>or Mark Road</u> into the P precinct provided that a cul de sac is maintained	P
(A28)	Connection of any southern roads (or extensions to the southern roads that remain cul de sacs) to the P precinct with a private road (non-gated)	C
(A29)	<u>Connection of any roads to the Precinct with a public road – Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the western road within the precinct</u>	RD
(A30)	Direct vehicle connection between Laurel Street, Renton Road or Rhodes Avenue <u>or Mark Road</u> , and the Special Purpose – Tertiary Education Zone	NC
(A31)	Any development not otherwise listed in Table I334.4.1 that is generally in accordance with the <u>P</u> precinct plan 1 and <u>Policy I334.3(15A)</u>	RD
(A32)	Any development not otherwise listed in Table I334.4.1 that is not generally in accordance with the <u>P</u> precinct plan 1 and <u>Policy I334.3(15A)</u>	D
(A33)	<u>Buildings that exceed Standard I334.6.4 Height</u>	<u>D</u>
(A33A)	<u>New buildings or additions to buildings that do not comply with standard I334.6.13</u>	<u>NC</u>

Commented [PR66]: Towers not recommended s42A Section 8.2

Commented [PR67]: Existing activity category recommended to be retained s42A Section 8.2

Commented [IS68]: Te Whatu Ora - 65.1

I334 WairakaTe Auaunga Precinct

Activity		Activity status
(A33B)	Demolition or destruction of 70% or more by volume or footprint (whichever is the greater) of an Identified Historic Building	NC
(A33C)	Open space provision at a ratio of less than 20m ² for every dwelling in the precinct	D
Subdivision		
(A34)	Any vacant lot subdivision proceeding in accordance with the p Precinct plan 1 and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A34A)	Subdivision of land for the purpose of construction and use of residential units dwellings	RD
(A34B)	Subdivision of land for the purpose of construction and for uses other than residential units dwellings	RD
(A35)	Any vacant lot subdivision that is not generally in accordance with the p Precinct plan 1 and Policy I334.3(15A)	D

Commented [PR69]: s42A Section 8.5

Commented [PR70]: s42A Section 8.3

Table I334.4.2 WairakaTe Auaunga Precinct sub-precinct B

Activity		Activity status
(A36)	Light manufacturing and servicing associated with the commercial laundry services	P
(A37)	Buildings that exceed the Standard I334.6.4 Height	D

Commented [PR71]: Existing activity category recommended to be retained s42A Section 8.2

Table I334.4.3 WairakaTe Auaunga Precinct sub-precinct C

Activity		Activity status
(A37A)	Up to three dwellings per site each of in a residential zone which complies with Standards I334.6.19.1 to I334.6.19.9 inclusive the I334.6.21 Residential Development Standards.	P
(A37B)	The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of three dwellings each of which complies Standards I334.6.19.1 to I334.6.19.9 inclusive with the I334.6.21 Residential Development Standards.	P
(A37C)	Accessory buildings associated with a development of dwellings each of which complies with Standards I334.6.19.1 to I334.6.19.9 inclusive	P
(A37D)	Internal and external alterations to buildings for a development of dwellings and additions to an existing dwelling all which complies with Standards I334.6.19.1 to I334.6.19.9 inclusive with the I334.6.21 Residential Development Standards.	P
(A37E)	Additions to an existing dwelling which complies with Standards I334.6.19.1 to I334.6.219.9 inclusive	P

Commented [IS72]: MDRS incorporation, Auckland Council - 68.1

Commented [IS73]: MDRS incorporation, Auckland Council - 68.1

Commented [IS74]: MDRS incorporation, Auckland Council - 68.1

I334 Wairaka Te Auaunga Precinct

(A37F)	Buildings for one or more dwellings which do not comply with any of the Standards I334.6.19.1 to I334.6.19.9 inclusive	P
(A37G)	Four or more dwellings per site.	RD
(A38)	Informal recreation	P
(A39)	Public amenity structures	P
(A40)	Student accommodation, boarding houses and visitor accommodation accessory to tertiary education facilities	P
(A41)	Tertiary education and ancillary activities existing in the Residential - Mixed Housing Urban and Residential - Terrace Housing and Apartment Buildings zones at 1 November 2015	P
(A42)	Any development not otherwise listed in Table I334.4.3 that is generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	RD
(A43)	Any development not otherwise listed in Table I334.4.3 that is not generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	D
(A44)	Any vacant lot subdivision proceeding in accordance with the p precinct plan 1 and Policy I334.3(15A) and which creates lots consistent with the zone boundaries	C
(A44A)	Excluding subdivision in accordance with (A49A44) and (A5044), subdivision of land for the purpose of construction and use of residential units	RD
(A44B)	Subdivision of land for the purpose of construction and for uses other than residential units dwellings	RD
(A45)	Any vacant lot subdivision that is not generally in accordance with the p precinct plan 1 and Policy I334.3(15A)	D
(A46)	Parking buildings within the Residential - Mixed Housing Urban Zone	NC
(A47)	Parking buildings within the Residential - Terrace Housing and Apartment Buildings Zone for any uses other than serving the residents of that zone	NC
(A48)	Buildings that exceed the Standard I334.6.4 Height	D
(A49)	Subdivision in accordance with an approved land use resource consent complying with Standard I334.6.22	C
(A50)	Subdivision around existing buildings and development complying with Standard I334.6.22.	C
Subdivision for the purpose of the construction or use of dwellings		
(A48)	Subdivision of land in accordance with an approved land use consent for the purpose of the construction, or use of dwellings as permitted or restricted discretionary activities in the precinct and meeting Standard I334.6.26 Standards for controlled subdivision activities	C
(A49)	Subdivision of land for up to three sites accompanied by:	C

Commented [IS75]: MDRS incorporation, Auckland Council - 68.1

Commented [IS76]: Watercare - 45.3

Commented [IS77]: Consequential on MDRS incorporation: (A49) and (A50). Auckland Council - 68.1

Commented [IS78]: Watercare - 45.3

Commented [PR79]: Not necessary

Commented [IS80]: MDRS incorporation, Auckland Council - 68.1.

Commented [IS81]: MDRS incorporation, Auckland Council - 68.1.

I334 WairakaTe Auaunga Precinct

	<p>a) <u>A land use consent application for up to three dwellings one or more of which does not comply with any of Standards I334.6.21.1 to I334.6.21.9 inclusive but does comply with all applicable zonal, Auckland-wide and overlay standards; or</u></p> <p>(b) <u>A certificate of compliance for up to three dwellings each of which complies with Standards I334.6.21.1 to I334.6.21.9 inclusive and applicable zonal, Auckland-wide and overlay standards</u></p>	
(A50)	<u>Any subdivision listed above not meeting I334.6.22 Standards for controlled subdivision activities</u>	<u>D</u>
(A51)	<u>Any subdivision listed above not meeting Standards for subdivision in residential zones E38.8.1.1(1) and E38.8.1.2</u>	<u>D</u>
(A52)	<u>Any subdivision listed above not meeting General Standards E38.6.2 to E38.6.6 inclusive</u>	<u>D</u>

Table I334.4.4 WairakaTe Auaunga Precinct (sub-precinct A)

<u>Activity</u>	<u>Activity status</u>
<u>Development</u>	
(A49) <u>All new buildings, and additions to existing buildings unless otherwise specified below</u>	<u>C</u>
(A50) <u>Demolition</u>	<u>P</u>
(A51) <u>Internal alterations to buildings</u>	<u>P</u>
(A52) <u>Additions to buildings that are less than: (a) 25 per cent of the existing gross floor area of the building; or (b) 250m² GFA whichever is the lesser</u>	<u>P</u>
(A53) <u>New buildings or additions to existing buildings that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary</u>	<u>RD</u>
(A54) <u>New buildings or additions to buildings not complying with I334.6.14 (2)</u>	<u>NC</u>
(A55) <u>Any development not otherwise listed in Table I334.4.42 that is generally in accordance with the precinct plan and Policy I334.3(15A)</u>	<u>RD</u>
(A56) <u>Any development not otherwise listed in Table I334.4.42 that is not generally in accordance with the precinct plan and Policy I334.3(15A)</u>	<u>D</u>
(A57) <u>Justice Facilities</u>	<u>D</u>
(A58) <u>Justice Facilities ancillary to forensic psychiatric services provided at the Mason Clinic</u>	<u>P</u>

I334.5. Notification

- (1) An application for resource consent for a controlled activity listed in Tables I334.4.1, ~~and I334.4.3~~ and I334.4.4 Activity table above will be considered without

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public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

(1A) Any application for resource consent for new buildings or additions to existing buildings in Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser) that are located within 10m of the eastern boundary of the Sub-precinct will be considered without public or limited notification or the need to obtain the written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.

~~(1B) An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.~~

~~(2) Any other application for resource consent for an activity listed in Tables I334.4.1, I334.4.2, and I334.4.3, and I334.4.4 Activity table which is not listed in Standards I334.5(1) and I334.5(1A) above will be subject to the normal tests for notification under the relevant sections of the Resource Management Act 1991. [Deleted]~~

(2) (3) When deciding who is an affected person in relation to any activity for the purposes of section 95E of the Resource Management Act 1991 the Council will give specific consideration to those persons listed in Rule C1.13(4).

~~(4)(4) Unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991, public notification of an application for resource consent is precluded if the application is for the construction and use of one, two, or three dwellings that do not comply with Standards I334.6.17 to I334.6.25 inclusive the I334.6.21 Residential Development Standards below.~~

~~(5) Unless the Council decides that special circumstances exist under section 95A(9), public and limited notification of an application for resource consent is precluded if the application is for the construction and use of more than three dwellings that comply with Standards I334.6.17 to I334.6.25 inclusive the I334.6.21(2) standards below.~~

(65) Unless the Council decides that special circumstances exist under section 95A(9) of the Resource Management Act 1991, public and limited notification of an application for a controlled subdivision resource consent is precluded if the subdivision is associated with an application for the construction and use of:

(a) one, two or three dwellings that do not comply with one or more of the

Commented [PR82]: Normal notification provisions should apply s42A Section 9

Commented [PR83]: Not necessary - see (5)

Commented [PR84]: Specify the relevant MDRS standards (also in 6 below)

Commented [PR85]: Not an MDRS density standard. Underlying res zone already deals with 4 or more

I334 Wairaka Te Auaunga Precinct

~~Standards I334.6.17 to I334.6.25 listed in I334.6.21(2) Residential Development Standards; or~~

~~(b) four or more dwellings that comply with all the standards listed in Table Standards I334.6.17 to I334.6.25 inclusive I334.6.21(2) standards.~~

~~(76) Any application for a resource consent which is listed in I334.4.3(A1), I334.4.3(A2) or I334.4.3(A3) I334.5(1) to I334.5(4) above which also requires resource consent under other rules in the Plan will be subject to the normal tests for notification under the relevant sections of the RMA.~~

Commented [PR86]: This cross referencing should be to the preceding notification clauses, not the activity table clauses.

I334.6. Standards

~~The standards applicable to the overlays, zones and Auckland-wide provisions apply in this precinct.~~

~~All activities listed as permitted, controlled or restricted discretionary in Tables I334.4.1, I334.4.2, and I334.4.3 Activity tables must comply with the following standards.~~

~~Unless specified in Standard I334.6(2) below, all relevant overlay, Auckland-wide and zone standards apply to all activities listed in Activity Tables I334.4.1 to I334.4.34 above.~~

Commented [PR87]: Note: As there are significant additions to these introductory paragraphs it may be necessary to address numbering. This is a technical matter.

~~The following zone standards do not apply to the activities listed in activity tables Activity Tables I334.4.1 to I334.4.4 above:~~

- ~~H13 Business – Mixed Use zone:~~
 - ~~Standards H13.6.0 Activities within 30m of a Residential Zone (but only as it relates to sites fronting Carrington Road),~~
 - ~~H13.6.1 Building Height,~~
 - ~~H13.6.2 Height in Relation to Boundary,~~
 - ~~H13.6.3 Building setback at upper floors,~~
 - ~~H13.6.4 Maximum tower dimension and tower separation,~~
 - ~~H13.6.5 Yards,~~
 - ~~H13.6.6 Landscaping; and~~
 - ~~H13.6.8 Wind~~

~~The following Auckland-wide and zone standards do not apply to the activities (A37A) to (A37E) (A1), (A3), (A5) (AX6) and (AX7) listed in activity table I334.4.3 above:~~

- ~~Residential - Mixed Housing Urban Zone~~
 - ~~H5.6.3 The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings;~~
 - ~~H5.6.5 Height in relation to boundary;~~
 - ~~H5.6.6 Alternative height in relation to boundary;~~
 - ~~H5.6.7 Height in relation to boundary adjoining lower intensity zones;~~
 - ~~H5.6.8 Yards~~
 - ~~H5.6.10 Building coverage;~~

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- [H5.6.11 Landscaped area;](#)
- [H5.6.12 Outlook space; and](#)
- [H5.6.14 Outdoor living space;](#)
- [Residential-Terrace Housing and Apartment Buildings zone:](#)
 - [H.6.6.3 The conversion of a principal dwelling existing as at 30 September 2013 into a maximum of two dwellings;](#)
 - [H6.6.6 Height in relation to boundary](#)
 - [H6.6.7 Alternative Height in relation to boundary](#)
 - [H6.6.8 Height in relation to boundary adjoining lower intensity zone](#)
 - [H6.6.9 Yards](#)
 - [H6.6.11 Building coverage](#)
 - [H6.6.12 Landscaped area](#)
 - [H6.6.13 Outlook space](#)
 - [H6.6.15 Outlook living space](#)

[The activities listed as a permitted activity in Activity Tables I334.4.1, I334.4.2, I334.4.3 and I334.4.4 must comply with permitted activity standards I334.6.21.1 to I334.6.21.9 inclusive.](#)

[Restricted discretionary activity \(A2\) in Activity Table IX.4.1 must comply with permitted activity standards I334.6.21.1 to I334.6.21.9 inclusive.](#)

[The activities listed as a controlled activity in Activity Table I334.4.3 must comply with I443.6.2.26 Standards for controlled subdivision activities and the E38 subdivision standards listed in Activity Table I334.4.3.](#)

I334.6.1. Floodlights

- (1) Where floodlights are located adjacent to a residential zone, the hours of operation must not extend beyond:
 - (a) 10pm Monday to Saturday; and
 - (b) 7.30pm Sunday and Public Holidays.
- (2) Floodlights must comply with the lighting standards in E24.6 Auckland-wide Standards – Lighting.

I34.6.2 Retail thresholds

- (1) The following thresholds apply in this precinct:
 - (a) ~~The~~ the total gross floor area of retail (including food and beverage and supermarket) must not exceed ~~6,500m²~~ for the whole precinct;
 - (b) the total gross floor area of retail (including food and beverage) within the Business - Mixed Use Zone must not exceed ~~4500m²~~ 4,700m²; and

I334 ~~Wairaka Te Auaunga~~ Precinct

- (c) ~~The~~ total gross floor area of retail (including food and beverage) within the Special Purpose - Tertiary Education Zone must not exceed ~~3000m²~~ 1,800m².
- (2) The total gross floor area of retail (including food and beverage) in the ~~Historic Heritage Place Oakley Hospital Main Building~~ must not exceed 1,000m² subject to Standard I334.6.2(1)(a) above, provided that any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct.
- (3) All retail activities adjacent ~~to, or within, 100m of~~ the supermarket must not exceed ~~1200m²~~ 1,700m² gross floor area, provided that:
- (a) any unutilised gross floor area may be used elsewhere within the Business – Mixed Use Zone within the precinct; and
 - (b) the 1,700m² gross floor area may be increased by any transferred gross floor area under Standard I334.6.2(2).
- (4) Any supermarket within 150m of ~~adjacent to~~ and accessed ~~from~~ via, Farm Road, must not have vehicle access or parking directly off Carrington Road.

Commented [PR88]: Consistent terminology

I334.6.3 Stormwater

- (1) All subdivision and development of the land in the precinct must be consistent with ~~the~~ an approved stormwater management plan.

I334.6.4 Height

- (1) ~~Standards in the table below apply rather than underlying zone heights unless specified. Buildings must not exceed the heights set out below: [Deleted]~~
- (2) ~~The maximum permitted height standard of the underlying zone applies, unless otherwise specified in the 'Additional Height' control, including the Mixed Use zone and Areas 1–4, identified on Precinct plan 3: Te Auaunga Wairaka Height Plan.~~

Commented [PR89]: Clarifies that, by reference in this standard, the Height Plan applies as specified on that Plan.

Building location	Maximum height (m)
Less than 20m from a boundary with Carrington Road (as at 1 November 2015) or the Open Space: Conservation Zone (excluding the Residential – Mixed Housing Urban and Residential – Terrace Housing and Apartment Buildings zones)	18m
Greater than or equal to 20m from a boundary with Carrington Road (as at 1 November 2015) or Open Space: Conservation Zone (excluding the Residential – Mixed Housing Urban, Residential – Terrace Housing and Apartment Buildings and Special Purpose – Healthcare Facility and Hospital zones)	27m
Residential – Mixed Housing Urban, Residential – Terrace Housing and Apartment Buildings and Special Purpose – Healthcare Facility and Hospital zones	Specified zone height applies
Buildings within the Residential – Mixed Housing Urban Zone and within 10m of the southern precinct boundary	8m

PC78 (see modifications)

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(3) Any part of a building fronting Carrington Road that is within 6m of the set back required by I334.6.6 (3) must not exceed 21m in height.

(4) Buildings fronting Carrington Road must have a floor to floor building height at ground level of no less than 4m.

Commented [PR90]: Additional control on buildings fronting Carrington Road. s42A Section 8.2

I334.6.5-Landscaping (does not apply in Sub-precinct C)

- (1) At least 20 per cent of a site within the precinct must be landscaped, provided that the area of landscaping may be proportionately reduced by any required common areas of landscaping within the zone approved by the Council and protected by consent conditions-

Commented [PR91]: Deletion of this standard is not supported. s42A Section 9 - however does not apply in sub-precinct C as more onerous than MDRS

I334.6.6 Precinct boundary set back

- (1) Buildings on land within Sub-precinct C adjoining residential zoned land outside the precinct and to the south must be set back a minimum width of 5m from the external precinct boundary. Planting requirements of Standards H13.6.5 (Yards) and H13.6.6 (Landscaping) Business - Mixed Use Zone in Sub precinct C apply. (Note: this is a qualifying matter in sub-precinct C).
- (2) Buildings on land adjoining Open Space – Conservation zoned land outside the precinct must be set back a minimum width of 10m from the external precinct boundary. Planting requirements of Standards H13.6.5 (Yards) and H13.6.6 (Landscaping) Business - Mixed Use Zone apply. (Note: this is a qualifying matter in sub-precinct C).
- (3) Buildings on land fronting Carrington Road must be set back a minimum width of 28.2m when measured from the eastern edge of the Carrington Road road reserve as at 1 November 2015. This setback area may be used for walkways, cycleways, public transport facilities, site access, street furniture, outdoor dining and cafes. Other areas within the 28.2m not used for these activities must be landscaped. This setback does not apply once the road widening affecting the ~~Wairaka Te Auaunga~~ pPrecinct Carrington Road frontage has been vested in the Auckland Council.

PC78 (see modifications)

(4) Buildings on land adjoining the northern boundary of Sub-precinct A must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub- precinct and the adjoining land, to mitigate adverse visual and privacy effects.

Commented [PR92]: This standard has been relocated here so that it sits with other setback standards

This standard does not apply to:

- (a) retaining walls
- (b) underground car-parking buildings less than 1.5m in height above ground level.

I334.6.7 Tree protection

- (1) In addition to any notable tree, ~~S~~subject to Standard I334.6.7(2) below, the following trees identified in I334.11.2 Precinct plan 2 – ~~p~~Protected ~~T~~Trees and in Table I334.6.7.1 below must not be altered, removed or have works undertaken within the dripline except as set out in I334.6.7(2) below. Trees located within an existing or future road-widening area along Carrington Road frontage are not subject to this control.
- (2) Tree works to the trees identified below must be carried out in accordance with all of the provisions applying to Notable Trees in D13 Notable Tree Overlay, with the exception that up to 20 per cent of live growth may be removed in any one year.

Table I334.6.7.1 - Identified Trees

ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
1	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
2	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
3	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
5	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
7	Karaka	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
9	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
10	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
11	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
13	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
14	Oak	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
15	Pohutakawa	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 1 DP 211427 2.62ha
16	Swaine's Gold, Italian cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
17	Michelia	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
18	Sky Flower	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
19	New Zealand Ngaio	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
20	Mediterranean Cypress	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
22	Mediterranean Fan Palm	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
23	Mountain Coconut, Coco	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
24	Chinquapin	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
25	White Mulberry	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
26	Totara	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
27	Australian Frangipani	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
28	Kauri	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
29	Three Kings Climber	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
30	Norfolk Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
31	Pepper Tree, Peruvian	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 5 DP 314949
32	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
33	Jacaranda	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
34	Golden Ash	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
35	Variegated Five Finger	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
36	Maidenhair Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
37	Brazilian Coral Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
38	Dogwood	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
39	Houpara	Isthmus	4	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
40	Oleander	Isthmus	4	Carrington Road 1, Mount Albert (Unitec)	Lot 4 DP 314949
41	Taupata	Isthmus	4	Carrington Road 1, Mount Albert (Unitec)	Lot 2 DP 406935
42	Camphor Tree	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi
43	Plum Pine	Isthmus	1	Carrington Road 1, Mount Albert (Unitec)	Pt Allot 33 Parish of Titirangi

Commented [PR93]: Trees identified in strikethrough have a consent to be removed. Trees identified in red text (no underlining) to be assessed as to whether they are no longer present and require deleting from the table - s42A Section 8.7

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
44	Camellia	Isthmus	1	Carrington Road 1, Mount Albert (<u>Unitec</u>)	Pt Allot 33 Parish of Titirangi
45	Kohuhu	Isthmus	1	Carrington Road 1, Mount Albert (<u>Unitec</u>)	Pt Allot 33 Parish of Titirangi
46	Silver Poplar	Isthmus	1	Carrington Road 1, Mount Albert (<u>Unitec</u>)	Lot 2 DP 406935
47	Liquidambar	Isthmus	1	Carrington Road 1, Mount Albert (<u>Unitec</u>)	Lot 2 DP 406935
<u>48</u>	<u>Pōhutukawa</u>	<u>Isthmus</u>	<u>1</u>	<u>139 Carrington Road, Mt Albert</u>	<u>SECT 1 SO 573867</u>
<u>49</u>	<u>Bay laurel</u>	<u>Isthmus</u>	<u>1</u>	<u>131 Carrington Road, Mt Albert</u>	<u>SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867</u>
<u>50</u>	<u>English holly</u>	<u>Isthmus</u>	<u>1</u>	<u>131 Carrington Road, Mt Albert</u>	<u>SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867</u>
<u>51</u>	<u>Japanese Tanoak</u>	<u>Isthmus</u>	<u>1</u>	<u>139 Carrington Road, Mt Albert</u>	<u>SECT 1 SO 573867</u>
<u>52</u>	<u>Boxelder</u>	<u>Isthmus</u>	<u>1</u>	<u>131 Carrington Road, Mt Albert</u>	<u>SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867</u>
<u>53</u>	<u>Pōhutukawa</u>	<u>Isthmus</u>	<u>1</u>	<u>139 Carrington Road, Mt Albert</u>	<u>SECT 1 SO 573867</u>
<u>54</u>	<u>Camphor tree</u>	<u>Isthmus</u>	<u>1</u>	<u>139 Carrington Road, Mt Albert</u>	<u>SECT 1 SO 573867</u>
<u>55</u>	<u>Pōhutukawa</u>	<u>Isthmus</u>	<u>1</u>	<u>131 Carrington Road, Mt Albert</u>	<u>SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867</u>
<u>56</u>	<u>English oak</u>	<u>Isthmus</u>	<u>1</u>	<u>131 Carrington Road, Mt Albert</u>	<u>SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867</u>

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
57	English oak	Isthmus	1	123 Carrington Road, Mt Albert	Lot 2 DP 314949
58	Pūriri	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
59	Copper beech	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
60	European ash	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
61	London plane	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
62	Totara	Isthmus	1	131 Carrington Road, Mt Albert	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
63	Tītoki	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
64	Fern pine	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
65	Dragon tree	Isthmus	1	139 Carrington Road, Mt Albert	SECT 1 SO 573867
66	Liquidambar	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
67	London plane	Isthmus	1	81A Carrington Road, Mt Albert	Lot 2 DP 156226
68	Pōhutukawa	Isthmus	1	3 Carrington Road, Mt Albert	LOT 2 DP 531494
69	Liquidambar	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi

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ID	Common name	Auckland district	Numbers of trees	Location/ Street address	Legal description
70	Pūriri	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
71	Pūriri	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi
72	Pōhutukawa	Isthmus	1	1 Carrington Road, Mt Albert	Pt Allot 33 Parish of Titirangi

I334.6.7A Heritage Building protection

(1) Demolition or destruction of the identified historic buildings identified in I334.11.2 Precinct plan 1 and in Table I334.6.7A.1 must be limited to no more than 30 per cent by volume or footprint of the building (whichever is the greater).

Table I334.6.7.1 - Identified Historic Buildings

ID	Description	Location/ Street address	Legal description
HB1	No. 1 Auxiliary Building (Building 48)	139 Carrington Road MOUNT ALBERT 1025	SECT 1 SO 573867
HB2	Pumphouse (Building 33)	1 Carrington Road MOUNT ALBERT 1025	SECT 3 SO 520006
HB3	Medical Superintendent's Residence / Penman House (Building 55)	131 Carrington Road MOUNT ALBERT 1025	SECT 2 SO 573867, SECT 3 SO 573867, SECT 4 SO 573867, SECT 5 SO 573867
HB4	Farm Building/Stables (Building 28)	1 Carrington Road MOUNT ALBERT 1025	SECT 3 SO 520006

I334.6.8 Access

- (1) The primary traffic access to the precinct must be from Carrington Road at locations shown on ~~the~~ [Precinct plan 1](#).
- ~~(2) Any retail (including food and beverage) fronting the southern bus node, must not have vehicle access directly off Carrington Road. [Deleted]~~

I334.6.9 Parking

- (1) No parking is required for activities located within the ~~scheduled heritage building~~ [Oakley Hospital Main Building](#), other than for the provision of loading requirements.
- ~~(2) There must be no parking provided at the bus node for retail activities. [Deleted]~~

Commented [PR94]: Consistent terminology

I334.6.10 9A. Building to building set back

Purpose: to ensure adequate separation between taller buildings.

- ~~(1) In Height Area 1 on Precinct plan 3 — Te Auaunga Additional Height the minimum separation distance between buildings shall be 14m. This control shall be measured 8.5m above ground level.~~
- (1) For buildings exceeding 27m in height containing facing habitable rooms the minimum separation distance between buildings must be 18m.

Commented [PR95]: Towers not recommended s42A Section 8.2

Commented [PR96]: s42A Section 8.2

I334.6.11 Maximum tower dimension — Height Area 1 and Area 2

Purpose: to ensure that high-rise buildings in Height Area 1 and Height Area 2 on Precinct plan 3 — Te Auaunga Additional Height:

- ~~• enable an appropriate scale of building to increase land efficiency in this part of the precinct;~~
- ~~• allow adequate sunlight and daylight access to public streets and public open space;~~
- ~~• provide adequate sunlight and outlook around and between buildings;~~
- ~~• mitigate adverse wind effects;~~
- ~~• discourage a high podium base on any one building, in order to positively respond to Area 1's qualities as a visual gateway and its wider landscape setting; and~~
- ~~• manage any significant visual dominance effects by applying a maximum tower dimension.~~

~~(1) This standard only applies in Height Area 1 and Height Area 2 identified on Precinct plan 3 — Te Auaunga Additional Height.~~

~~(2) The maximum tower dimensions applying in Height Area 1 and Height Area 2 identified on Precinct plan 3 — Te Auaunga Additional Height must not exceed the dimension specified in Table I334.6.11.1 below.~~

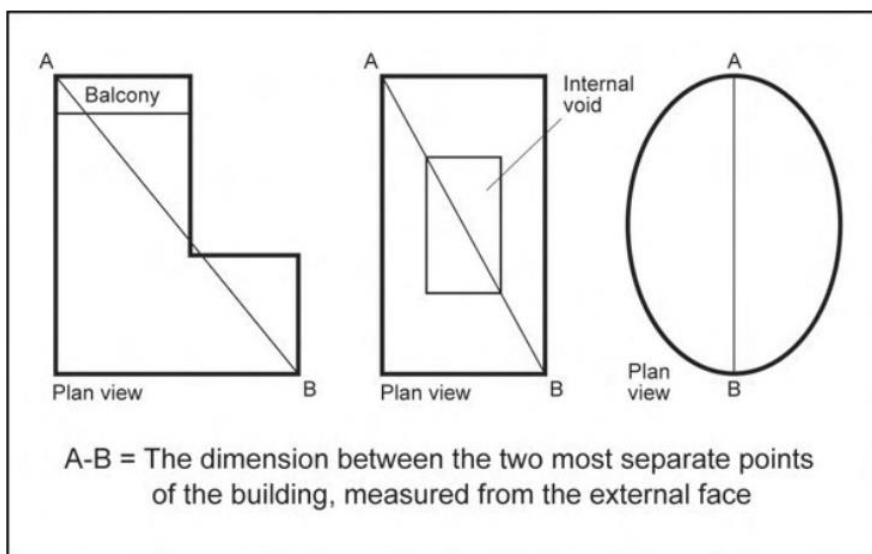
Table I334.6.11.1: Maximum tower dimensions

	<u>Maximum Tower Dimension</u>
<u>Buildings up to 35m</u>	<u>No tower dimension applies</u>
<u>Building with height up to 43.5m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 54m</u>	<u>50m max. tower dimension</u>
<u>Building with height up to 72m</u>	<u>42m max. tower dimension</u>

Commented [PR97]: Towers not recommended s42A Section 8.2. Maximum height of buildings in Height Area 2 is 35m.

~~(3) The maximum tower dimension is the horizontal dimension between the exterior faces of the two most separate points of the building and for the purposes of this standard applies to that part of the building as specified in Figure I334.6.11.2 below. This control shall be measured 8.5m above ground level.~~

Figure I334.6.11.2 Maximum tower dimension plan view



I334.6.11.9B. Wind

Purpose: to mitigate the adverse wind effects generated by tall buildings.

- (1) A new building exceeding 27m in height and additions to existing buildings that increase the building height above 27m must not cause:
 - (a) The mean wind speed around it to exceed the category for the intended use of the area as set out in Table I334.6.11.1 and Figure I334.6.11.2 below;
 - (b) The average annual maximum peak 3-second gust to exceed the dangerous level of 25m/second; and
 - (c) An existing wind speed which exceeds the controls of Standard I334.6.11.(1)(a) or Standard I334.6.11.(1)(b) above to increase.
- (2) A report and certification from a suitably qualified and experienced person, showing that the building complies with Standard I334.6.11.(1) above, will demonstrate compliance with this standard.

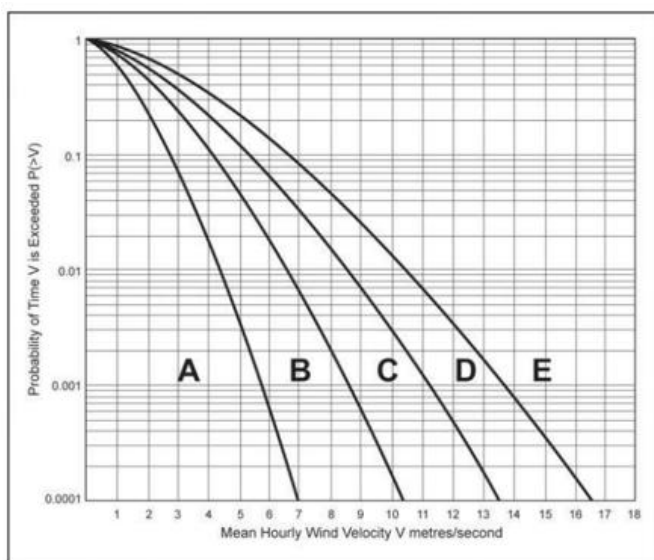
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- (3) If the information in Standard I334.6.11.(2) above is not provided, or if such information is provided but does not predict compliance with the rule, a further wind report including the results of a wind tunnel test or appropriate alternative test procedure is required to demonstrate compliance with this standard.

Table I334.6~~11~~.9B.1 Categories

<u>Category</u>	<u>Description</u>
<u>Category A</u>	<u>Areas of pedestrian use or adjacent dwellings containing significant formal elements and features intended to encourage longer term recreational or relaxation use i.e. public open space and adjacent outdoor living space</u>
<u>Category B</u>	<u>Areas of pedestrian use or adjacent dwellings containing minor elements and features intended to encourage short term recreation or relaxation, including adjacent private residential properties</u>
<u>Category C</u>	<u>Areas of formed footpath or open space pedestrian linkages, used primarily for pedestrian transit and devoid of significant or repeated recreational or relaxational features, such as footpaths not covered in categories A or B above</u>
<u>Category D</u>	<u>Areas of road, carriage way, or vehicular routes used primarily for vehicular transit and open storage, such as roads generally where devoid of any features or form which would include the spaces in categories A-C above</u>
<u>Category E</u>	<u>Category E represents conditions which are dangerous to the elderly and infants and of considerable cumulative discomfort to others, including residents in adjacent sits. Category E conditions are unacceptable and are not allocated to any physically defined areas of the city</u>

Figure I334.6.4~~9B~~.12 Wind Environment Control



Derivation of the wind environment control graph:

The curves on the graph delineating the boundaries between the acceptable categories (A-D) and unacceptable (E) categories of wind performance are described by the Weibull expression:

$$P(>V) = e^{-(v/c)^k}$$

where V is a selected value on the horizontal axis, and P is the corresponding value of the vertical axis:

and where:

P(>V) = Probability of a wind speed V being exceeded;

e = The Napierian base 2.7182818285

v = the velocity selected;

k = the constant 1.5; and

c = a variable dependent on the boundary being defined:

$$A/B, c = 1.548$$

$$B/C, c = 2.322$$

$$C/D, c = 3.017$$

$$D/E, c = 3.715$$

~~I334.6.13. Sub-precinct A Northern Boundary setback~~

~~(1) Buildings on land adjoining the northern boundary of Sub-precinct A must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with~~

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~~the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub precinct and the adjoining land, to mitigate adverse visual and privacy effects.~~

~~(2) This standard does not apply to:~~

~~(a) retaining walls~~

~~(b) underground car parking buildings less than 1.5m in height above ground level.~~

Commented [IS98]: Te Whatu Ora - 65.1

Commented [PR99]: Relocated above to I334.6.6 (4)

I334.6.9C Open Space

~~Open space must be provided at the ratio of 20m² of open space for every dwelling in the precinct.~~

~~(1) Subject to agreement with the landowner the open space may comprise.~~

~~(a) Open space within a Neighbourhood Park or other open space area as shown on Precinct Plan 1 that has not been previously allocated in accordance with this standard;~~

~~(b) Approved additional areas of publicly accessible open space required to ensure that standard is met.~~

~~(2) The open space must be secured by a suitable legal mechanism at the stage of development and / or subdivision.~~

~~(3) The calculation of open space at the ratio of 20m² of open space for every dwelling must include all dwellings in the precinct.~~

Standards Applying in Sub-precinct A

~~All activities listed as permitted, controlled and restricted discretionary in Table I334.4.4 must comply with the following standards.~~

I334.6.10 Height in relation to boundary

~~(1) Buildings in Sub-precinct A must not project beyond a 45-degree recession plane measured from a point 3m vertically above ground level along the north and south boundaries of the Sub-precinct.~~

I334.6.11 Height

~~(1) I334.6.4 applies.~~

I334.6.12 Landscaping Deleted

~~(1) I334.6.5 applies.~~

I334.6.13. Tree Protection

(1) I334.6.7 applies

I334.6.14 Sub-precinct A Boundary setback

(1) I334.6.6(2) applies.

(2) Buildings on land within Sub-precinct A adjoining the northern and southern boundaries of the Sub-precinct must be set back a minimum width of 5m from the Sub-precinct A boundary. These setbacks must be landscaped and planted with mature trees no more than 5m apart, with the balance planted with a mixture of shrubs or ground cover plants (excluding grass) within and along the full extent of the setback. The purpose of this planting is to provide a well vegetated visual screen between buildings and activities within the Sub-precinct and the adjoining land, to mitigate adverse visual and privacy effects.

(3) Buildings on land within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct must be set back a minimum width of 5m from the external precinct boundary. This setback shall remain landscaped with mature trees, with the Identified Trees in this location supplemented as necessary to maintain a heavily treed frontage.

I334.6.15. Stormwater

(1) I334.6.3 applies.

I334.6.16 Parking

(1) No minimum and no maximum parking is required in Sub-precinct A.

Commented [PR100]: Note that this standard, recently introduced by PC75, has been retained. However it is not strictly necessary - there are no parking requirements in the AUP (PC 71)

I334.6.24 Standards applying in Sub-Precinct C – Residential Density Standards

~~Purpose: Enable development of a variety of housing typologies with a mix of densities within residential zones that responds to the planned urban built character.~~

~~(1) There must be no more than three dwellings per site.~~

~~The development on land zoned Residential – Mixed Housing Urban and Residential – Terrace House and Apartment Building must comply with the following Medium Density Residential Standards as specified below.~~

Commented [IS101]: MDRS incorporation, Auckland Council - 68.1

I334.6.17 Number of dwellings per site

(1) There must be no more than three dwellings per site.

I334.6.18 (a) Building height

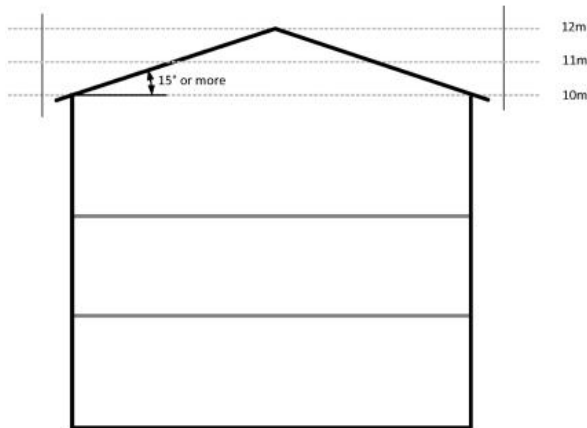
~~(1) In the Residential – Terraced Housing and Apartment Building zone, buildings must not exceed 16m in height.~~

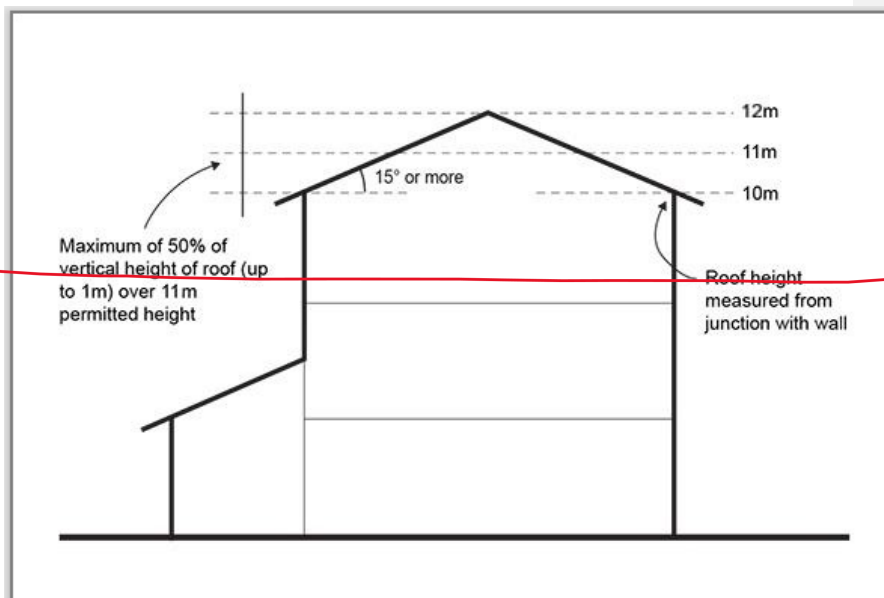
Commented [PR102]: Not necessary (underlying zone height applies)

Commented [IS103]: MDRS incorporation, more enabling height limit (THAB), Auckland Council – 68.1.

(1) In the Residential – Mixed Housing Urban zone, buildings must not exceed 11 metres in height, except that 50% of a building's roof in elevation, measured vertically from the junction between wall and roof, may exceed this height by 1 metre, where the entire roof slopes 15° or more, as shown in Figure I334.6.18.1 below on the following diagram :

Figure I334.6.18.1 Building height





I334.6.19. b) Height in Relation to Boundary

~~(1) Buildings must not project beyond a 60 degree recession plane measured from a point 4m vertically above ground level along the side and rear boundaries, as shown in Figure I334.6.19.1 below, the figure below.~~

~~(ii) This standard does not apply to —~~

- ~~(a) a boundary with a road;~~
- ~~(b) existing or proposed internal boundaries within a site;~~
- ~~(c) site boundaries where there is an existing common wall between 2 buildings on adjacent sites or where a common wall is proposed.~~

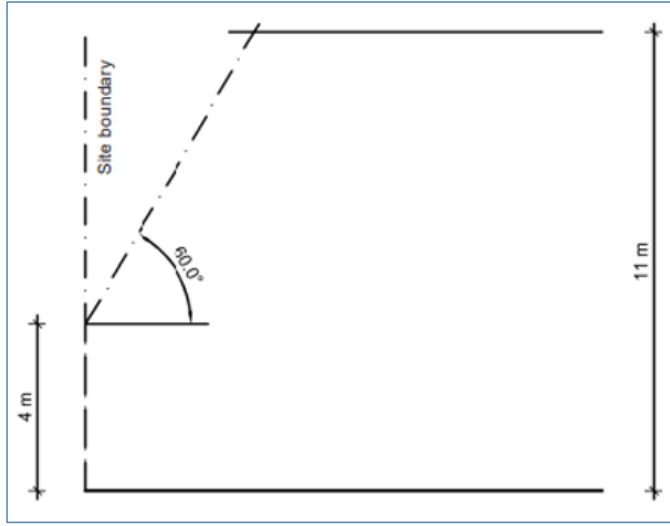
~~(2) Standard I334.6.19 (1) above does not apply to a boundary, or part of a boundary, adjoining any Business Zone.~~

~~(3) Standard I334.6.19 (1) above does not apply to site boundaries where there is an existing common wall between two buildings on adjacent sites or where a common wall is proposed.~~

~~(4) Where the boundary forms part of a legal right of way, entrance strip, access site or pedestrian access way, the control in Standard I334.6.19(1) applies from the farthest boundary of that legal right of way, entrance strip, access site or pedestrian access way.~~

~~(5) The height in relation to boundary standard does not apply to existing or proposed internal boundaries within a site.~~

Figure I334.6.19.1 Height in relation to boundary



I334.6.20 (c) Yards

- (1) A building or parts of a building must be set back from the relevant boundary by the minimum depth listed in ~~the yards table~~ Table I334.6.20.1, below except that when Standard I334.6.6 applies the relevant yard in Table I334.6.20.1 is not required by Standard I334.6.20(1);

Table I334.6.20.1

Yard	Minimum Depth
Front	1.5
Side	1m
Rear	1m

- (2) This standard does not apply to site boundaries where there is an existing common wall between ~~two~~ buildings on adjacent sites or where a common wall is proposed.

- (ii) ~~This standard does not apply buildings adjoining residential zoned land outside the precinct and to the south (refer to I334.6(1)).~~

Commented [IS104]: MDRS incorporation, subject to QMA, Auckland Council – 68.1

Commented [PR105]: This standard does not appear to be necessary

I334.6.21 (d) Building Coverage

- (1) The maximum building coverage must not exceed 50 per cent of the net site area.

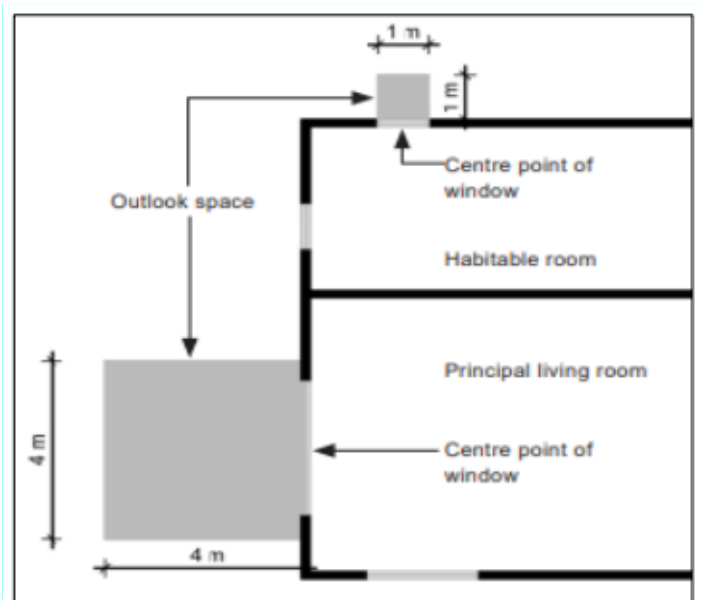
I334.6.22 (e) Landscaped Areas

- (i) ~~(1)~~ A dwelling at ground floor level must have a landscaped area of a minimum of 20 per cent of a developed site with grass or plants, and can include the canopy of trees regardless of the ground treatment below them.
- (ii) ~~(2)~~ The landscaped area may be located on any part of the development site, and does not need to be associated with each dwelling.

I334.6.23 ~~(f)~~ Outlook Space

- (1) ~~An outlook space must be provided for each dwelling development containing up to three dwellings as specified in this standard clause.~~
- (2) ~~An outlook space must be provided from habitable room windows as shown in the diagram Figure I334.6.23.1 below.~~
- (3) ~~The minimum dimensions for a required outlook space are as follows and as shown in Figure I334.6.23.1 below:~~
- (3) ~~(4)~~ The minimum dimensions for a required outlook space are as follows:
 - ~~(a) a principal living room must have an outlook space with a minimum dimension of 4 metres in depth and 4 metres in width; and~~
 - ~~(b) all other habitable rooms must have an outlook space with a minimum dimension of 1 metre in depth and 1 metre in width.~~
- (4) ~~(5)~~ The width of the outlook space is measured from the centre point of the largest window on the building face to which it applies.
- (5) ~~(6)~~ Outlook spaces may be over driveways and footpaths within the site or over a public street or other public open space.
- (6) ~~(7)~~ Outlook spaces may overlap where they are on the same wall plane in the case of a multi-storey building.
- (7) ~~(8)~~ Outlook spaces may be under or over a balcony.
- (8) ~~(9)~~ Outlook spaces required from different rooms within the same building may overlap.
- (9) ~~(10)~~ Outlook spaces must—
 - ~~(a) be clear and unobstructed by buildings; and~~
 - ~~(b) not extend over an outlook space or outdoor living space required by another dwelling.~~

Figure I334.6.23.1 Outlook Space requirements for developments containing up to three dwellings



I334.6.24-(e) Outdoor Living Space

- (1) A dwelling at ground floor level must have an outdoor living space that is at least 20m² and that comprises ground floor, balcony, patio, or roof terrace space that:
 - (a) where located at ground level, has no dimension less than 3 metres ~~for three or more dwellings~~; and
 - (b) where provided in the form of a balcony, patio, or roof terrace, is at least 8m² and has a minimum dimension of 1.8 metres; and
 - (c) is accessible from the dwelling; and
 - (d) may be:
 - (i) grouped cumulatively by area in 1 communally accessible location; or
 - (ii) located directly adjacent to the unit; and
 - (e) is free of buildings, parking spaces, and servicing and manoeuvring areas.
- (2) A dwelling located above ground floor level must have an outdoor living space in the form of a balcony, patio, or roof terrace that:
 - (a) is at least 8m² and has a minimum dimension of 1.8 metres ~~for three or more dwellings~~; and

(b) is accessible from the dwelling; and

(c) may be:

(i) grouped cumulatively by area in 1 communally accessible location, in which case it may be located at ground level; or

(ii) located directly adjacent to the dwelling unit

I334.6.25 (h) Windows to street

- (1) Any dwelling facing the street must have a minimum of 20 per cent of the street facing façade in glazing. This can be in the form of windows or doors.

I334.6.22 Sub-Precinct C – Subdivision

Purpose: Enable subdivision around the development of a variety of housing typologies with a mix of densities within residential zones that responds to the planned urban built character.

(1) There must be no minimum lot size, shape size, or other size-related subdivision requirements for the following:

(a) any allotment with an existing dwelling, if –

(i) either the subdivision does not increase the degree of any non-compliance with under Standard I334.6.21 or any other zone standards that apply, or land use consent has been granted; and

(ii) no vacant allotments are created;

(b) any allotment with no existing dwelling, where a subdivision application is accompanied by a land use application that will be determined concurrently if the applicant for the resource consent can demonstrate that:

(i) it is practicable to construct on every allotment within the proposed subdivision, as a permitted activity, a dwelling; and

(ii) each dwelling complies with the residential density standards under Standard I334.6.21 or any other zone standards that apply; and

(iii) no vacant allotments are created.

(2) For the purposes of standard I334.6.22(1)(a)(i) if a subdivision is proposed between dwellings that share a common wall, the requirements as to height in relation to boundary in this precinct do not apply along the length of the common wall.

I334.6.26 Subdivision in accordance with an approved land use consent for the purpose of the construction or use of dwellings as permitted or restricted discretionary activities in the precinct

I334 Wairaka-Te Auaunga Precinct

Purpose: To provide for subdivision of land for the purpose of construction and use of dwellings in sub-precinct C in accordance with MDRS permitted and restricted discretionary land use activities Standards I334.6.17 to I334.6.25 inclusive

- (1) Any subdivision relating to an approved land use consent must comply with that land use consent.
- (2) Subdivision does not increase the degree of any non-compliance with standards I334.6.17 to I334.6.25 except that Standard I334.6.19. (1) does not apply along the length of any proposed boundary where dwellings share a common wall.
- (3) No vacant sites are created.

I334.6.27 Subdivision around existing buildings and development

Purpose: To provide for subdivision of land for the purpose of construction and use of dwellings in sub-precinct C in accordance with Standards I334.6.17 to I334.6.25 inclusive

- (1) Prior to subdivision occurring, all development must meet the following:
 - (a) Comply with the relevant overlay, Auckland-wide, zone and precinct rules; or
 - (b) Be in accordance with an approved land use consent.
- (2) Subdivision does not increase the degree of any non-compliance with standards I334.6.17 to I334.6.25 except that Standard I334.6.19.(1) does not apply along the length of any proposed boundary where dwellings share a common wall.
- (3) No vacant sites are created.

I334.6.28 Subdivision for up to three sites accompanied by a land use consent application or certificate of compliance for up to three dwellings

Purpose: To provide for subdivision of land for the purpose of construction and use of dwellings in sub-precinct C

- (1) The subdivision application and land use consent application or certificate of compliance relate to a site on which there are no dwellings;
- (2) The subdivision application and land use consent application or certificate of compliance must be determined concurrently;
- (3) Each dwelling, relative to its proposed boundaries, complies with Standards I334.6.19.1 to I334.6.19.9;
- (4) A maximum of three sites and three dwellings are created; and
- (5) No vacant sites are created.

I334.7 Assessment – controlled activities

I334.7.1 Matters of control

The Council will reserve its control to the following matters when assessing a controlled activity resource consent application, in addition to the matters specified for the relevant controlled activities in the zone, Auckland-wide, or overlay provisions:

I334 ~~Wairaka Te Auaunga~~ Precinct

- (1) Connection of ~~P~~precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
- (a) traffic effects on adjoining streets and the transport network;
 - (b) amenity and safety of adjoining streets and those within the precinct;
 - (c) design of road connections;
 - (d) benefits of connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(2) ~~Subdivision: [Deleted]~~

~~(a) — bBoundaries of the precinct and sub-precincts aligning with the proposed site boundaries. [Deleted]~~

(3) All controlled subdivision activities in Table I334.4.3 :

- (a) compliance with an approved resource consent or consistency with a concurrent land use consent application or certificate of compliance;
- (b) compliance with the relevant overlay, Auckland-wide, precinct and zone rules;
- (c) the effects of infrastructure provision.

~~(b) Compliance with existing resource consent (if applicable).~~

~~(c) Site size, shape, design, contour, and location.~~

~~(d) Infrastructure.~~

~~(e) Historic and cultural heritage.~~

(4) All New Buildings, and Additions to Existing Buildings in Sub-precinct A:

- (a) high quality design and amenity;
- (b) functional and operational (including security) requirements;
- (c) the integration of landscaping;
- (d) safety;
- (e) effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network having regard to:

Commented [PR106]: Amended to align with approach council wishes to take to the MDRS in precinct provisions

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- (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (f) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the Sub-precinct;
 - (ii) management and mitigation of flood effects, including on buildings and property;
 - (iii) methods and measures to avoid land instability, erosion, scour and flood risk to buildings and property;
 - (iv) location, design and method of the discharge; and
 - (v) management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures.

I334.7.2 Assessment criteria

The Council will consider the relevant assessment criteria below for controlled activities, in addition to the assessment criteria specified for the relevant controlled activities in the zone, Auckland-wide or overlay provisions:

- (1) Connection of Precinct to Laurel Street, Renton Road or Rhodes Avenue with a private (non-gated) road:
 - (a) the extent to which the design of the road and associated landscaping creates:
 - (i) access consistent with the local road function; and
 - (ii) street trees, planting and other landscaping features that ensure a good standard of amenity;
 - (b) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and to manage speed;

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- (c) the extent to which the management of the private road through such measures as signage, surface treatment, landscaping and speed restrictions does restrict the use of these roads to only those vehicles with authorised access;
- (d) the extent of any positive benefits arising from the proposed connection (excluding benefits relating to diversion of traffic from Carrington Road);
- (e) the provision of walkway and cycleway access is not restricted. The extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways; and
- (f) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.

(2) Subdivision

~~(1) The extent to which subdivision boundaries align with the sub-precinct boundaries and with the precinct plan shown in Precinct plan 1 (or with any approved road network).~~

(a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with the precinct plan shown in Precinct plan 1 and with Policy I334.3(15A) (or with any approved road network).

(b) Compliance with an existing approved resource consent or concurrent land use consent application or certificate of compliance

(ba) Compliance with the relevant overlay, Auckland-wide, precinct and zone rules

(i) Refer to Policy E38.3(1) and (6)

(c) The effect of the site design, size, shape, contour, and location, including existing buildings, manoeuvring areas and outdoor living space.

(d) The adequate provision and capacity of infrastructure provisions.

(i) Refer to Policy E38.3(1), (6), (19) to (23)

(e) The effect on historic heritage and cultural heritage items.

(3) All New Buildings, and Additions to Existing Buildings in Sub-precinct A

(a) The extent to which the building and associated landscaping contributes to a high quality amenity outcome when viewed from neighbouring land and buildings, including the appearance of the roofscape;

(b) Whether the design recognises the functional, operational, and security requirements of the intended use of the building, and addresses the safety of the surrounding residential community and the public realm;

Commented [PR107]: Amended to generally align with approach council wishes to take to the MDRS in precinct provisions

Commented [IS108]: Watercare - 45.3

Commented [PR109]: Recommended addition

- (c) The extent to which effects of the location and design of access to the sub-precinct on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
- (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Precinct; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (d) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
 - (ii) The extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.

I334.8 Assessment – restricted discretionary activities

I334.8.1 Matters of discretion

The Council will restrict its discretion to the following matters when assessing a restricted discretionary activity resource consent application, in addition to the matters specified for the relevant restricted discretionary activities in the zones, Auckland-wide, or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to~~ within 150m of, and accessed ~~from~~ via, Farm Road (A6); and ~~or adjacent to the bus hub or Oakley Hospital building~~ Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):
- ~~(a) building interface with any public place~~ [deleted]
 - ~~(b) safety;~~ [deleted]
 - ~~(c) services;~~ [deleted]
 - ~~(d) traffic;~~ [deleted]

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- ~~(e) travel plans and integrated transport assessments; [deleted]~~
- ~~(f) design of parking and access; and [deleted]~~
- (aa) matters of discretion I334.8.1(1A)(d) - I334.8.1(1A)(h); and
- ~~(g)(ba) degree of integration with other centres.~~

(1A) New buildings which comply with Standard I334.6.4 Height:

(a) Ground contours:

- (i) whether proposed finished contour levels at a subject site abutting land identified as open space on Precinct plan 1 or vested public roads across the subject land area adequately manages pedestrian access from the ground floor level of buildings to the adjoining identified open space land and public roads variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available and buildings are adjoining); and
- (ii) where ground floor dwellings or visitor accommodation is proposed, whether some minor variations between the ground floor level and the level of adjoining open space or street (where adjoining) may be acceptable to provide for the privacy of residents and occupants/users

(b) Building form and character:

- (i) whether building design and layout achieves:
 - (a) separate pedestrian entrances for residential uses within mixed use buildings;
 - (b) legible entrances and exits from buildings to open spaces and pedestrian linkages;
 - (c) articulation of any building façades which adjoin public roads and identified open space on Precinct plan 1, to manage the extent of large blank and/or flat walls and/or façades;
 - (d) corner sites provide the opportunity for additional building mass and height so as to makes a positive contribution to the streetscape;
 - (e) a high quality, clear and coherent design concept utilises a palette of durable materials to express the building form;
 - (f) high quality visual interest through the use of façade modulation and articulation, and/or the use of materials and finishes and ensures any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to provide architectural relief;
 - (g) rooftop mechanical plant or other equipment is screened or integrated in the building design;

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- (h) any otherwise unavoidable blank walls are enlivened by methods which may include artwork, māhi toi, articulation, modulation and cladding choice to provide architectural relief;
 - (i) parking areas located within or abutting buildings which are visually discreet when viewed from public roads and open space identified on Precinct plan 1;
 - (j) long building frontages are visually broken up by façade design and roofline, recesses, awnings, balconies and other projections, materials and colours;
 - (k) building form is designed to allow a reasonable level of daylight into land identified as open space within Precinct plan 1 within the precinct, (but excluding public roads) appropriate to their intended use;
 - (l) a positive relationship with adjoining areas of identified open space;
 - (m) a positive relationship with the Oakley Hospital Main Building and identified historic buildings;
 - (ii) activities at ground level engage with and activate existing and/or proposed open spaces, streets and lanes;
 - (iii) outdoor living areas and internal living spaces achieve privacy from publicly accessible areas while maintaining a reasonable level of passive surveillance; and
 - (iv) whether any proposed publicly accessible spaces within a development, including pedestrian and cycle linkages, are integrated into the existing or planned pedestrian network;
- (c) Safety including passive surveillance:
- (i) whether new buildings are designed in accordance with Crime Prevention Through Environmental Design principles, including by providing passive surveillance of publicly accessible areas. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within a tertiary education campus(es) will be considered as if they are public open spaces; and
- (d) Services including infrastructure **capacity** and stormwater management:
- (i) stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area;
 - (ii) location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater

Commented [PR110]: s42A Section 8.3

Commented [PR111]: s42A Section 8.5

Commented [IS112]: Watercare - 45.3

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management features, which incorporate low impact stormwater design principles and improved water quality systems; and

(iii) the effects of potential contamination of stormwater and ground water arising from discharges from roofing materials.

(iv) whether any development that would bring the total number of dwellings in the precinct in excess of 4,000 dwellings provides an infrastructure capacity assessment that demonstrates that there is sufficient capacity in the bulk water supply and wastewater network to service the development at the time of occupation.

Commented [IS113]: Watercare - 45.3

(e) Traffic:

(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct discourage through traffic from outside the ~~Te Auaunga Wairaka~~ Precinct, and slow traffic with an origin or destination in the Special Purpose - Tertiary Education Zone or southern neighbourhoods.

(f) Travel plans and integrated transport assessments:

(i) proposed developments are consistent with any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and any corresponding travel plans are provided by way of conditions of any consent prior to occupation;

(ii) whether any development that would bring the total number of dwellings in excess of 3,000 dwellings within the precinct either demonstrates that the assumptions of any existing integrated transport assessment are valid, or, if the transport network and generation is not consistent with the assumptions within the existing integrated transport assessment, provides an updated integrated transport assessment demonstrating the generated travel demand can be appropriately managed; and

Commented [IS114]: Open Space For Future Aucklanders Incorporated - 25.50

(iii) whether any development that would bring the total number of dwellings in excess of 4,000 dwellings either provides an integrated transport assessment demonstrating the generated travel demand can be appropriately managed, or demonstrates that the assumptions of any existing integrated transport assessment for in excess of 4,000 dwellings are valid.

Commented [IS115]: Open Space For Future Aucklanders Incorporated - 25.50

(g) Design of parking structures and vehicular access:

(i) within the Special Purpose - Tertiary Education Zone avoids parking either at grade or within a building at or above ground level, having direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on Precinct plan 1;

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- (ii) minimises the extent to which parking within a building at or above ground level directly faces ~~Te Auaunga Wairaka~~ and the Carrington Road frontage;
- (iii) parking areas are screened;
- (iv) parking structures minimise direct venting to pedestrian environments at ground level;
- (v) vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and be separated from pedestrian access, or are designed as a shared space; and
- (vi) design of pedestrian routes between parking areas, building entrances/lobbies and the street ensures that these spaces are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.

(h) Landscape:

- (i) landscaping is provided to contribute to the achievement of quality amenity that is integrated with the built environment. Landscaping may be provided in the form of courtyards, plazas and other areas that are accessed by residents, visitors or the public including lanes and pedestrian accessways. Landscaping includes the provision of both soft and hard landscape elements such as trees, shrubs, ground cover plants, paved areas and outdoor seating areas.

(i) Matters applying to the Carrington Road frontage:

- (i) building frontages to Carrington Road are designed to express a scale of development that responds to Policy I334.3(13);
- (ii) the use of architectural treatments and design features, such as façade and roofline design, materials, separation and layout to contribute to the visual character, and articulation of the Carrington Road frontage; and
- (iii) building frontages to Carrington Road are designed to address the perception of a solid walled mass through techniques including building recesses, clear visual breaks between buildings, variation in roofline and overall building silhouette.

(i) Matters applying for development adjoining the Wairaka Stream;

- (i) development is designed to recognise and contribute to the values of the stream, including planting of riparian margins.

(1B) Buildings within the Height Areas identified on Precinct plan 3 – ~~Te Auaunga Wairaka Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Wairaka Additional Height, and Buildings within the Height Area 4 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m;~~

(a) matters of discretion I334.8.1(1A)(a) - I334.8.1(1A)(h);

Commented [PR116]: s42A Section 8.7r

Commented [PR117]: Towers not recommended s42A Section 8.2

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(b) building design and location:

~~(i) In Height Area 1 on Precinct plan 3 – Te Auaunga Additional Height, how the design for any building greater than 35m in height relates to the Tāmaki Makaurau cityscape and contributes to making a visual landmark, either in isolation or as part of a composition of taller buildings such as through the architectural expression of its upper levels and rooftop.~~

Commented [PR118]: Towers not recommended s42A Section 8.2

(ii)(i) The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form.

(ii) Buildings adjacent to the Oakley Hospital Main Building:

- The degree to which the proposed buildings are located and designed to have regard to the built form and significant historic heritage elements of the place;
- The degree to which the proposed buildings use materials and/or design detail that respect rather than replicate any patterns or elements existing in the place.

Commented [PR119]: s42A Section 8.5

(c) shading:

(i) the extent degree to which the location and design of buildings ensures a reasonable level of sunlight access (measured at the Equinox) to residential units dwellings and open space areas; taking into consideration site and building orientation, and the planned built-character of the precinct.

(2) Parking buildings/structures:

~~(a) ground contours; [deleted]~~

~~(b) building interface with public places; [deleted]~~

~~(c) safety; [deleted]~~

~~(d) services including infrastructure and stormwater management; [deleted]~~

~~(e) traffic; [deleted]~~

~~(f) travel plans and integrated transport assessments; and [deleted]~~

~~(g) design of parking and access. [deleted]~~

(aa) matters of discretion I334.8.1(1A)(a), and I334.8.1(1A)(d) - I334.8.1(1A)(i).

~~(3) Connection of any road to the Precinct with a public road [Deleted]~~

(3A) Extension of Laurel Street, Renton Road, Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct (A29):

(a) traffic;

(b) amenity and safety;

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- (c) design of road connections; and
 - (d) benefits of road connections (excluding benefits related to diversion of traffic from Carrington road);
 - (e) provision of walkway and cycle access; and
 - (f) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (4) Any development not otherwise listed in Tables I334.4.1, ~~and~~ I334.4.3, ~~and~~ I334.4.4 that is generally in accordance with ~~the p~~precinct plan ~~1 and Policy I334.3(15A)~~:
- (a) Effects of the location and design of the access on the safe and efficient operation of the adjacent transport network having regard to:
 - (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and
 - (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
 - (b) The location and capacity of infrastructure servicing:
 - (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area;
 - (ii) ~~The~~ effects on receiving environments from the location and design of the Indicative Stormwater Management Area and stormwater devices including the following:
 - ~~(i)~~ management of the adverse effects on receiving environments, including cumulative effects (which may be informed by any publicly available current stormwater and/or catchment management plans and analyses);
 - ~~(ii)~~ BPO for the management of the adverse effects of the stormwater diversion and discharge on receiving environments;
 - ~~(iii)~~ implementation of stormwater management devices and other measures and programmes that give effect to the BPO;
 - ~~(iv)~~ management and mitigation of flood effects, including on buildings and property;

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- ~~(v)~~ methods and measures to minimise land instability, erosion, scour and flood risk to buildings and property;
 - ~~(vi)~~ location, design and method of the discharge; and
 - ~~(vii)~~ management of stormwater flow and contaminants and the implementation of stormwater management devices and other measures;
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of:
- (i) open spaces which are prominent and accessible to the public, including by pedestrians;
 - (ii) the number, ~~and~~ size and quality of open spaces in proportion to the future intensity and needs of the precinct and surrounding area; ~~and~~
- (d) effective and safe pedestrian and/or cycle linkages;
- (a) ~~T~~he location, physical extent and design of open space;
 - (b) ~~T~~he location of anticipated land use activities within the development;
 - (c) ~~T~~he location and physical extent of parking areas; and
 - (d) ~~T~~he staging of development and the associated resource consent lapse period;
 - (e) ~~T~~he location and form of building footprints and envelopes; and
 - (f) ~~B~~uilding scale and dominance (bulk and location).
- (5) For development and/or subdivision that does not comply with Standards: I334.6.1 Floodlights; I334.6.2 Retail thresholds; I334.6.3 Stormwater; I334.6.4 Height; I334.6.5 Landscaping; I334.6.6 Precinct boundary setback; I334.6.7 Tree protection; I334.6.8 Access; I334.6.9 Parking; I334.6.13 Height in relation to Boundary; I334.6.17(3) Sub-precinct A Boundary setback; the Council will restrict its discretion to all of the following matters when assessing a restricted discretionary resource consent application:
- (a) the matters of discretion in Rule C1.9(3) of the general provisions apply; and
 - (b) any special or unusual characteristic of the site which is relevant to the standard;
 - (c) where more than one standard will be infringed, the effects of all infringements considered together; and
 - (d) the effects on the following relevant matters:
 - (i) floodlights – the effects on the amenity values of adjoining residential areas;

Commented [PR120]: It is not clear why these provisions have been deleted - they are reinserted.

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- (ii) retail thresholds – the needs of the campus and serving the local demand within the precinct, the role function and amenity of the Point Chevalier and Mt Albert town centres;
 - (iii) stormwater – ~~See~~ Matter I334.8.1(4)(c) above;
 - (iv) height – the effects on the amenity values of open spaces and adjoining residential areas;
 - (v) ~~landscaping – the street edge, the delineation of pedestrian routes, the visual and pedestrian amenity effects caused by access ways, parking and service areas~~ ~~[deleted]~~
 - (vi) precinct boundary set back - ~~h~~interface with the public realm and effects on neighbouring sites, building scale and dominance (bulk and location), and ~~O~~outlook and privacy;
 - (vii) trees – ~~See~~ restricted discretionary activity matters of discretion in Matters D13.8.1 Notable Trees Overlay;
 - (viii) access – the primary access to the precinct being on Carrington Road, the amenity values of existing residents as a result of the southern connections becoming a direct vehicle entrance to the precinct;
 - (ix) parking – the heritage values of the Oakley Hospital ~~mMain bBuilding,~~ ~~the efficiency of operation of the bus hub;~~
 - (x) Boundary setback in respect of buildings within Sub-precinct A adjoining Strategic Transport Corridor zoned land outside the precinct – landscape amenity;
 - (xi) Height in relation to boundary – visual dominance, overlooking, shading and privacy.
- (6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary:
- Where buildings do not abut the street frontage
 - (a) the effectiveness of screening and/or landscaping on the amenity of the streetscape;
 - (b) safety;
 - (c) functional and operational (including security) requirements;
 - Where buildings do abut the street frontage
 - (d) the effectiveness of screening and/or landscaping (if any);
 - (e) the maintenance or enhancement of amenity for pedestrians using the adjoining street;
 - (f) measures adopted for limiting the adverse visual effects of any blank walls along the street frontage;

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(g) measures adopted to provide for the visual interest at the street frontage, while ensuring the security, and functional and operational requirements of the Mason Clinic;

(h) safety

Matters applying to all buildings

(i) Those matters contained in I334.7.1.(3).

(7) Subdivision of land for the purpose of construction and use of dwellings in the Business-Mixed Use zone residential units:

(a) Boundaries of the precinct and sub-precincts aligning with the proposed site boundaries.

(b) Site size, shape, design, contour, layout and location.

(c) Infrastructure

(8) Buildings for 1 or more dwellings in a residential zone which do not comply with any of Standards I334.6.17 to I334.6.25

(a) any precinct and zone policy which is relevant to the standard

(b) the effects of the infringement of the standard

(c) the effects on the urban built character of the precinct

(d) the effects on the amenity of the neighbouring sites

(e) the effects of any special or unusual characteristics of the site which is relevant to the standard

(f) the characteristics of the development

(g) any other matters specifically listed for the standard

(h) where more than one standard will be infringed, the effects of all infringements considered together.

(10) Four or more dwellings in a residential zone within Sub-Precinct C

(a) Matters of discretion H5.8.1(2) and H6.8.1(2) apply;

(b) The standards in I334.6.19 (2)

(c) Infrastructure and servicing.

I334.8.2 Assessment criteria

Commented [IS121]: Consequential on inclusion of new subdivision rules A34A and A34B

Commented [IS122]: MDRS incorporation, Auckland Council - 68.1

Commented [PR123]: final version of template relies on underlying zone to deal with 4 or more dwellings. Not an activity controlled through the precinct except to apply additional, precinct-specific, controls. Clause 2(2) Sch 3A does not apply to 4 or more dwellings since it is not a PA

The Council will consider the relevant assessment criteria below for restricted discretionary activities, in addition to the assessment criteria specified for the relevant restricted discretionary activities in the zones, Auckland-wide or overlay provisions:

- (1) Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area ~~adjacent to within 150m of, and accessed from via, Farm Road and or adjacent to the bus hub or Oakley Hospital building (A6); and Retail (including food and beverage) comprising up to one tenancy between 201m² and 300m² gross floor area adjacent to the Historic Heritage Overlay (A7):~~

~~(a) Building interface with any public places; [Deleted]~~

- ~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to these public spaces and pedestrian safety;~~
- ~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~
- ~~(iii) the extent to which buildings provide legible entrances and exits to covered plazas, open spaces and pedestrian linkages;~~
- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~
- ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
- ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
- ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use and whether they may require building form to be modified to the north of such spaces;~~
- ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses; and~~
- ~~(ix) the extent to which through-site links and covered plazas integrate with the existing or planned public realm and pedestrian network and whether they are:
 - ~~• publicly accessible and attractive; and~~
 - ~~• designed to provide a high level of pedestrian safety.~~~~

~~(b) Safety: [Deleted]~~

- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and~~

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~~pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~

- ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~
- ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~

~~(c) Services: [Deleted]~~

- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
- ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~

~~(d) Traffic: [Deleted]~~

- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~
- ~~(ii) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application.~~

~~(e) Traffic plans and integrated transport assessments: [Deleted]~~

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

~~(f) Design of parking and access: [Deleted]~~

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of those streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~

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- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(g)~~ ~~(g)~~ Degree of integration with other centres:

- (i) the extent to which the location, scale and staging of anticipated activity types in the precinct mitigates potential conflicts with activities within neighbouring centres; and
- (ii) the extent to which the location, scale and staging of ~~offices~~ ~~retail~~ ~~does~~ not have adverse effects on the role of other centres, beyond those effects ordinarily associated with trade effects or trade competition.

(1A) ~~New buildings under I334.4.1(A21C) that comply with Standard I334.6.4 Height:~~

~~(a) Ground contours:~~

- ~~(i) Refer to Policies I334.3.(13) and (27).~~

~~(b) Building form and character:~~

- ~~(i) Refer to Policies I334.3.(13), (14) and (27).~~

~~(c) Safety including passive surveillance:~~

- ~~(i) Refer to Policies I334.3.(13), (14) and (27).~~

~~(d) Services including infrastructure and stormwater management:~~

- ~~(i) Refer to Policies I334.3. ~~(4)(f)~~, (26A), (26B) and (27).~~

~~(e) Traffic:~~

- ~~(i) Refer to Policies I334.3.(20) and (22).~~

~~(f) Travel plans and integrated transport assessments:~~

- ~~(i) Refer to Policies I334.3. (4)(g), (20), (23), and (27).~~

~~(g) Design of parking structures and vehicle access:~~

- ~~(i) Refer to Policies I334.3.(13), (14), (14A), (14B), (24) and (25).~~

~~(h) Landscape:~~

- ~~(i) Refer to Policy I334.3.(13).~~

Commented [IS124]: Watercare - 45.3

(i) Additional criteria applying to building frontage to Carrington Road:

(i) Refer to Policies I334.3.(13) and (14).

Commented [IS125]: Open Space For Future Aucklanders - 25.72

(i) Buildings adjacent to the Oakley Hospital Main Building:

(i) Whether the proposed buildings are located and designed to have regard to the built form and significant historic heritage elements of the place including ensuring that the form and design of buildings minimises the effects of dominance;

(ii) Whether the proposed buildings use materials and/or design detail that respect rather than replicate any patterns or elements existing in the place, including the potential for new and contemporary interpretations in form and detail to be used.

Commented [PR126]: s42A Section 8.5

(k) The matters of discretion in I334.8.1

Commented [PR127]: Ensures the detail given in I334.8.1 is assessed.

~~(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 – Te Auaunga Additional Height; and Buildings within Height Area 1 identified on Precinct plan 3 – Te Auaunga Additional Height between 35m and 72m:~~

Commented [PR128]: Deleted as RD status not supported. s42A Section 8.2

~~(a) Refer to Policies I334.3 (13), (14), (14A), (14AA) and (14B).~~

~~(b) Assessment criteria I334.8.2(1A)(d).~~

Commented [IS129]: Watercare - 45.3

(2) Parking buildings and structures:

~~(a) Ground contours: [Deleted]~~

~~(i) the extent to which the proposed finished contour levels across the subject land area avoid variations between the ground floor level of future buildings and adjoining existing and proposed public open space (where information is available); and~~

~~(ii) The extent to which where ground floor dwellings or visit accommodation is proposed, some minor variations between the ground floor level and the level of adjoining open space or street may be acceptable to provide for the privacy of residents and occupants/users.~~

~~(b) Building interface with public spaces: [Deleted]~~

~~(i) the extent to which buildings have clearly defined public fronts that address the street and public open spaces to positively contribute to those public spaces and pedestrian safety;~~

~~(ii) the extent to which pedestrian entrances are located on the street frontage and be clearly identifiable and conveniently accessible from the street;~~

~~(iii) the extent to which buildings provide legible entrances and exists to covered plazas, open spaces and pedestrian linkages;~~

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- ~~(iv) the extent to which separate pedestrian entrances are provided for residential uses within mixed use buildings;~~
 - ~~(v) the extent to which activities that engage and activate streets and public open spaces are provided at ground and first floor levels;~~
 - ~~(vi) the extent to which internal space at all levels within buildings is designed to maximise outlook onto street and public open spaces;~~
 - ~~(vii) the extent to which building heights and form are designed to allow a reasonable level of natural light into existing and planned communal open spaces within the precinct, appropriate to their intended use. This may require building form to be modified to the north of such spaces;~~
 - ~~(viii) the extent to which buildings are designed to support high quality open spaces and where appropriate provide views to the wider landscape and/or surrounding streets, to enhance the legibility, accessibility and character of the campuses;~~
 - ~~(ix) whether through site links and covered plazas integrate with the existing or planned public realm and pedestrian network and are publicly accessible, attractive and designed to provide a high level of pedestrian safety.~~
- ~~(c) Safety: [Deleted]~~
- ~~(i) whether new and upgraded buildings and public open spaces are designed in accordance with crime safety principles. For the purpose of this assessment, internal open spaces, plazas, foyers, lanes and pedestrian and cycleway linkages within the campuses will be considered as if they are public open spaces;~~
 - ~~(ii) the extent to which open spaces, plazas, foyers, lanes and pedestrian linkages have multiple entrances and exits rather than a single way in and out of such places and spaces; and~~
 - ~~(iii) the adequacy of safety measures to the Mason Clinic site and the design of the interface between the Mason Clinic and the adjacent public spaces and sites to provide for sensitive design in a high quality urban village and environmentally sensitive area, while meeting security requirements.~~
- ~~(d) Services including infrastructure and stormwater management: [Deleted]~~
- ~~(i) the extent to which stormwater, wastewater, water supply, and electricity and telecommunication infrastructure are provided to adequately service the nature and staging of anticipated development within the subject land area; and~~
 - ~~(ii) the extent to which the location of built form, public open space and stormwater management infrastructure provide for the establishment of future stormwater management features, which incorporate low impact stormwater design principles and improved water quality systems.~~
- ~~(e) Traffic: [Deleted]~~
- ~~(i) whether traffic calming measures on internal roads and those roads connecting to the south of the precinct, discourage through traffic from~~

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~~outside the Wairaka Precinct, and slow traffic with an origin or destination in the Special Purpose — Tertiary Education Zone or southern neighbourhoods; and~~

~~(f) Travel plans and integrated transport assessments: [Deleted]~~

- ~~(i) the extent to which proposed developments meet the requirements of any existing integrated transport assessment applying to the proposed development or any new integrated transport assessment or other traffic assessment lodged with any resource consent application and provides appropriate travel plans that are consistent with the Integrated Transport Assessment.~~

~~(g) Design of parking and access: [Deleted]~~

- ~~(i) the extent to which parking buildings avoid fronting Carrington Road or Oakley Creek or have direct access from Laurel Street, Renton Road, Rhodes Avenue (or any extension of these streets), or the western road shown on the Precinct plan;~~
- ~~(ii) the extent to which parking is screened from public open spaces and streets;~~
- ~~(iii) the extent to which ventilation and fumes from parking structures or other uses do not vent into the adjacent pedestrian environment at ground level;~~
- ~~(iv) the extent to which vehicle crossings and access ways prioritise pedestrian movement and in particular are designed to reduce vehicle speed and are separated from pedestrian access, or are designed as a shared space; and~~
- ~~(v) the extent to which the design of pedestrian routes between parking areas, building entrances/lobbies and the street are accessible by people of all ages and physical abilities and provide a high level of pedestrian safety.~~

~~(a) (aa) Assessment criteria I334.8.2(1A)(a) and I334.8.2(1A)(d) - I334.8.2(1A)(h).~~

~~(3) Connection of any road to the Precinct with a public road: [Deleted]~~

~~(3A) Extension of Laurel Street, Renton Road, or Rhodes Avenue or Mark Road into the precinct as a public road, and providing vehicular connections to the Western road within the precinct: (A30):~~

~~(a) Traffic:~~

- ~~(i) the extent to which traffic management measures on roads which connect to the south of the Pprecinct are designed to avoid the southern connection becoming the primary entrance for tertiary education uses or becoming an faster alternative to Carrington Road for non-local traffic;~~

~~(b) Amenity and safety:~~

- ~~(i) whether the design of the road and associated landscapinge creates:~~

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- access consistent with the local road function;
 - street trees, planting and other landscaping features that ensure a good standard of amenity; and
- (ii) the extent to which the introduction of appropriate traffic calming measures discourages non-local traffic and manages speed. Methods could include, but are not limited to, one lane sections, narrow carriageways, intersections designed to slow traffic and interrupt flow, avoidance of roundabouts which facilitate speedy movement through the precinct, and designing the carriageway as shared space with a meandering route.
- (c) benefits of road connections (excluding benefits related to diversion of traffic from Carrington Road):
- (i) the extent of any positive benefits arising from the proposed connection (excluding benefits related to diversion of traffic from Carrington Road) and ensure the provision of walkway and cycleway access is not restricted.
- (d) provision of walkway and cycle access:
- (i) the extent to which landscaping and treatment reflects an appropriate standard of design for public walkways and cycle-ways.
- (e) turning restrictions within the precinct to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone:
- (i) the extent to which turning restrictions within the precinct are needed to reduce the likelihood of traffic entering the precinct through the southern roads to access car parking buildings within the Special Purpose – Tertiary Education Zone.
- (4) Any development not otherwise listed in Tables I334.4.1, ~~and~~ I334.4.3, ~~and~~ I334.4.4 that is generally in accordance with ~~the pP~~precinct plan 1 ~~and Policy I334.3(15A)~~:
- (a) The extent to which effects of the location and design of the access on the safe and efficient operation of the adjacent transport network have been adequately assessed and managed having regard to:
- (i) visibility and safe sight distances;
 - (ii) existing and future traffic conditions including speed, volume, type, current accident rate, and the need for safe manoeuvring;
 - (iii) proximity to and operation of intersections;
 - (iv) existing pedestrian numbers, and estimated future pedestrian numbers having regard to the level of development provided for in this Plan; and

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- (v) existing community or public infrastructure located in the adjoining road, such as bus stops, bus lanes and cycleways;
- (b) The location and capacity of infrastructure servicing:
- (i) the extent to which stormwater, wastewater, water supply, electricity and telecommunication infrastructure needs to be provided to adequately service the nature and staging of anticipated development within the application area; and
- (ii) the extent to which stormwater management methods that utilise low impact stormwater design principles and improved water quality systems are provided.
- (c) The effects on the recreation and amenity needs of the users of the precinct and surrounding residents through the provision of and pedestrian and/or cycle connections:
- (i) ~~The~~ extent to which the design demonstrates the staging of wider network improvements to public open space, including covered plaza, open spaces, pedestrian walkways and cycleway linkages including:
- the layout and design of open space and connections with neighbouring streets and open spaces;
 - integration with cultural landmarks, ~~scheduled buildings~~ Oakley Hospital Main Building, identified historic buildings, ~~scheduled~~ identified trees and historic heritage in and adjacent to the precinct; and
- ~~(d) the extent to which the location, physical extent and design of open space meets the demand of future occupants of the site and is of a high quality, providing for public use and accessibility, views, sunlight access and wind protection within the application area. [Deleted]~~
- (ii) the extent to which the location, physical extent and design of open space meets the demand of future occupants of the site and is of a high quality, providing for public use and accessibility, views, sunlight access and wind protection within the application area.
- ~~(e)~~ (e) The location of land use activities within the development:
- (i) the extent to which the location and staging of anticipated activity types and/or the location, orientation or layout of buildings avoids or mitigates potential conflicts between activities within the subject land area; and
- (ii) opportunities to establish community facilities for future occupants of the site and for the wider community are encouraged within the development.
- ~~(f)~~ (f) The location and physical extent of parking areas and vehicle access:

Commented [PR130]: s42A Section 8.5

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- (i) ~~F~~the extent to which parking, loading and servicing areas are integrated within the application area taking account of location and staging of anticipated activity types.

~~(g)(f)~~ (g) The staging of development and the associated resource consent lapse period:

- (i) ~~W~~whether the proposal adequately details the methods by which the demolition and development of the site will be staged and managed to compliment the proposed open space, road and lane network and to avoid, remedy or mitigate adverse effects associated with vacant disused areas of the site.

~~(h)(g)~~ (h) The location and form of building footprints and envelopes:

- (i) the assessment criteria of the zone standards for new buildings and/or alterations and additions to buildings apply; ~~and~~
- (ii) the extent to which the new buildings or alterations and additions to buildings are consistent with the elements of ~~the p~~Precinct plan ~~1 and~~ Policy I334.3(15A), including the location of the transport network, open spaces and infrastructure; ~~and~~
- (iii) the extent to which buildings that do not comply with the bulk and location and amenity controls demonstrate that the ground floor of a building fronting a street or public open space provides interest for pedestrians and opportunities for passive surveillance of the public realm.
- (iv) Whether buildings activate the adjoining street or public open space by:
- being sufficiently close to the street boundary and of a frontage height that contributes to street definition, enclosure and pedestrian amenity;
 - having a pedestrian entrance visible from the street and located sufficiently close to reinforce pedestrian movement along the street;
 - providing a level of glazing that allows a reasonable degree of visibility between the street/public open space and building interior to contribute to pedestrian amenity and passive surveillance;
 - ~~avoiding~~minimising blank walls at ground level; and
 - providing convenient and direct entry between the street and the building for people of all ages and abilities.
- (v) Whether dwellings located on the ground floor of a building adjoining a street or public open space positively contribute to the public realm while achieving privacy and a good standard of amenity for occupiers of the dwelling, in particular by:
- providing balconies over-looking the street or public open space;

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- providing a planted and/or fenced setback to the street or public open space. Landscaping or fencing should be low enough to allow direct sightlines from a pedestrian in the street or public open space to the front of a balcony; and
 - raising the balcony and floor plate of the ground floor dwellings above the level of the adjoining street or public open space to a height sufficient to provide privacy for residents and enable them to overlook the street or public open space.
- (vi) The extent to which development that does not comply with the amenity controls demonstrates that:
- landscaping, including structural tree planting and shrubs, defines the street edge, delineates pedestrian routes and mitigates adverse visual and pedestrian amenity effects caused by access ways, parking and service areas. Whether landscaping is planted to ensure sight lines to or from site entrances are not obscured; and
 - where the side or rear yard controls are infringed, any adverse visual amenity and nuisance effects on neighbouring sites are mitigated with screening and landscaping.
- (i) Building scale and dominance (bulk and location):
- (i) the extent to which buildings that exceed the building height, ~~height in relation to boundary, and maximum building coverage~~ demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to:
- streets and public open spaces;
 - adjoining sites, particularly those with residential uses; and
 - the proposed building;
- (ii) the extent to which such buildings meet policies in the Special Purpose - Tertiary Education Zone and ~~Wairaka Te Auaunga~~ Precinct;
- (iii) the extent to which the building is not visually dominating when viewed from the street, neighbouring sites, public open spaces and from distant locations;
- (iv) ~~the~~ the extent to which buildings on corner sites demonstrate that additional building mass and height is appropriate in that location and makes a positive contribution to the streetscape;
- (v) whether activities and buildings that do not comply with the outlook control demonstrate that:
- ~~(vi)~~ occupants are provided with a good standard of outlook and privacy between useable/occupied spaces on the same and adjacent sites;

~~(vii)~~ the building positively contributes to passive surveillance of the street, rear/sides of site and streetscape amenity; and

~~(viii) where the requirements of the outlook control are met, whether such buildings adversely affect the amenity of any complying new/ existing development on an adjoining site. [deleted]~~

~~(vi) where the requirements of the outlook control are met, whether such buildings adversely affect the amenity of any complying new/ existing development on an adjoining site.~~

(5) For development that does not comply with Standard I334.6.14 (3): Boundary setback in respect of buildings within Sub-precinct A or Standard I334.6.10: Height in relation to boundary.

For buildings which infringe Standard I334.6.14(3) Boundary Setback

(a) the extent to which a landscaped buffer between buildings and activities and adjoining land is maintained to mitigate adverse visual effects;

(b) landscaping that is maintained is of sufficient quality as to make a positive contribution to the amenity of the outlook to the site from neighbouring land;

(c) whether the design recognises the functional and operational requirements of the intended use of the building, including providing for security.

For buildings which infringe Standard I334.6.10 Height in relation to boundary

(d) the extent to which buildings that exceed the height in relation to boundary standard demonstrate that the height, location and design of the building allows reasonable sunlight and daylight access to adjoining sites, particularly those with residential uses;

(e) the extent to which such buildings are consistent with the policies in the Special Purpose – Healthcare Facility and Hospital Zone, the Wairaka Precinct – General, and the Wairaka Precinct – Sub-precinct A; and

(f) the extent to which buildings as viewed from adjoining sites are designed to reduce visual dominance effects, overlooking and shadowing and to maintain privacy.

(6) New buildings or additions to existing buildings within Sub-precinct A that increase the building footprint by more than 20 per cent or 200m² GFA (whichever is the lesser), that are located within 10m of the eastern boundary.

Where buildings do not abut the street frontage

(a) the extent to which the visual effects of the building are screened by landscaping, comprising the planting of a mixture of closely spaced trees, shrubbery and ground cover;

(b) the extent to which the design of the building and the design of the interface between the building and the adjacent street contributes to a high quality visual amenity (including safety) outcome when viewed from the street while meeting the operational and functional requirements (including security) of the use of the building.

Where buildings do about the street

- (c) the extent to which the visual effects of the building are screened by landscaping;
- (d) the extent to which design features can be used to break up the bulk of the building by, for example varying building elevations, setting parts of the building back, and the use of architectural features to achieve a high quality outcome, without compromising the functional requirements of the use of the building;
- (e) the extent to which the design of safety measures together with the design of the interface between the building and the adjacent street provide for sensitive design in a high quality urban environment, while meeting the security requirements for the Mason Clinic;
- (f) the extent to which the ground floor of the building (where fronting a street) provides interest for pedestrians and opportunities for passive surveillance (including safety) of the public realm while ensuring the functional and operational requirements (including security) of the Mason Clinic;
- (g) the extent to which buildings respond to the policies contained in the Special Purpose - Healthcare Facility and Hospital zone, policies the Wairaka Precinct-General, and the Wairaka Precinct – Sub-precinct A;

All buildings

- (h) Those criteria contained in I33.7.2(3)(c) and (d).

(7) Subdivision of land for the purpose of construction and use of dwellings, excluding sub-precinct A and sub-precinct C residential units:

- (a) The extent to which subdivision boundaries align with the sub-precinct boundaries and with Precinct plan 1 (or with any approved road network).
- (b) The effect of the site design, size, shape, contour, and location, including existing buildings, manoeuvring areas and outdoor living space.
- (c) The effect of the layout, design and pattern of blocks and roads in so far as they contribute to enabling a liveable, walkable and connected neighbourhood;
- (d) The adequate provision and capacity of infrastructure is provided prior to occupation of the buildings.
- (e) The layout of sites provides safe, legible and convenient access to a legal road.

(8) For buildings that do not comply with one or more of Standards I334.6.17 to I334.6.25

- (a) for all infringements to standards:
 - (i) refer to Policy I334.3(45)
- (b) for building height:
 - (i) refer to Policy I334.3(41)
 - (ii) refer to Policy I334.3(45)

Commented [IS131]: Consequential on inclusion of new subdivision rules A34A and A34B

Commented [PR132]: Additional text suggested for clarity

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Visual dominance

- (iii) the extent to which buildings as viewed from the street or public places are designed to minimise visual dominance effects of any additional height, taking into account:
- the planned urban built character of the precinct; and
 - the location, orientation and design of development;
 - the effect of the proposed height on the surrounding and neighbouring development.

Character and Visual Amenity

- (iv) the extent to which the form and design of the building and any additional height responds to the planned form and existing character of the surrounding area, including natural landforms and features, and the coast
- (v) how buildings as viewed from the street or public places are designed to appear against the skyline, taking into account:
- whether roof plan, services and equipment are hidden from views; and
 - whether the expression of the top of the building provides visual interest and variation.
- (c) for height in relation to boundary:
- (i) refer to Policy I334.3(41)
- (ii) refer to Policy I334.3(45)

Sunlight access

- (iii) whether sunlight access to the outdoor living space of an existing dwelling on a neighbouring site satisfies the following criterion:
Four hours of sunlight is retained between the hours of 9am – 4pm during the Equinox (22 September):
- over 75% of the existing outdoor living space where the area of the space is greater than the minimum required by Standard I334.6.24; or
 - over 100% of existing outdoor living space where the area of this space is equal to or less than the minimum required by Standard I334.6.24 .
- (iv) in circumstances where sunlight access to the outdoor living space of an existing dwelling on a neighbouring site is less than the outcome referenced in I334.8.2(8)(b)(v):

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- the extent to which there is any reduction in sunlight access as a consequence of the proposed development, beyond that enabled through compliance with Standard I334.6.19 Height in relation to boundary control; and
- the extent to which the building affects the area and duration of sunlight access to the outdoor living space of an existing dwelling on a neighbouring site, taking into account site orientation, topography, vegetation and existing or consented development.

Visual dominance

- (v) the extent to which buildings as viewed from the side or rear boundaries of adjoining residential sites or developments are designed to reduce visual dominance effects, taking into account:
- the planned urban built character of the zone;
 - the location, orientation and design of development;
 - the physical characteristics of the site and the neighbouring site;
 - the design of side and rear walls, including appearance and dominance; and
 - providing adequate visual and/or physical break up of long continuous building forms.

Overlooking and privacy

- (vi) the extent to which direct overlooking of a neighbour's habitable room windows and outdoor living space is minimised to maintain a reasonable standard of privacy, including through the design and location of habitable room windows, balconies or terraces, setbacks, or screening.

(d) for yards:

- (i) refer to Policy I334.3(41)
- (ii) refer to Policy I334.3(43)
- (iii) the extent to which buildings set back from water bodies maintain and protect environmental, open space, amenity values of riparian margins of lakes, streams and coastal areas and water quality and provide protection from natural hazards.

(e) for building coverage:

- (i) refer to Policy I334.3(41)
- (ii) refer to Policy I334.3(43)
- (iii) whether the non-compliance is appropriate to the context, taking into account:
 - whether the balance of private open space and buildings is consistent with the existing and planned urban character anticipated for the precinct;
 - the degree to which the balance of private open space and buildings reduces onsite amenity for residents, including the useability of outdoor living areas and functionality of landscape areas;
 - the proportion of the building scale in relation to the proportion of the site.

(f) for landscaped area:

- (i) refer to Policy I334.3(41)
- (ii) refer to Policy I334.3(43)
- (iii) refer to Policy H5.3(10) or Policy H6.3(10) and
- (iv) the extent to which existing trees are retained.

(g) for outlook space:

- (i) refer to Policy I334.3(1)
- (ii) refer to Policy I334.3(43)
- (iii) refer to Policy I334.3(44)
- (iv) The extent to which overlooking of a neighbour's habitable room windows and private and/or communal outdoor living space can be minimised through the location and design of habitable room windows, balconies or terraces and the appropriate use of building and glazing setbacks and/or screening which is integrated part of the overall building design.

(h) for outdoor living space:

- (i) refer to Policy I334.3(41);
- (ii) refer to Policy I334.3(44); and
- (iii) the extent to which dwellings provide private open space and communal open space that is useable, accessible from each dwelling and attractive for occupants.

(i) for windows facing the street:

- (i) refer to Policy I334.3(43)

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(ii) the extent to which the glazing:

- allows views to the street and/or accessways to ensure passive surveillance;
and
- provides a good standard of privacy for occupants.

~~(8) Four or more dwellings within Sub Precinct C~~

~~i. Assessment criteria H5.8.2(2) and H6.8.2(2) apply~~

~~ii. The extent to which the development achieves the purpose of the Residential Density Standard I334.6.21.~~

Commented [IS133]: MDRS incorporation, Auckland Council 68.1

Commented [PR134]: Not an activity controlled through the precinct except to apply additional, precinct-specific, controls. Clause 2(2) Sch 3A does not apply to 4 or more dwellings since it is not a P

I334.9 Special information requirements

An application for any subdivision or development must be accompanied by:

Integrated Transport Assessment

(A1) Prior to any proposed developments which would result in more that will increase the total number of dwellings within the precinct to greater than 3,000 dwellings within the precinct, an assessment of the then actual transport characteristics compared to the ITA assumptions shall be provided. If the transport network and generation is not consistent with the assumptions within the precinct ITA, then an updated ITA is required prior to residential development in excess of 3,000 dwellings.

Commented [IS135]: Open Space For Future Aucklanders - 25.50

(1) As part of any southern road connection (public or private), the first subdivision resource consent application in the Business—Mixed Use or residential zones (other than for controlled activities) or land use resource consent application for any development greater than 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² in the residential zones, proposed development that will increase the total number of dwellings within the precinct to greater than result in the precinct exceeding 4,000 dwellings, the applicant is required to produce a new integrated transport assessment for the precinct. An updated integrated transport assessment for the precinct will be required for all further development in excess of 2,500m² gross floor area in the Business—Mixed Use Zone or greater than 1,000m² gross floor area in the residential zones, unless that additional development was assessed as part of an Integrated Transport Assessment that is not more than two years old.

Commented [IS136]: Open Space For Future Aucklanders - 25.50

Water supply and wastewater Infrastructure Capacity Assessment

Commented [IS137]: Watercare - 45.3

(2) As part of any proposed development that will increase the total number of dwellings within the precinct to greater than 4,000 dwellings, the applicant is required to produce a bulk water supply and wastewater Infrastructure Capacity Assessment for the precinct to demonstrate there is sufficient capacity in the wider water and wastewater reticulated network.

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- (3) As part of any proposed development, a schedule must be provided which confirms the total dwelling numbers approved for resource consent within the precinct at the time the application is made. The purpose of this is to keep a current record of the number of dwellings within the precinct.

Stormwater Management Plan

Commented [IS138]: Ngā Ringa o Te Auaunga - Friends of Oakley Creek - 94.15

- (4) As part of land use applications for development within the precinct, information must be provided to demonstrate how stormwater will be managed in accordance with the stormwater management plan for the precinct.
- ~~(1) The following applies to land use consent applications for the land in the precinct:—[Deleted]~~
- ~~(a) as part of the first land use consent application (excluding developments of less than 1,000m² gross floor area in the Special Purpose—Tertiary Education Zone; and developments less than 2,500m² in the Business—Mixed Use and Terrace Housing and Apartment Buildings zones), a comprehensive stormwater management plan which considers the appropriateness of any identified stormwater quality and quantity management devices to service the development must be prepared for all the land in the precinct.~~
- ~~(b) the comprehensive stormwater management plan must be prepared in accordance with the information requirements in Requirement I334.9(3) below.~~
- ~~(c) this standard does not apply where the land use application is in accordance with a subdivision consent previously approved on the basis of a previously approved comprehensive stormwater management plan~~
- ~~(2) A stormwater management plan that:—[Deleted]~~
- ~~(a) demonstrates how stormwater management will be managed across the precinct or development to avoid, remedy or mitigate adverse effects;~~
- ~~(b) applies an integrated stormwater management approach, consistent with Policy E1.3.(10);~~
- ~~(c) identifies any areas of on-site stormwater management and provides for these in development and subdivision;~~
- ~~(d) identifies the location, extent and of any infrastructure, including communal stormwater management devices and any proposed new or upgrades to infrastructure;~~

- ~~(e) integrates/interfaces with the wider stormwater network, including that outside of the precinct; and~~
- ~~(f) demonstrates compliance with the Council's relevant codes of practise and infrastructure standards; OR~~
- ~~(3) Demonstrate how stormwater will be managed in accordance with the stormwater management plan prepared for the precinct. [Deleted]~~

An application for development ~~that is or is not generally in accordance with the precinct plan and Policy I334.3(15A),~~ must include the following:

- (1) Plans showing:
 - (a) the overall context of the subject land area relative to existing buildings, public open space and transport connections and any approved buildings and approved framework plans generally;
 - (b) where changes are intended, the relationship of site contours to existing and proposed streets, lanes, any public open space shown;
 - (c) building footprints, profiles and height relative to existing and proposed streets, lanes and any existing or proposed public open space;
 - (d) the location and layout of ~~public~~ open space areas ~~to be associated with the development proposed (within the control of the landowner or leaseholder),~~ including the general location of soft and hard landscaping areas, such as ~~parks~~, pocket parks, plazas, pedestrian linkages, walkways, covered plazas and linking spaces that complement the existing public open space network;
 - (e) the location and layout of vehicle access, entries, exits, parking areas, ~~emergency access~~ including number of spaces and loading and storage areas;
 - (f) the location and layout of services and infrastructure;
 - (g) the location and function of pedestrian, cycling and vehicle routes to and within the precinct, and their relationship to other areas. This must include representative street and lane cross sections showing the width of footpaths, cycle paths and traffic lanes;
 - (h) the general location and function of existing and proposed streets and lanes, including cross-sections where applicable; and
 - (i) indicative location and layout of proposed sites, including their site areas and buildings types.
- (2) Proposed building profile and height as viewed from all existing and proposed street frontages, existing and proposed public open spaces. For the purpose of this requirement, building profile means two-dimensional and three-dimensional building block elevations and building cross-sections showing:

Commented [PR139]: Changes to align with new open space standard proposed s42A Section 8.3

Commented [IS140]: Fire and Emergency New Zealand - 24.2

- (a) overall building form and height (as opposed to detailed design);
 - (b) indicative proposed floor to ceiling heights of each building storey;
 - (c) areas at ground level adjoining public open space intended to be available for active uses; and
 - (d) areas of walls likely to contain windows for principal living areas of accommodation units to demonstrate how the outlook space development control will be met.
- (3) A landscape management plan for any landscaped areas to be covenanted, public open space landscaping, roads and streetscapes and walkways. The plan must provide details on:
- (a) range of appropriate plant species ~~schedules~~;
 - (b) planting specifications including individual tree planting locations; ~~[deleted]~~
 - (c) weed control and management;
 - (d) implementation; and
 - (e) the location and design of public seating, vehicle barriers, signage, pedestrian lighting, litter receptacles, and other amenity features in line with crime prevention through environmental design principles.
- ~~(4) An infrastructure and stormwater management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding infrastructure and servicing, including: [Deleted]~~
- ~~(a) location and extent of infrastructure, including areas of on-site stormwater management (if applicable) and integration/interface with the wider precinct;~~
 - ~~(b) any proposed new or upgrade to infrastructure;~~
 - ~~(c) staging of development; and~~
 - ~~(d) compliance with the Council's relevant codes of practise and infrastructure standards.~~
- ~~(5) A traffic management plan that demonstrates how the development will meet the controls and assessment criteria in this precinct regarding traffic generation and management, including: [Deleted]~~
- ~~(a) a traffic management assessment demonstrating how the precinct will manage traffic demand, alternate transport options, connections to public transport and key connections to and within the precinct; and~~
 - ~~(b) be prepared in accordance with current best practise guidelines adopted by Auckland Transport.~~
- (6) The general location of activity types with potential to influence the staging and design of development across the subject land area including:

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- (a) general proposed activity types at activity interfaces, including activity types to be established adjacent to existing lawful activities (including industrial activities); and
- (b) proposed staging of demolition, earthworks and building development, and where information is available, the staging of public open space.

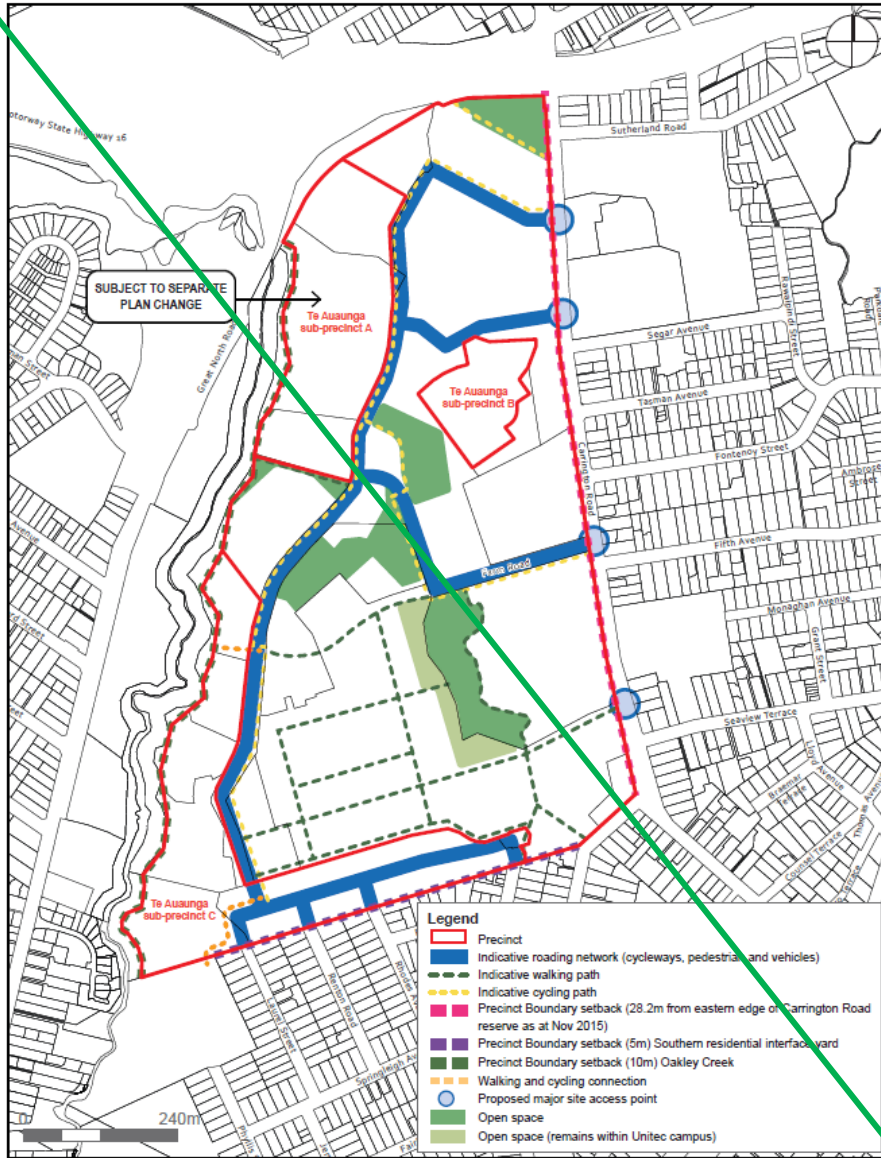
Open Space

- (1) As part of land use applications for development including dwellings within the precinct, information must be provided confirming the quantum and location of open space at a ratio of 20m² per dwelling for all dwellings located in the Precinct, existing and proposed.

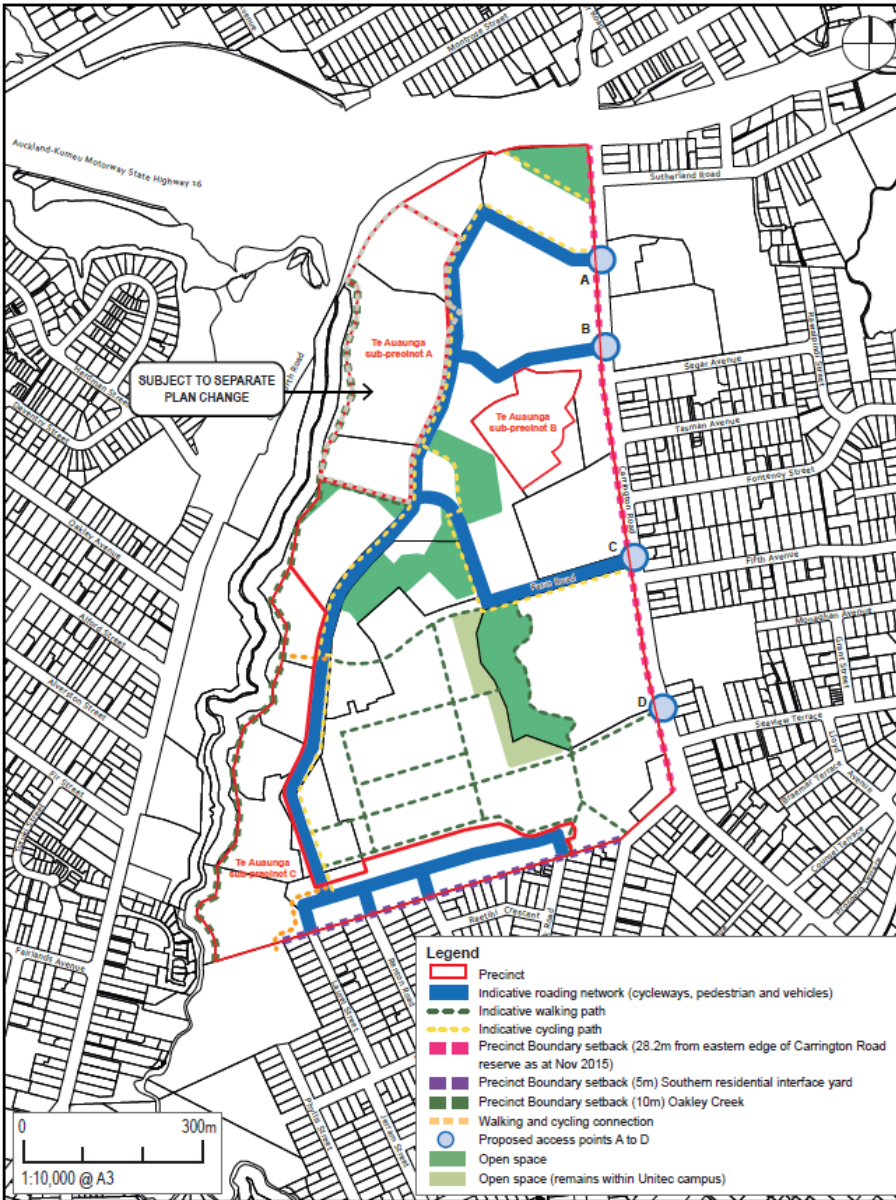
I334.10 Precinct plans

I334.10.1 ~~Wairaka~~Te Auaunga: Precinct plan 1

Commented [IS141]: Ngāti Whatua Orakei - 105.1

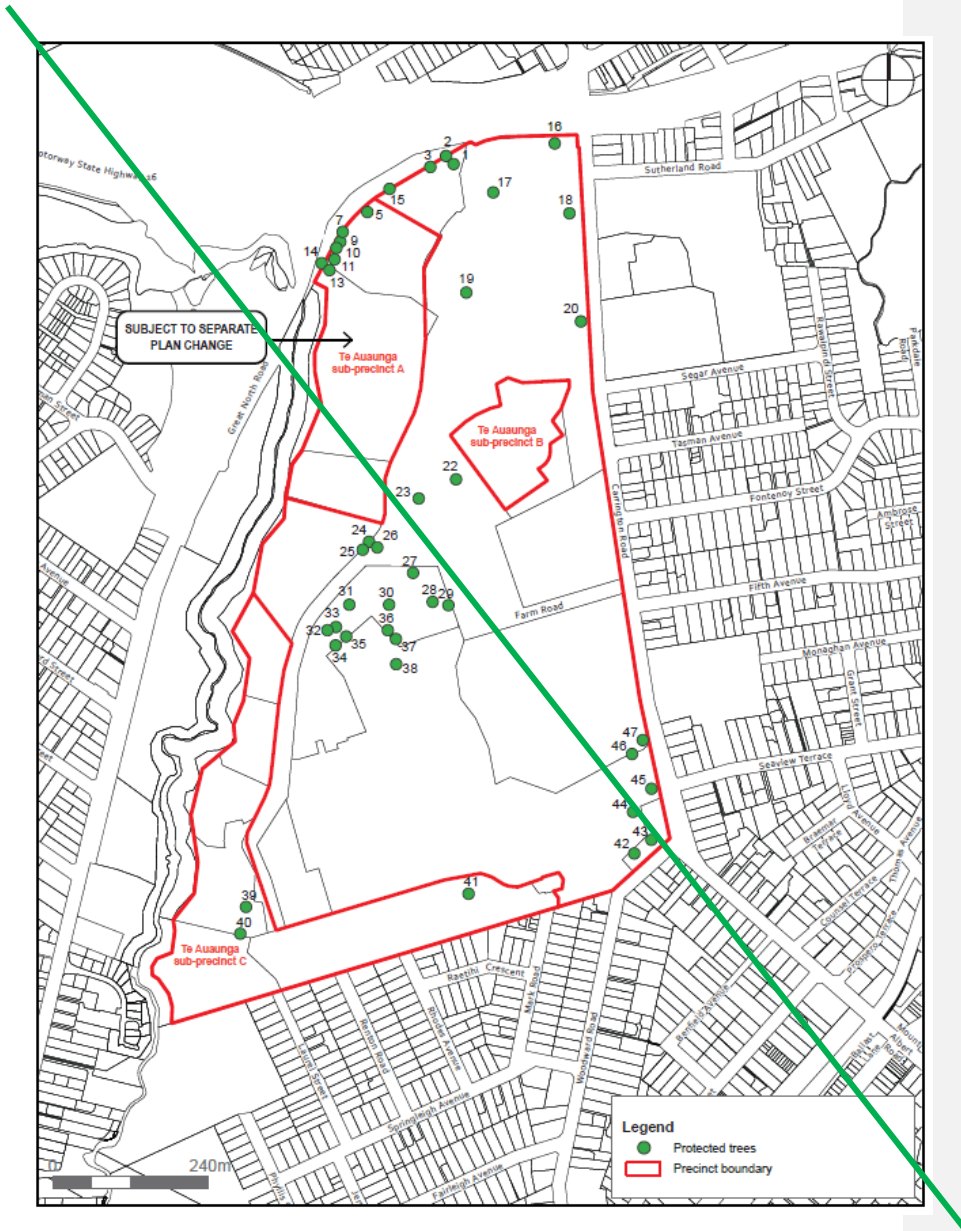


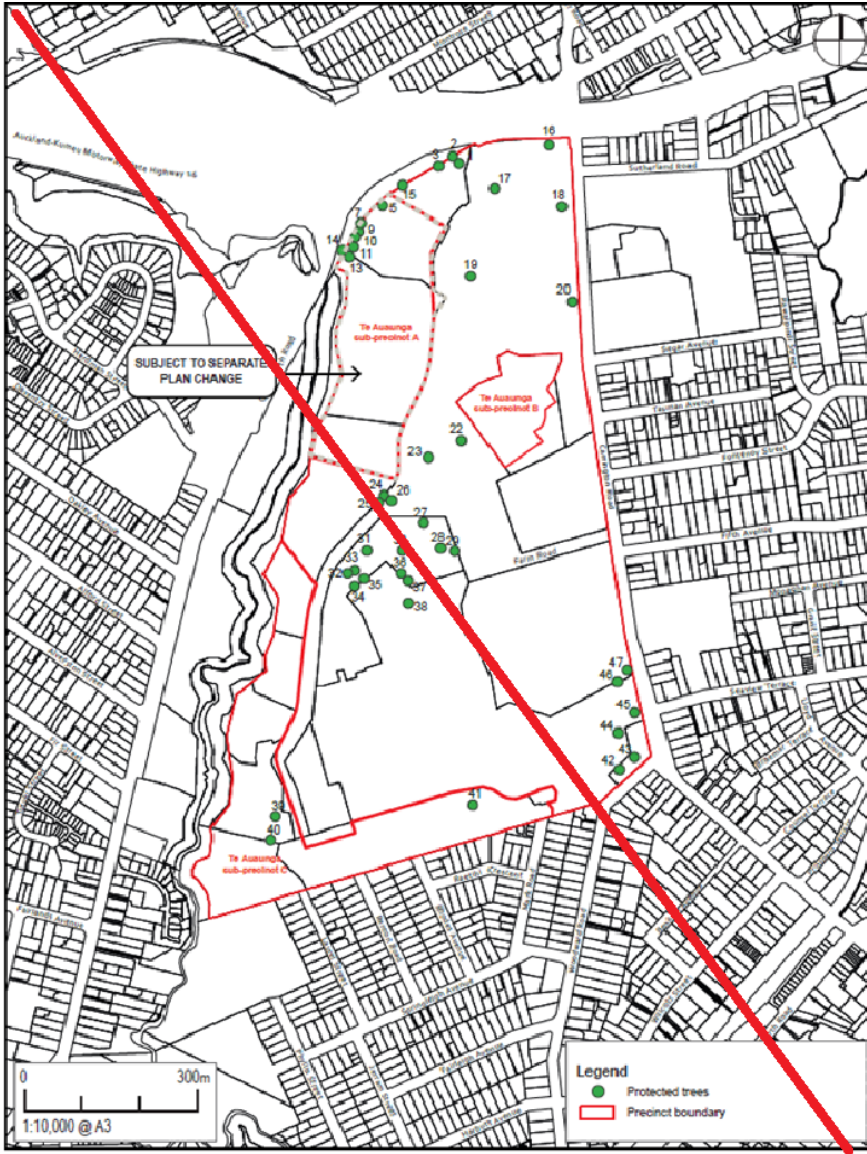
I334 Wairaka Te Auaunga Precinct



I334.10.2 Wairaka Te Auaunga: Precinct plan 2 – Protected Trees

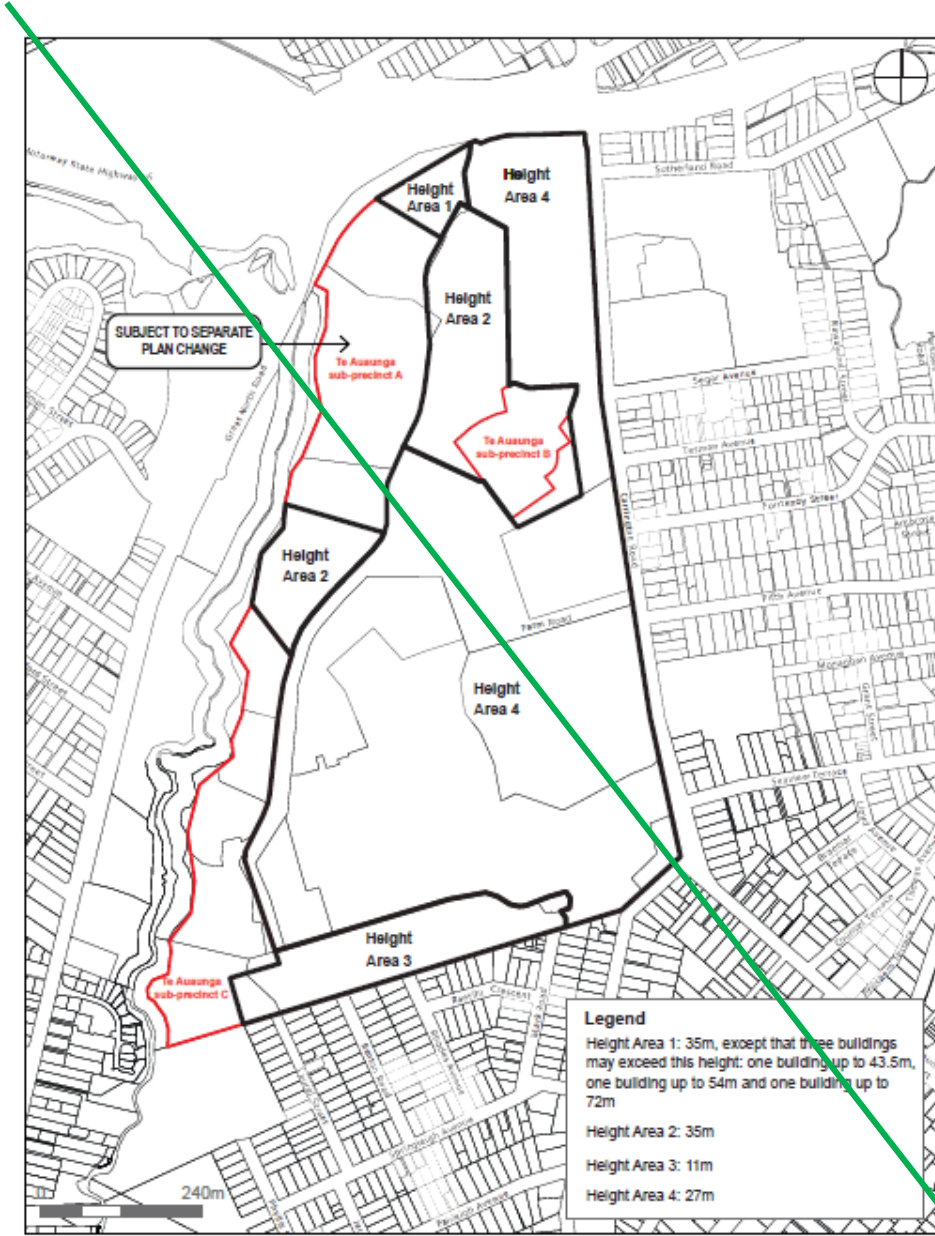
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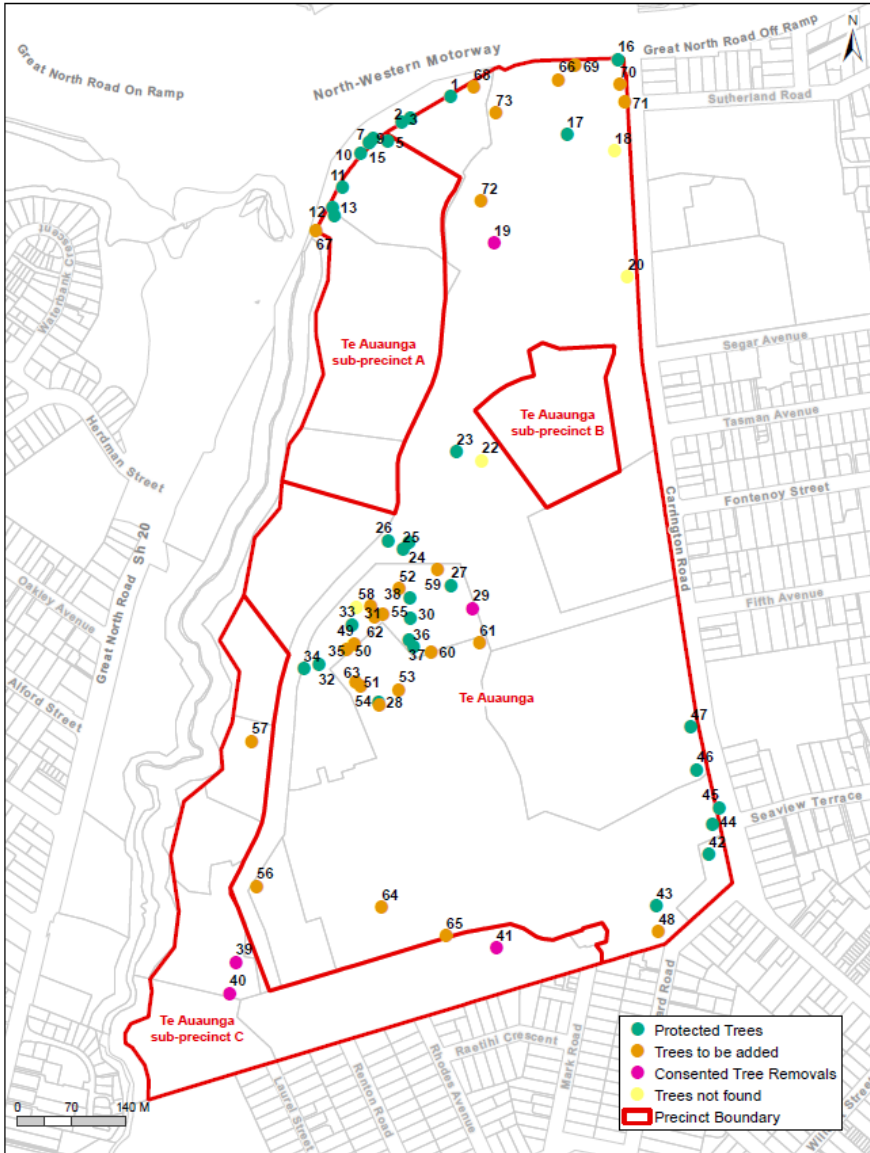
I334.10.3 Te Auaunga Wairaka: Precinct plan 3 – Te Auaunga Wairaka Additional Height Plan

Commented [IS143]: Ngati Whatua Orakei - 105.1



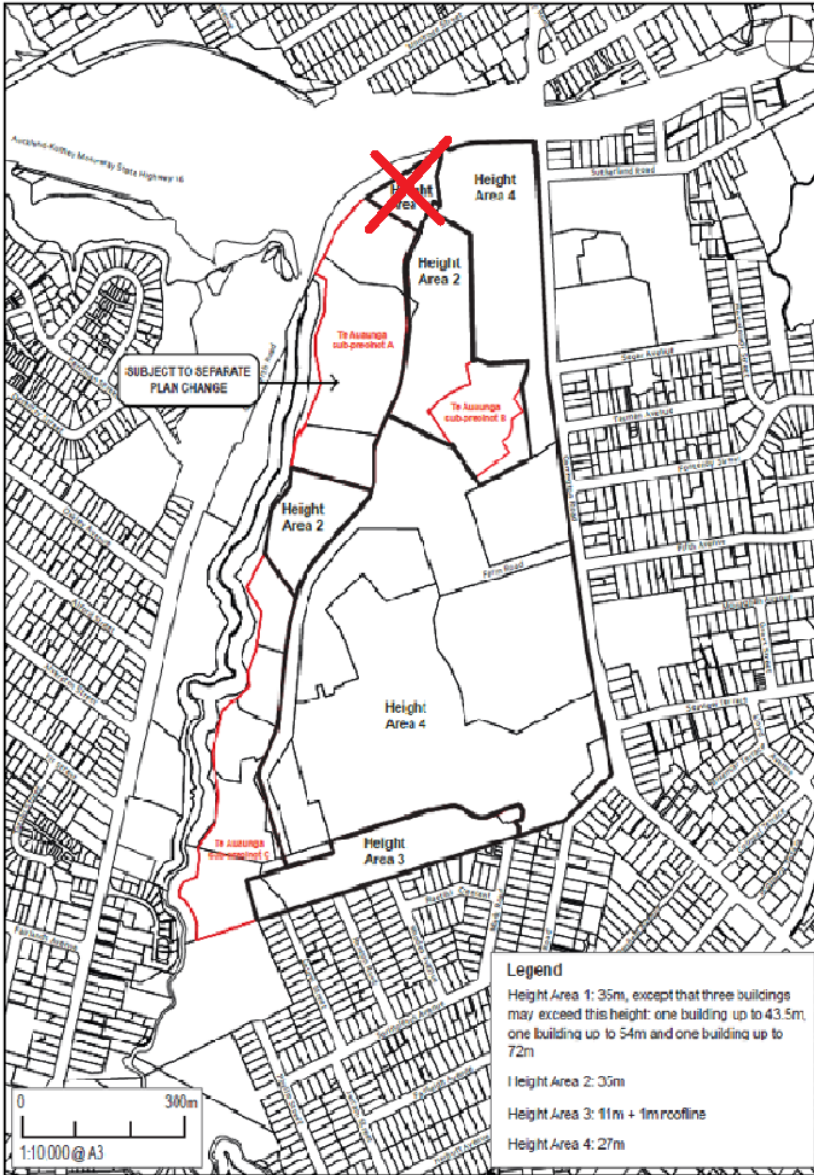
I334 Wairaka ~~Te Auaunga~~ Precinct

This Plan (s42A Recommendation Version) is interim (to be confirmed)

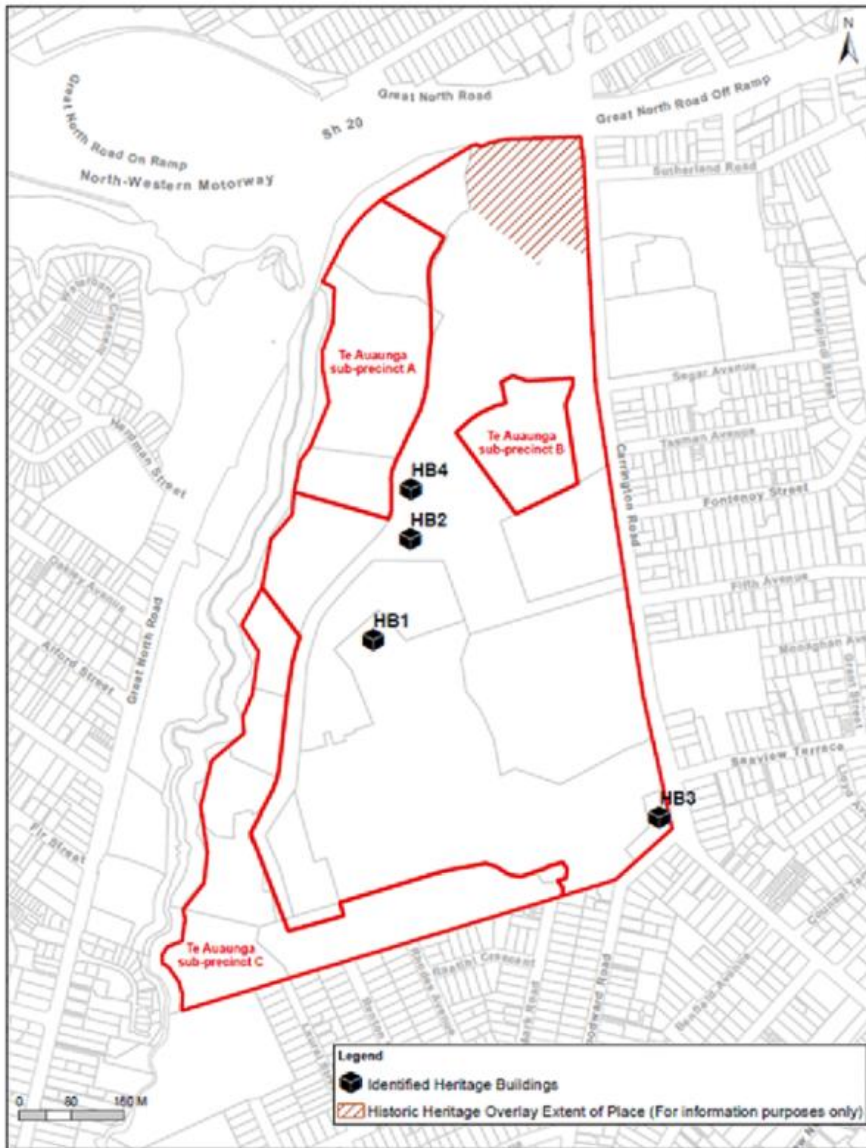


Te Auaunga : Precinct plan 2 - Trees





S42A Recommended Precinct Plan 4



Te Auaunga : Precinct plan 4- Identified Historic Buildings

APPENDIX 9

Draft Recommendations on submissions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Toni Farrow	78.1	Infrastructure	[Inferred] provide adequate infrastructure and schools	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
NZ Notable Trees Trust	15.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline
Diana Dolensky	30.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Approve the plan change and make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jenny Pullar	35.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Leonard Matthews	44.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Dean	46.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sue Shearer	52.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Judy Keats	62.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
The Tree Council	79.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which	Neutral, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Josephine Williams	155.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sandesh Heinicke	183.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Pamela J McFarlane	224.12	Master Plan	[Inferred] Require a masterplan to enable the public to evaluate detailed plans for the open space designs, including which trees will be retained.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Pia Jaaskelainen	75.1	Infrastructure	[Inferred] Seeks adequate infrastructure including schools.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Michael Thomas Browne	4.1	Master Plan	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Jennifer Ward	6.3	Master Plan	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Vivek B	11.3	Master Plan	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Emma Chapman	13.3	Master Plan	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Deborah Yates-Forlong	36.3	Master Plan	[Inferred] Seeks clarity on the overall intensity of development via a master plan	Decline the plan change, but if approved, make the amendments requested	Decline
Sara Remnerth	97.1	Infrastructure	[Inferred] Seeks adequate provision for infrastructure, schools and other facilities	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Linda Martin	165.2	Educational Facilities	Add a school	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Danielle Chew	86.1	Educational Facilities	Add school facilities	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Samuel John Stewart	10.1	Support as Proposed	Additional housing intensification is required in Auckland.	Approve the plan change without any amendments	Accept
Alice Mary Coventry	231.1	Educational Facilities	Allow for schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Gael Baldock	219.2	Community Facilities	Allow space for amenities, e.g. a public pool	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Gael Baldock	219.1	Educational Facilities	Allow space for schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.66	Provisions	Amend 1334.8.2.(1) Assessment criteria [Restricted discretionary activities] by reinstating clauses (a) to (f) for retail (including food and beverage) activities. Refer to Schedule 1, point 136	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.12	Zoning / Provisions	Amend Objective 1334.2 (1) as follows: <i>The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for <u>open space</u>, growth, change and diversification of activities that provide a high level of amenity within the Precinct and the surrounding area</i> . Refer to Schedule 1, point	Decline the plan change, but if approved, make the amendments requested	Decline
Ministry of Education	230.1	Educational Facilities	Amend Objective 3 on the basis that the development needs to be supported by education facilities (not just tertiary education facilities). Refer to submission.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.26	Zoning / Provisions	Amend Objective I334.2 (2) as follows: <i>Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further resource consents for residential development or new buildings being granted.</u></i>	Decline the plan change	Decline
Geoffrey John Beresford	124.13	Zoning / Provisions	Amend Objective I334.2 (2) as follows: <i>Comprehensive planning and integrated development of all sites within the precinct is achieved <u>prior to further resource consents for residential development or new buildings being granted.</u></i>	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.30	Zoning / Provisions	Amend Objective I334.2(10) in relation to creating an integrated urban environment. Refer to Schedule 1, points 31 - 35	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.31	Zoning / Provisions	Amend Objective I334.2(11) as follows: <i>Provide for retail, food and beverage, and commercial services, <u>and community activities in identified locations as shown on Precinct Plan 1 (as sought to be amended by the Society) to serve local demand ...</u></i>	Decline the plan change	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.52	Zoning / Provisions	Amend Policy I334.3(28) to require provision of a masterplan prior to the granting of consents for residential dwellings. Refer to Schedule 1, point 43 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.44	Zoning / Provisions	Amend Policy I334.3(28) to require provision of a masterplan prior to the granting of consents for residential dwellings. Refer to Schedule 1, point 74 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.45	Zoning / Provisions	Amend Policy I334.3(29) to provide for community activities within the precinct to minimise vehicle trips. Refer to Schedule 1, point 45 for details	Decline the plan change, but if approved, make the amendments requested	Decline

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.53	Zoning / Provisions	Amend Policy I334.3(29) to provide community activities within the precinct to minimise vehicle trips. Refer to Schedule 1, point 44 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.25	Zoning / Provisions	Amend Policy I334.3(7) as follows: <i>Provide for a mix of residential and business activities which will enable development of a residential core well-functioning urban environment within the Precinct</i>	Decline the plan change, but if approved, make the amendments requested	Accept
Open Space for Future Aucklanders Incorporated (the Society)	25.37	Zoning / Provisions	Amend Policy I334.3(7) as follows: <i>Provide for a mix of residential and business activities which will enable development of an intensive residential core to a well-functioning urban environment in the Te Auaunga Precinct</i>	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.22	Zoning / Provisions	Amend Precinct Plan 1 to include a small scale community and retail centre located in the central part of Precinct	Decline the plan change	Decline
Geoffrey John Beresford	124.72	Zoning / Provisions	Amend Zoning Map to zone land to give effect to the amendments.	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.3	Site Intensity	Assess traffic and other infrastructural constraints to place a hard limit on the proposed number of dwellings	Decline the plan change, but if approved, make the amendments requested	Decline
Karen Burge	92.2	Educational Facilities	Build a primary school	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Esther and Ross Vernon	206.8	Site Intensity	Create 30m reserve around the creek for a park	Decline the plan change	Decline
Matt	176.1	Plan Change Opposes	Decline the plan change	Decline the plan change	Decline
Yolande Joe	191.3	Educational Facilities	Ensure children will be able to be accommodated in local schools or a new school built within the precinct.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.9	Zoning / Provisions	Identify all resource management issues.	Decline the plan change	Decline
Annabel Firth	80.1	Educational Facilities	Identify provision for schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Greta Yardley	113.2	Educational Facilities	Include a school	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Kate Rensen	132.6	Section 32	More planning and consultation by developers and council is required		Decline
Marnie Patten	148.5	Educational Facilities	New school required	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Samantha Smith	133.3	Facilities and Infrastructure (General)	No provisions for facilities or services such as medical, community and social support	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Ngāi Tai ki Tāmaki	142.1	Support as Proposed	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāi Tai ki Tāmaki	Approve the plan change without any amendments	Decline on the basis that amendments are made
The Ngāti Tamaoho Settlement Trust	63.1	Support as Proposed	Opportunity for development of land will achieve cultural, social and economic objectives for Ngāti Tamaoho.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Akitai Waiohū Investment Trust	12.1	Support as Proposed	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohū	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Akitai Waiohū Waka Taua Incorporated	17.1	Support as Proposed	Opportunity for development of land will achieve cultural, social and economic objectives for Te Akitai Waiohū	Approve the plan change without any amendments	Decline on the basis that amendments are made
Waiohū Tamaki Ropu (Waiohū)	67.1	Support as Proposed	Opportunity for development of land will achieve cultural, social and economic objectives for Waiohū.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Brigitte Lambert	157.8	Zoning / Provisions	Opposes Business - Mixed Use as it delivers poor outcomes for future residents	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Leon Lu	2.1	Provisions	Opposes development that may compromise future use for education	Decline the plan change	Decline
Morgan O'Hanlon	175.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Sophie Bostwick	87.2	Educational Facilities	Opposes due to local schools being near capacity	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Lucianne Holt	77.1	Zoning / Provisions	Opposes due to a massive change from current plan	Decline the plan change	Decline

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Natalie Munro	119.3	Educational Facilities	Opposes due to effects on capacity of schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Emma John	108.2	Educational Facilities	Opposes due to effects on schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Liz Sertsou	109.2	Educational Facilities	Opposes due to effects on schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Bobby Willcox	111.1	Educational Facilities	Opposes due to effects on schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jessica Tucker	114.1	Educational Facilities	Opposes due to effects on schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Rachel Neal	137.1	Facilities and Infrastructure (General)	Opposes due to effects on schools, infrastructure, traffic	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Judy Dale	128.1	Facilities and Infrastructure (General)	Opposes due to effects on schools, infrastructure, traffic, open space	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Helen Ruth Scott	154.1	Facilities and Infrastructure (General)	Opposes due to effects on services, infrastructure, schools, open space and traffic	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Julia Halpin	123.1	Facilities and Infrastructure (General)	Opposes due to effects on that infrastructure can't cope, schools at capacity, need to protect green spaces, increase in crime	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Warren McQuoid	117.1	Educational Facilities	Opposes due to effects on that schools can't cope	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Portia Lawrence	126.3	Educational Facilities	Opposes due to effects on the capacity of schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Karen Oliver	200.3	Educational Facilities	Opposes due to impact on educational facilities	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Iain Oliver	203.3	Educational Facilities	Opposes due to impact on educational facilities	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Colin Robert Symonds	127.1	Facilities and Infrastructure (General)	Opposes due to impact on services, no consultation with service providers	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Natalie Munro	119.5	Facilities and Infrastructure (General)	Opposes due to inadequate infrastructure, facilities and services	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Sarah Bailey	85.2	Urban Design	Opposes due to inadequate community infrastructure, including open space, schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Philippa Wright	212.3	Facilities and Infrastructure (General)	Opposes due to inadequate supporting infrastructure	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Lyndsey Francis	215.1	Facilities and Infrastructure (General)	Opposes due to insufficient services and facilities to support it.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jessica Tucker	114.2	Medical Services	Opposes due to insufficient doctors	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Lisa Paulsen	186.5	Facilities and Infrastructure (General)	Opposes due to insufficient facilities community hub, medical and social facilities etc), public open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Rochelle Sewell	164.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure including social infrastructure (i.e. schools, libraries). Applicant to report on consultation with crown agencies particularly the Ministry of Education	Approve the plan change with the amendments requested	
Phillip Anderson	156.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Rachel Mulhern	159.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Evie Mackay	174.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Malcolm Lay	178.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Tracey Brown	188.3	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Sarah Mavor	197.2	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Joanna Spratt	207.2	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Amy Johns	213.2	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Cameron Michael Owens	158.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure including schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jill Chestnut	160.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure including schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Elizabeth Hill	204.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure, in particular schools	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Stuart Duncan	167.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities and infrastructure, including schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Amanda Thery	216.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, green space and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Abbe Vaughan	221.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, green space and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Maria Cepulis	220.5	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, green space, schools and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Caroline Botting	199.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Damian Vaughan	218.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Alexandra	173.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Philippa Martin	171.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jo Tilley	180.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Louise Punt	185.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Fabricia Foster	214.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, green space and infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Rebecca Lawson	225.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, including schools, traffic effects, infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Anna Gillan	189.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Alexandra Dare	190.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Bridget Judd	198.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Anke Blundell	211.1	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, open space and infrastructure	Decline the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Gordon Horsley	187.4	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, public open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Marcus Cameron	181.4	Facilities and Infrastructure (General)	Opposes due to insufficient facilities, public open space and infrastructure	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Private Name	227.1	Facilities and Infrastructure (General)	Opposes due to insufficient green space, roading infrastructure	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Rochelle Taylor	163.1	Facilities and Infrastructure (General)	Opposes due to insufficient green spaces, carparks, facilities and infrastructure. Provisions must be in place before development can occur	Decline the plan change	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Roberta Schmulian	84.1	Educational Facilities	Opposes due to insufficient provision for schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jo Kleiner	116.2	Facilities and Infrastructure (General)	Opposes due to lack of facilities and road infrastructure	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Cameron Nicholas	202.1	Facilities and Infrastructure (General)	Opposes due to lack of infrastructure,	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jo Kleiner	116.1	Educational Facilities	Opposes due to lack of schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Campbell Hodgetts	118.3	Educational Facilities	Opposes due to local schools being ill-equipped to deal with influx of new students	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Samantha Smith	133.1	Educational Facilities	Opposes due to no allocation for schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Lisa Paulsen	186.4	Educational Facilities	Opposes due to no land zoned for educational facilities	Decline the plan change	Decline
Kate Rensen	132.3	Educational Facilities	Opposes due to no land zoned for schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Bryce Long	140.3	Educational Facilities	Opposes due to no land zoned for schools	Decline the plan change	Decline
Tim Strawbridge	168.1	Educational Facilities	Opposes due to no plan for school zones	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Doris Fryer	146.1	Facilities and Infrastructure (General)	Opposes due to no planning, services or infrastructure to support the project including schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Christina Miskimmons	122.1	Educational Facilities	Opposes due to no plans as infrastructure, schools can't cope.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Lucianne Holt	77.2	Educational Facilities	Opposes due to no plans for an additional school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Kerrin Brown	177.3	Educational Facilities	Opposes due to no proposed school	Decline the plan change	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Katherine McCallum	195.2	Educational Facilities	Opposes due to no school planned	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Helen Fitness	89.3	Educational Facilities	Opposes due to no schools planned	Decline the plan change	Decline except to the extent accommodated in changes to provisions
David Ross and Wendy Beverley Allan	184.1	Educational Facilities	Opposes due to no schools provided	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Xenia Marcroft	107.2	Infrastructure	Opposes due to not enough infrastructure and services including schools and medical centres	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Rebecca Mora	205.1	Opposed	Opposes due to over-population of the area and lower land value	Decline the plan change	Decline
Campbell Hodgetts	118.2	Facilities and Infrastructure (General)	Opposes due to pressure on infrastructure, roads, services	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Claire Sutton	121.1	Facilities and Infrastructure (General)	Opposes due to roads, schools and infrastructure can't cope	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Michelle Strawbridge	192.1	Educational Facilities	Opposes due to schools being near capacity	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tim Strawbridge	168.5	Zoning / Provisions	Opposes due to the Business-Mixed zoning not being appropriate, distance of buildings from roads and streams	Decline the plan change	Decline
School of Architecture, Unitec Te Pukenga	18.1	Section 32	Opposes due to the lack of a masterplan or relevant information with sufficient information on trees and tree protection, key	Decline the plan change	Decline
Joanna Waddington	83.1	Urban Design	Opposes due to the need for community services	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Sarah Harris	141.1	Educational Facilities	Opposes due to there being no provision for at least a primary school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Alice Wong	147.1	Educational Facilities	Opposes due to there being no school zone	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Kirsten Millen	76.2	Educational Facilities	Opposes due to there being no space for schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Bryce Long	140.4	Zoning / Provisions	Opposes the Business-Mixed Use Zone	Decline the plan change	Decline
Natalie Munro	119.4	Zoning / Provisions	Opposes the Business-Mixed Use Zone as having inappropriate design controls	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Kate Rensen	132.4	Zoning / Provisions	Opposes the Business-Mixed Use zoning due to poorer outcomes	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Portia Lawrence	126.4	Zoning / Provisions	Opposes the Business-Mixed Use zoning due to poorer outcomes for residents	Decline the plan change, but if approved, make the amendments requested	Decline
Dennis Katsanos	51.1	Zoning / Provisions	Opposes zoning change to Business -Mixed Business	Decline the plan change	Decline
Springleigh Residents Association	57.3	Section 32	Prepare an evidence statement that includes presentations, written material and minutes of meetings between the applicant and the Albert-Eden local board and councillors on the rezoning proposal. Request the Albert-Eden local board and councillors present evidence on boundary setbacks, Oakley Creek Significant Ecological Area, Marine Significant Ecological Area, transport, open space, social and ecological effects. Refer to submission for further detail.	Decline the plan change	Decline
Springleigh Residents Association	57.2	Section 32	Proposed rezoning must be heard by the Environment Court.	Decline the plan change	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.3	Master Plan	Provide a visionary and detailed masterplan	Support, subject to amendments	Decline
Geoffrey John Beresford	124.1	Master Plan	Provide a comprehensive masterplan prior to any resource consents for residential buildings being granted.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
John Stevenson	170.2	Master Plan	Provide a comprehensive masterplan which details the open space requirements for projected 12,000 new residents	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Trevor Keith Crosby	5.2	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Wendy Gray	22.2	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Moe Richardson	23.2	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Carolyn Walker	29.5	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)		Decline except to the extent accommodated in changes to provisions
Ngati Awa, Te Tawera Hapu	32.2	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Rohan MacMahon	37.5	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Chris Calvert	61.3	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.3	Master Plan	Provide a masterplan that gives context to the placement of significant community services, facilities, and open space (whether public or private)	Approve the plan change with the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.7	Master Plan	Provide a masterplan to identify buildings and activities, including clarification of the future use of Taylor's Laundry site	Decline the plan change	Decline
Springleigh Residents Association	57.4	Consultation	Provide a report on the public consultation by HUD, Auckland Council and iwi that summarises community issues.	Decline the plan change	Decline

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Evelyn McNamara	100.2	Educational Facilities	Provide a school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Cameron Nicholas	202.2	Educational Facilities	Provide a school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Eileen Su	209.1	Educational Facilities	Provide a school	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Donna Schofield	101.3	Educational Facilities	Provide a school onsite for ages 5 to 18.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Phillip Anderson	156.3	Educational Facilities	Provide for a school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Brigitte Lambert	157.1	Educational Facilities	Provide for a school	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Kate Saunders	201.1	Educational Facilities	Provide for schools	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Rochelle Sewell	164.3	Facilities and Infrastructure (General)	Provide green solutions to absorb stormwater including sufficient setbacks from the river and engaging Friends of Oakley Creek as a strategic partner with council	Approve the plan change with the amendments requested	Decline
Springleigh Residents Association	57.1	Section 32	Provide improved, detailed and accessible information (including a table of activities and activity status, and a marked up	Decline the plan change	Decline
Ronald Philip Tapply	135.4	Educational Facilities	Provision for a school needs to be considered	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.5	Section 32	Request for alternatives to the proposed rezoning be considered and evaluated in order to avoid major negative effects. Request	Decline the plan change	Decline
Wendy Gray	22.6	Site Intensity	Restrict the building of apartments [household units] to 4000.	Decline the plan change, but if approved, make the amendments requested	Decline

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Danielle Chew	86.4	Zoning / Provisions	Rezone correctly - Business Mixed used but largely plan for houses	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.8	Section 32	Seek that the 'agreements' between the Ministry of Housing and Urban Development and the Mason Clinic are requested	Decline the plan change	Decline
Waterview School	226.1	Educational Facilities	Seeks a "Special Purposes-School Zone" to facilitate a new primary school on the site.	Neutral, Seeks amendments	Decline
Beverley Gay Crosby	7.2	Master Plan	Seeks a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Clement Richer	3.1	Master Plan	Seeks a master plan	Decline the plan change	Decline
Anna Radford	14.1	Master Plan	Seeks a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Kerry Stuart Francis	16.1	Master Plan	Seeks a master plan	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tom Ang	19.2	Master Plan	Seeks a master plan	Decline the plan change	Decline
Rebekah Phillips	31.2	Master Plan	Seeks a master plan	Approve the plan change with the amendments requested	Decline
St Lukes Environmental Protection Society Inc (STEPS)	72.3	Master Plan	Seeks a master plan prepared in consultation with the community	Approve the plan change with the amendments requested	Decline
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.6	Master Plan	Seeks a master plan that will give context to educational facilities	Decline the plan change	Decline
Lisa Paulsen	186.2	Zoning / Provisions	Seeks a residential zone, not a business-mix zone	Decline the plan change	Decline
Liveable Communities Inc	179.4	Master Plan	Seeks an overall plan, including established trees and open space areas, and incorporating community input.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Esther and Ross Vernon	206.3	Business	Seeks another grocery store	Decline the plan change	Decline except to the extent accommodated in changes to provisions

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Esther and Ross Vernon	206.5	Educational Facilities	Seeks another school	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Watercare Services Limited	45.1	Section 32	Seeks clarification about ultimate development yield to understand what wastewater and water supply needs will be	Neutral, Seeks clarification / amendments	Accept, to the extent accommodated in changes to provisions
Brigitte Lambert	157.2	Facilities and Infrastructure (General)	Seeks clarification that infrastructure will be upgraded.	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Karine David	96.3	Master Plan	Seeks clarity on the overall intensity of development via a master plan	Decline the plan change, but if approved, make the amendments requested	Decline
Ann Hatherly	21.2	Master Plan	Seeks clarity on the overall intensity of development via a master plan and services	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Hai-Ling Khor	229.1	Educational Facilities	Seeks provision for schooling	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Renee Mathews Gladstone Primary School Board of Trustees (Gladstone Primary)	99.1	Educational Facilities	Seeks that adequate provision be made for schools	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
	20.1	Educational Facilities	Seeks that greater provision be made for education facilities	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Civic Trust Auckland	223.2	Site Intensity	Seeks that the level of intensification and height proposals should be balanced with sufficient open space and trees.	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions
Ronald Philip Tapply	135.3	Zoning / Provisions	Seeks that the areas be residential	Decline the plan change	Decline
Esther and Ross Vernon	206.6	Community Facilities	Seeks that the library should be restored	Decline the plan change	Decline
Michelle Strawbridge	192.4	Zoning / Provisions	Seeks that zoning should be residential, not business-mixed	Decline the plan change	Decline

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Ngati Whatua Orakei Whai Rawa Limited	105.1	Zoning / Provisions	Seeks to approve the plan change subject to rezoning the small area of land identified to Business Mixed Use (and subsequent amendments to Precinct Plan 1) by removing the land from	Approve the plan change with the amendments requested	Accept
Esther and Ross Vernon	206.7	Open Space	Set density at 3,000 new homes	Decline the plan change	Decline
Te Auaunga Precinct Residents and Apartment Dwellers Association	161.3	Support as Proposed	Strongly support the identification of areas within the precinct where additional height can be accommodated.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Auaunga Precinct Residents and Apartment Dwellers Association	161.4	Support as Proposed	Strongly support the proposed additional development controls around wind, separation of buildings, and the	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	161.6	Provisions	Strongly support the proposed amendments to the precinct provisions to equitably redistribute retail provision within the precinct (excluding Sub-Precinct A – the Mason Clinic) due to the redistribution of land from Special Purpose: Tertiary Education to zoning that enables housing development. The same overall retail cap is maintained.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	161.2	Support as Proposed	Strongly support the proposed amendments to the precinct provisions to promote Māori economic development as a key objective for the precinct.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	161.1	Support as Proposed	Strongly supports rezoning from 'Special Purpose: Tertiary Education' to Business - Mixed Use.	Approve the plan change without any amendments	Decline on the basis that amendments are made
Penelope Hansen	138.1	Support as Proposed	Support development of site for families in need of housing	Support as Proposed	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.13	Zoning / Provisions	Support Policy I334.3(28) Integrated Development	Support, subject to amendments	Accept

1. Planning					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
St Lukes Environmental Protection Society Inc (STEPS)	72.10	Zoning / Provisions	Supports change of zoning from Business; Mixed Use and Residential Mixed Housing Urban to allow for greater use of the land and development of more housing	Approve the plan change with the amendments requested	Accept
Geoffrey William John Hinds	28.1	Housing	Supports creating additional affordable housing in Auckland	Approve the plan change with the amendments requested	Accept
Marnie Patten	148.1	Support as Proposed	Supports plan to build more houses for Aucklanders	Decline the plan change	Accept
The Ngāti Tamaoho Settlement Trust	63.3	Zoning / Provisions	Supports proposed zoning and provisions	Approve the plan change without any amendments	Decline on the basis that amendments are made
Ngāi Tai ki Tāmaki	142.3	Zoning / Provisions	Supports the proposed zoning and provisions	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Akitai Waiohau Investment Trust	12.3	Zoning / Provisions	Supports the proposed zoning and precinct provisions	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Akitai Waiohau Waka Taua Incorporated	17.3	Zoning / Provisions	Supports the proposed zoning and provisions	Approve the plan change without any amendments	Decline on the basis that amendments are made
Te Kawerau a Maki & Te Wai O Raka Development GP Limited	66.3	Zoning / Provisions	Supports the proposed zoning and provisions	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Waiohau Tamaki Ropu (Waiohau)	67.3	Zoning / Provisions	Supports the proposed zoning and provisions	Approve the plan change without any amendments	Decline on the basis that amendments are made
Trevor Keith Crosby	5.5	Zoning / Provisions	Supports zone change from educational to Business - Mixed Use.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.4	Zoning / Provisions	Supports zone changes.	Approve the plan change with the amendments requested	Accept to the extent accommodated in changes to provisions
Te Kawerau a Maki & Te Wai O Raka Development GP Limited	66.2	Support as Proposed	Surplus tertiary education land can be developed for residential activity	Approve the plan change with the amendments requested	Accept to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Carolyn Walker	29.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jennifer Diane Goldsack	38.1	Urban Design	[Inferred] opposes due to urban design effects	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Trevor Keith Crosby	5.4	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jennifer Ward	6.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Vivek B	11.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Emma Chapman	13.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Deborah Yates-Forlong	36.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Rohan MacMahon	37.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Karine David	96.2	Built Form	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Karen Burge	92.1	Urban Design	[Inferred] Seeks that housing intensity be reduced	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.67	Zoning / Provisions	Amend I334.7.2 (2) Assessment criteria as follows: <i>Subdivision</i> (a) <i>the extent to which subdivision boundaries align...</i> (c) <i>The effect of the site design, size, shape, contour, and location, including the effects on existing buildings, and the ability to provide adequate manoeuvring areas, and outdoor living space and spaciousness between buildings in the precinct.</i> (d) The adequate provision of ...	Decline the plan change	Decline
Geoffrey John Beresford	124.63	Zoning / Provisions	Amend 1334.8.1(2) Matters of discretion [Restricted discretionary activities] - Parking Buildings. Retain the existing provisions. Refer to Schedule 1, points 128 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.72	Zoning / Provisions	Amend 1334.8.2 Assessment criteria by reinstating clauses (1)(a) to (f) for retail (including food and beverage) activities, deleting clause (1B) for buildings in the height areas identified on precinct plan 3 and to add new criteria for parking buildings and structures. Refer to Schedule 1, point 83	Decline the plan change	Decline
Geoffrey John Beresford	124.61	Zoning / Provisions	Amend I334.8.1 (1A) . Matters of Discretion [Restricted discretionary activities]- New buildings which comply with Standard I334.6.4 Height. Refer to Schedule 1, points 109-126 for details	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.68	Zoning / Provisions	Amend I334.8.1 (1A) Matters of discretion for New buildings which comply with Standard I334.6.4 Height. Refer to Schedule 1, points 76-79 for details	Decline the plan change	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.69	Built Form	Amend I334.8.1(1B) Matters of discretion for Buildings within the Height Areas identified on Precinct Plan 3 ... 72m. Refer to Schedule 1, point 80 for details	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.33	Zoning / Provisions	Amend Objective I334.2(13) as follows: <i>Provide for <u>graduated heights with increased heights</u> only in the topographically lower parts of the precinct in appropriate parts of the precinct so as to provide greater housing choice, increase land efficiency, benefit from the outlook from the precinct, and create 'landmark' buildings in the north western part of the precinct.</i>	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.27	Zoning / Provisions	Amend Objective I334.2(3) as follows: <i>A mix of residential, business, tertiary education...is provided which maximises the efficient and effective use of land and provides for a variety of <u>terraced housing and low to mid rise apartments</u> built form typologies.</i>	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.14	Zoning / Provisions	Amend Objective I334.2(3) as follows: <i>A mix of residential, business, tertiary education...is provided which maximises the efficient and effective use of land and provides for a variety of <u>terraced housing and low to mid rise apartments</u> built form typologies.</i>	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.36	Zoning / Provisions	Amend Policy (27) as follows: Manage potential adverse amenity effects from buildings at the precinct boundary by: (a)... (c) Require graduated building heights and locate higher buildings away from the precinct boundary <u>boundaries that adjoin the Mixed Housing Suburban residential areas to the south of the precinct.</u>	Decline the plan change	Accept
Springleigh Residents Association	57.25	Zoning / Provisions	Amend Policy 6 by deleting reference to 'high density' typologies. Refer to page 53 of the submission for details.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.26	Zoning / Provisions	Amend Policy 7 to remove reference to 'an intensive residential core' from the description of the mix of residential activities. Refer to page 53 of the submission for details.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.40	Zoning / Provisions	Amend Policy I 334.3(13) to strengthen landscaping and urban design considerations for new buildings, structures and infrastructure or additions to buildings. Refer to Schedule 1, point 29 for details.	Decline the plan change	Decline
Geoffrey John Beresford	124.29	Zoning / Provisions	Amend Policy I 334.3(13) to strengthen the standard of amenity for new building from high to exemplary. Refer to Schedule 1, point 51 for details.	Decline the plan change, but if approved, make the amendments requested	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.7	Zoning / Provisions	Amend Policy I334.3(14) that in relation to built form and character, proposals should be sympathetic to the surrounding landscape. Refer to page 6 of the submission for details.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.41	Zoning / Provisions	Amend Policy I334.3(14) widen the application of landscaping and design considerations across the entire precinct. Refer to Schedule 1, point 30 for details	Decline the plan change	Accept, to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.30	Zoning / Provisions	Amend Policy I334.3(14) widen the application of landscaping and design considerations to apply across the entire precinct. Refer to Schedule 1, point 30 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.42	Zoning / Provisions	Amend Policy I334.3(14A) to address the amenity of the existing community . Refer to Schedule 1, point 31 for details.	Decline the plan change	Decline (policy deleted)
Open Space for Future Aucklanders Incorporated (the Society)	25.44	Zoning / Provisions	Amend Policy I334.3(14B) to limit taller buildings to the central part of the precinct only. Refer to Schedule 1, point 33 for details	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.51	Zoning / Provisions	Amend Policy I334.3(27) as follows: <i>Manage potential adverse effects from buildings at the precinct boundary by:</i> <i>(a) Establishing a 5m yard..</i> <i>(c) Require graduated building heights and locate higher buildings <u>only in topographically low areas and away from the precinct boundaries.</u></i> <i>(d) <u>Set back buildings from Carrington Road and provide for reduced height along the Carrington Road frontage.</u></i>	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.43	Zoning / Provisions	Amend Policy I334.3(27) in relation to managing potential adverse effects from buildings at the precinct boundary. Refer to Schedule 1, points 71-73 for details	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.14	Zoning / Provisions	Amend Policy I334.3(40) by removing reference to passive surveillance from buildings of public land within Te Auaunga Valley.	Support, subject to amendments	Decline
Geoffrey John Beresford	124.24	Zoning / Provisions	Amend Policy I334.3(6) as follows: Encourage a mix of residential lifestyles and a <u>variety</u> of housing typologies to cater for a	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.36	Zoning / Provisions	Amend Policy I334.3(6) as follows: Encourage a mix of residential lifestyles and <u>variety</u> of housing typologies to cater for a	Decline the plan change	Accept, to the extent accommodated in changes to provisions

2. Height and Built Form					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.57	Zoning / Provisions	Amend Standard I334.6 10 Building to building set back. Refer to Schedule 1, point 104 for details	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.64	Zoning / Provisions	Amend Standard I334.6 10 Building to building set back. Refer to Schedule 1, point 71	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.65	Zoning / Provisions	Amend Standard I334.6. 11 Maximum Tower Dimension Refer to Schedule 1, points 72 and 73 for details	Decline the plan change	Decline (standard deleted)
Geoffrey John Beresford	124.53	Zoning / Provisions	Amend Standard I334.6. 5 Landscaping. Refer to Schedule 1, point 100 for details	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.60	Zoning / Provisions	Amend Standard I334.6. 5 Landscaping. Refer to Schedule 1, point 66	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.66	Zoning / Provisions	Amend Standard I334.6.13 Carrington Road Boundary setback. Refer to Schedule 1, point 74 for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.52	Zoning / Provisions	Amend Standard I334.6.4 Height Refer to Schedule 1, point 99 for details	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.59	Zoning / Provisions	Amend Standard I334.6.4 Height in respect of heights on Carrington Road. Refer to Schedule 1, point 65	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.54	Zoning / Provisions	Amend Standard I334.6.6 Precinct boundary setback to retain Carrington Road setback. Refer to Schedule 1, point 101 for	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.61	Zoning / Provisions	Amend Standard I334.6.6 Precinct boundary setback to retain Carrington Road setback. Refer to Schedule 1, point 67	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.7	Built Form	Assess the visual effects of the proposed tower including area of potential impact, selection of viewpoints, seasonal	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.3	Built Form	Avoid the adverse effect of dominance of buildings on open space.	Decline the plan change	Accept, to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Cameron Nicholas	202.3	Urban Design	Buildings are too tall	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Dan Blanchon	88.3	Climate Change / Weather Events	Decrease in buildings and increase in quality green spaces (including trees)	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.69	Zoning / Provisions	Delete I334.8.(1A) Assessment criteria [Restricted discretionary activities] New buildings under I334.4.1(A21C) that	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.58	Zoning / Provisions	Delete Standards I334.6.11.1 Maximum Tower Dimensions and I334.6.11.2 Wind. Refer to Schedule 1, point 105 for	Decline the plan change, but if approved, make the amendments requested	Accept / Decline to the extent accommodated in changes to provisions
Springleigh Residents Association	57.47	Zoning / Provisions	Delete I334.6.4 (1) Height in its entirety.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.62	Zoning / Provisions	Delete I334.8.1 (1B). Matters of Discretion [Restricted discretionary activities] - Buildings within the height areas identified	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.67	Zoning / Provisions	Delete I334.8.2 (1B) Assessment criteria [Restricted discretionary activities]- Buildings within the height areas identified	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.21	Zoning / Provisions	Delete Objective I334.2(13) relating to Height Area 1. Refer to Schedule 1, point 37 for details	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.31	Zoning / Provisions	Delete Policy I334.3(14A) relating the provision of taller buildings in the north-west par of the precinct.	Decline the plan change, but if approved, make the amendments requested	Accept
Geoffrey John Beresford	124.33	Zoning / Provisions	Delete Policy I334.3(14B) limiting taller buildings to the central part of the precinct only.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.49	Zoning / Provisions	Delete proposed new standard I334.6.10. Building to building set back.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.51	Zoning / Provisions	Delete proposed new standard I334.6.13. Sub-precinct A Northern Boundary setback.	Decline the plan change	Accept
Springleigh Residents Association	57.24	Zoning / Provisions	Delete proposed Objective (13) relating to increased building heights. Refer to page 53 of the submission for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.31	Zoning / Provisions	Delete proposed Policy (14B) providing for additional height in the central and northern parts of the precinct. Refer to page 54 of the submission for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.29	Zoning / Provisions	Delete proposed Policy: '(14A) relating to the provision for taller buildings in the north western part of the precinct. Refer to page 54 of the submission for details.	Decline the plan change	Accept
Sara Remnerth	97.2	Built Form	Develop a smaller part of the area, with lower building heights and with more green areas.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.4	Built Form	Ensure adequate separation of buildings, to avoid adverse effects on public open space, including on the public realm of road reserves, within and adjoining the Precinct.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.16	Urban Design	Ensure the Urban Design Assessment of Environmental Effects adequately identifies issues of urban design, and informs an urban design process with clearly stated principles, and with full information provided. An independent urban design assessment to be prepared for evidence exchange including the Oakley Creek and Marine Significant Ecological Areas, 'gateway', and 'landmark' requirements.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Campbell Hodgetts	118.1	Built Form	Hold development heights at lower levels as previously approved, including maintaining height restriction on and around Carrington Road frontage at 18m	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.10	Built Form	Increase and permanently maintain the no build setbacks along Carrington Road and increase the width of the building setback along the boundary of the precinct with Carrington Road.	Decline the plan change	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.17	Zoning / Provisions	Increase the area of land to be soft landscaped on sites.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.11	Landscape	Landscape and visual assessments are to follow Auckland Council guidelines and Waka Kotahi standards for Landscape and Visual Assessment in the Assessment of Environmental Effects. [Inferred] Provide a clear description of any mitigation measures relating to landscape and visual effects. Refer to submission for details.	Decline the plan change	Decline
Linda Martin	165.5	Built form	Limit buildings to six stories	Decline the plan change, but if approved, make the amendments requested	Decline
Tim Buchanan	145.1	Urban Design	Lower overall density to support less impacts on the environment and wider catchment	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Lisa Paulsen	186.3	Built Form	Opposes amendments to building heights	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Michelle Strawbridge	192.2	Built Form	Opposes CBD-like density and height	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Donna Schofield	101.1	Urban Design	Opposes due to higher density than originally planned and impacts on infrastructure and surrounding areas	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Timothy James Gibbs	144.2	Built Form	Opposes due to the proposed building heights being disproportionate	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Katherine McCallum	195.3	Urban Design	Opposes due to 70m height of buildings being out of place	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Philippa Wright	212.2	Built Form	Opposes due to buildings being too high	Decline the plan change, but if approved, make the amendments requested	Decline
Sophie Bostwick	87.3	Built Form	Opposes due to concerns about building design	Decline the plan change	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Kerrin Brown	177.6	Character / Amenity	Opposes due to concerns about where will rubbish bins go, how will trucks navigate	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Tim Strawbridge	168.2	Built Form	Opposes due to density and height being incongruous to any area outside the CBD	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Louise Tu'u	8.1	Character / Amenity	Opposes due to effects including on peace and quiet and property values	Decline the plan change	Decline
Kerrin Brown	177.7	Urban Design	Opposes due to effects of building height, including on mental health	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Kate Rensen	132.1	Built Form	Opposes due to effects of density and building heights	Decline the plan change, but if approved, make the amendments requested	Decline
Alice van der Wende	103.1	Urban Design	Opposes due to effects of homes and population increase with no additional resources	Decline the plan change	Decline
Evelyn McNamara	100.1	Urban Design	Opposes due to effects on amenity and quality	Decline the plan change	Decline
Natalie Munro	119.2	Character / Amenity	Opposes due to effects on natural beauty	Decline the plan change	Decline
Dianne Smyth	217.1	Urban Design	Opposes due to height not in fitting with surrounding suburbs	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Helen Gilligan-Reid	125.2	Open Space	Opposes due to more high rise buildings too close to Oakley Creek	Decline the plan change	Decline
Rachel Simpson	82.1	Urban Design	Opposes due to proposed building height and density	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Kirsten Millen	76.1	Built Form	Opposes due to proposed height and density	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Weicheng Huang	93.1	Urban Design	Opposes due to the change being 'too [crowded]	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Berys Spratt	228.2	Urban Design	Opposes due to the character change of significant increases in height including rejecting the 27m building height and keeping the 18m maximum height	Approve the plan change with the amendments requested	Decline
Maria Cepulis	220.1	Urban Design	Opposes due to the effects of 11m height; not being in keeping with the neighbourhood	Approve the plan change with the amendments requested	Decline

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Bryce Long	140.1	Built Form	Opposes due to the effects of density and building heights	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Tracey Brown	188.1	Built Form	Opposes due to the height of apartment buildings	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Ronald Philip Tapply	135.6	Built Form	Opposes due to the need for height restrictions	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Scott Whitten	149.1	Built Form	Opposes heights along southern boundary including daylight and shading, including on 13 and 24 Rhodes Ave	Decline the plan change	Decline
Sonny Rahman	95.1	Urban Design	Opposes high rise buildings	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jennifer Diane Goldsack	38.2	Built Form	Opposes proposed building heights of 35-72m	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.8	Built Form	Provide for a gradation of building heights with lower building heights along Carrington Road and taller building heights in the	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.18	Urban Design	Provide for exemplary quality urban design and landscaping within the Precinct.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.11	Built Form	Reduce height limits throughout the precinct (including 2, 3 4 and 5) and increase distances between buildings to maintain outlooks within the precinct and through the precinct. Delete Height Area 1 in its entirety or reduce the number and height of tall buildings.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.9	Built Form	Reduce or retain the existing height limit along Carrington Road and also increase the width of height limited area.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Greta Yardley	113.4	Built Form	Reduce the building height to a maximum of 5 stories.	Decline the plan change, but if approved, make the amendments requested	Decline

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.6	Built Form	Reduced height limits and increased distances between buildings are required.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.13	Urban Design	Request for more detailed visual assessment to include additional viewing points and photo simulations, cross-sections of existing and future landscapes, an independent visual and landscape assessment for evidence exchange, a technical assessment of adverse effects on the Oakley Creek and Marine Significant Ecological Areas, and the consideration of avoidance options for adverse landscape effects. Refer to submission for further detail.	Decline the plan change	Decline
Springleigh Residents Association	57.12	Landscape	Request further technical/expert assessments of landscape and visual effects as part of Assessment of Environmental Effects. Refer to submission for details.	Decline the plan change	Decline
Brigitte Lambert	157.7	Built Form	Restrict building height to no more than 27m and density of development	Neutral, Seeks amendments	Decline
Geoffrey John Beresford	124.7	Open Space	Restrict site coverage to provide greater landscaped areas an space for tall trees between buildings.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.12	Built Form	Restrict site coverage to provide greater landscaped areas and space between buildings.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.8	Built Form	Retain and extend existing tree protection provisions and increase the area of land required to be soft landscaped within the precinct.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Civic Trust Auckland	223.4	Built Form	Seeks a transition to greater heights for a more sensitive interface with the heritage building due to structures planned to be	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions

2. Height and Built Form					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Marutūāhu Rōpū	120.2	Built Form	Seeks additional increases to the building height standards beyond those contemplated within the Plan Change, notably that	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Nina Patel	182.4	Built Form	Seeks greater building setbacks along Carrington Road	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Ockham Group Limited	112.2	Built Form	Seeks increases to the building height standards beyond those contemplated within the Plan Change, notably that	Approve the plan change with the amendments requested	Decline
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.5	Built Form	Seeks lower height and greater setbacks due to effects on privacy, dominance and shading	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jennifer Gibbs	134.2	Built Form	Seeks no extension to building heights of tower blocks	Decline the plan change, but if approved, make the amendments requested	Accept
Esther and Ross Vernon	206.2	Built Form	Seeks that buildings should be no higher than 4 levels	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Christopher Casey	115.4	Built Form	Seeks that maximum heights be declined	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Alice Wong	147.2	Built Form	Seeks three stories maximum building height	Decline the plan change, but if approved, make the amendments requested	Decline
Nina Patel	182.1	Character / Amenity	Seeks to incorporate existing remaining landscape character, and its unique properties, intergrated into future development	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Te Whatu Ora Health New Zealand Waitemata	65.1	Zoning / Provisions	Seeks, to ensure consistency in respect of the application of the Precinct provisions: •Addition of a new rule A33A to Table 1334.4.1 - buildings or additions to buildings not complying with 1334.6.13 (as a non-complying activity), •Deletion of proposed (landscaping) standard 1334.6.16.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions

2. Height and Built Form

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.5	Urban Design	Significant changes are required to address the disasters waiting to happen along the Carrington Road Frontage and in regard to the extraordinarily tall and dominant buildings that the Change as proposed would enable.	Decline the plan change, but if approved, make the amendments requested	Decline
Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	161.5		Strongly support detailed design criteria to ensure all buildings, and particularly the higher buildings, achieve a high quality of design and functionality.	Approve the plan change without any amendments	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.6	Built Form	Support greater intensification provided buildings do not tower over Significant Ecological Areas within and adjoining the precinct and on adjacent reserve land (Te Auaunga (the valley)).	Support, subject to amendments	Decline except to the extent accommodated in changes to provisions
Ockham Group Limited	112.1	Built Form	Supports plan change and increases in building height.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Marutūāhu Rōpū	120.1	Built Form	Supports plan change and increases in building height.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
NZ Notable Trees Trust	15.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Diana Dolensky	30.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Approve the plan change and make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jenny Pullar	35.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Leonard Matthews	44.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Tina Dean	46.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sue Shearer	52.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Judy Keats	62.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
The Tree Council	79.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Neutral, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Josephine Williams	155.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sandesh Heinicke	183.9	Open Space	[Inferred] Confirm the stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Pamela J McFarlane	224.9	Open Space	stormwater function of the Southern Open Space to reconcile the statements in the Open Space Assessment at paragraphs 3.47 and 3.48.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Wendy Gray	22.3	Open Space	[Inferred] Seeks clarity on the effects of increased height, whether this will also allow for greater open space available to the community, or if it will just increase yield.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Ann Hatherly	21.3	Open Space	[Inferred] Seeks greater clarity about the placement and use of open space and protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jennifer Ward	6.4	Open Space	[Inferred] Seeks greater provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
School of Architecture, Unitec Te Pukenga	18.3	Open Space	[Inferred] Seeks greater provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Kerry Stuart Francis	16.3	Open Space	[Inferred] Seeks greater provision for open space and protection of Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Chris Calvert	61.2	Open Space	[Inferred] Seeks greater provision for open space as a result of the higher population enabled by the plan change	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Helen Gilligan-Reid	125.1	Open Space	[Inferred] Seeks more open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Jo Austad	196.2	Open Space	[Inferred] Seeks more open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Joanna Spratt	207.1	Open Space	[Inferred] Seeks more open space (concerned that open space does not meet WHO standards)	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Paul Tudor	129.1	Open Space	[Inferred] Seeks more open space and protection of Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Kate Rensen	132.2	Open Space	[Inferred] Seeks more open space and seeks a greater Te Auaunga-Oakley Creek building set back	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Berys Spratt	228.1	Open Space	[Inferred] Seeks more open space due to population increase enabled by the plan change (Opposes due to effects on that open space at 4m ² per person is below WHO	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Liz Sertsou	109.3	Open Space	[Inferred] Seeks more open space due to population increase enabled by the plan change.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Amy Johns	213.1	Open Space	[Inferred] Seeks more open space due to population increase enabled by the plan change.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Karen Burge	92.4	Open Space	[Inferred] Seeks protection of Sanctuary Gardens and provision of more open space generally, including close to creek	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
NZ Notable Trees Trust	15.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Diana Dolensky	30.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Approve the plan change and make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jenny Pullar	35.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Approve the plan change with the amendments requested	Decline
Dr Christine Joan Perkins	41.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Leonard Matthews	44.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Tina Dean	46.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Sue Shearer	52.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Judy Keats	62.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
The Tree Council	79.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Neutral, make the amendments requested	Decline
Josephine Williams	155.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Sandesh Heinicke	183.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Pamela J McFarlane	224.7	Open Space	Acknowledge and describe the relationship between the Te Auaunga Access Park and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.29	Zoning / Provisions	Add a new objective I334.2(7A) as follows: <u><i>The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.</i></u>	Decline the plan change	Decline except to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.17	Zoning / Provisions	Add a new objective I334.2(7A) as follows: <u>The amount of open space within the precinct is commensurate with the level of intensification planned both within the precinct and the surrounding suburbs.</u>	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.46	Zoning / Provisions	Add a new policy I334.3(15AA) to give effect to the amendments sought to Policy I334.3(15A). Refer to Schedule 1, point 36 for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.36	Zoning / Provisions	Add a new Policy I334.3(15AA) to give effect to the amendments sought to Policy I334.3(15A). Refer to Schedule 1, point 36 for details.	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.35	Zoning / Provisions	Add a new Policy I334.3.(15A) to add at least 7.1 ha of key open space (private) within the precinct. Refer to Schedule 1, point 59 for details.	Decline the plan change, but if approved, make the amendments requested	Decline
Rochelle Sewell	164.2	Open Space	Align provision for green space with council's broader open space strategy	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.75	Zoning / Provisions	Amend I334.10.1 Precinct Plan 1 to secure open space and maintain amenity within the precinct and surrounding areas. Refer to Schedule 1, point 86 for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.60	Zoning / Provisions	Assessment criteria [Controlled Activities] to retain reference to Policy 15A and expand the criteria relating to site requirements. Refer to	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.57	Zoning / Provisions	Amend Notification I334.5(2) to reinsert reference to policy [I334.3] 15A	Decline the plan change	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.25	Zoning / Provisions	Amend Objective I334.2 (1) as follows: <i>The provision for a high quality of tertiary education institution and accessory activities in the precinct is continued, while also providing for <u>open space</u>, growth, change and diversification of activities <u>that provide a high level of amenity within the Precinct and the surrounding area</u>.</i> Refer to Schedule 1, point	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.34	Zoning / Provisions	Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 20 for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.22	Zoning / Provisions	Amend Policy I334.3(1) to include open space in the activities to be enabled and provided for. Refer to Schedule 1, point 38 for details.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.45	Zoning / Provisions	Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 34 for details	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.34	Zoning / Provisions	Amend Policy I334.3(15) to increase the amount of open space to be provided and to provide more certainty on the location and functions of open space. Refer to Schedule 1, point 56-58 for details	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.77	Zoning / Provisions	Amend Policy I334.3(30A) to reinsert a reference to Policy I4432.3(15A). Refer to Schedule 1, point 46 for details.	Decline the plan change	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.74	Zoning / Provisions	Amend Zoning Map to zone land for open space	Decline the plan change	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.10	Open Space	Clearly identify how open space will be used.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
NZ Notable Trees Trust	15.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Diana Dolensky	30.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Approve the plan change and make the amendments requested	Accept, to the extent accommodated in changes to provisions
Jenny Pullar	35.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Leonard Matthews	44.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Tina Dean	46.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sue Shearer	52.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Judy Keats	62.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
The Tree Council	79.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Neutral, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Josephine Williams	155.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sandesh Heinicke	183.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary Gardens.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Pamela J McFarlane	224.4	Open Space	Concerns raised in relation to the provision and distribution of Open Space across the precinct in particular the Knoll Open Space and the Mahi Whenua Sanctuary	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.9	Open Space	Ensure the amount of open space provides for the number of people who will live and work in the precinct.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.18	Open Space	Establish open space values in order to assess alternatives. Prepare an independent open space assessment. Refer to submission for further detail.	Decline the plan change	Decline
NZ Notable Trees Trust	15.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Diana Dolensky	30.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Approve the plan change and make the amendments requested	Decline
Jenny Pullar	35.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Approve the plan change with the amendments requested	Decline
Dr Christine Joan Perkins	41.3	Open Space	Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134).	Approve the plan change with the amendments requested	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Garden Design Society of New Zealand	42.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Leonard Matthews	44.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Tina Dean	46.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Sue Shearer	52.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Judy Keats	62.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
The Tree Council	79.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Neutral, make the amendments requested	Decline
Josephine Williams	155.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Sandesh Heinicke	183.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11	Decline the plan change, but if approved, make the amendments requested	Decline
Pamela J McFarlane	224.3	Open Space	Formally recognise the Mahi Whenua Sanctuary Gardens as a significant cultural site, with archaeological significance. Refer Attachment A11 Archaeological Assessment (R11/3134). Refer to the Māori gardening implements discovered in the area. Retain and zone this areas as Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.21	Transport	Inferred - protect and enhance the Sanctuary Gardens	Support, subject to amendments	Decline
Trevor Keith Crosby	5.6	Open Space	Inferred - seeks provision of more open space as number of dwellings increases over time from 4,00-4,500 dwellings to up to 6,000 dwellings.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Trevor Keith Crosby	5.7	Open Space	Inferred Seeks protection of Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.11	Open Space	Land that serves as utility e.g. stormwater ponds, should not be included as open space.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions
Morgan O'Hanlon	175.2	Open Space	Need more green spaces not less	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Philippa Martin	171.2	Open Space	Need more open spaces	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Julia Helen Woodward	193.1	Opposed	Opposes changes to density, amount of open space, building height and zoning	Decline the plan change	Decline
Sarah Mavor	197.1	Open Space	Opposes due to effects on that density and height will compromise green space	Decline the plan change	Decline
Malcolm Wong	73.1	Infrastructure	Opposes due to inadequate infrastructure (including open space)	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Talia Browne Goodger	98.1	Open Space	Opposes due to inadequate provision for open space and that the Sanctuary Gardens is not identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Simone Connell	90.1	Open Space	Opposes due to insufficient provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Malcolm Lay	178.3	Open Space	Opposes due to loss of green spaces	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Xenia Marcroft	107.1	Open Space	Opposes due to open space not being retained	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Lucianne Holt	77.3	Open Space	Opposes due to Sanctuary Gardens not being protected	Decline the plan change	Decline
Roberta Schmulian	84.3	Open Space	Opposes due to the need for identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Sarah Bailey	85.1	Open Space	Opposes due to the need for identification / protection of the Sanctuary Gardens	Decline the plan change	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Roberta Schmulian	84.2	Open Space	Opposes due to the need for more provision of open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Lesley Mitchell	91.1	Open Space	Opposes due to the Sanctuary Gardens not being identified / protected	Decline the plan change	Decline
Timothy James Gibbs	144.1	Open Space	Opposes minimising open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
NZ Notable Trees Trust	15.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Diana Dolensky	30.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Approve the plan change and make the amendments requested	Decline
Jenny Pullar	35.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Approve the plan change with the amendments requested	Decline
Dr Christine Joan Perkins	41.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Approve the plan change with the amendments requested	Decline
Garden Design Society of New Zealand	42.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Yolanda van den Bemd	43.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	change, but if approved, make the amendments requested	Decline
Leonard Matthews	44.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Tina Dean	46.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Sue Shearer	52.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Judy Keats	62.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
The Tree Council	79.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Neutral, make the amendments requested	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Josephine Williams	155.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Sandesh Heinicke	183.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Pamela J McFarlane	224.6	Open Space	Provide a detailed landscape plan for the Central Open Space.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.76	Open Space	Provide additional southern open space. Refer to Schedule 3 for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.6	Open Space	Provide for a variety of open space typologies that enable active and passive recreation and identify the locations for these types of open space uses in Precinct Plan 1.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Greta Yardley	113.3	Open Space	Provide more green space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Evelyn McNamara	100.3	Open Space	Provide more open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
NZ Notable Trees Trust	15.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Diana Dolensky	30.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Approve the plan change and make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jenny Pullar	35.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Dr Christine Joan Perkins	41.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Dean	46.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sue Shearer	52.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Judy Keats	62.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Josephine Williams	155.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sandesh Heinicke	183.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Pamela J McFarlane	224.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Cameron Nicholas	202.5	Open Space	Retain and protect community gardens	Decline the plan change	Decline
John Stevenson	170.3		Retain Mahi Whenua Sanctuary Gardens		Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.1	Zoning / Provisions	Retain Policy I334.3 (15A) requiring a minimum amount [at least 7.1 ha] of private open space.	Decline the plan change	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Donna Schofield	101.4	Open Space	Retain Sanctuary Gardens as a community garden	Decline the plan change	Decline
NZ Notable Trees Trust	15.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Diana Dolensky	30.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Approve the plan change and make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jenny Pullar	35.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Leonard Matthews	44.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Dean	46.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sue Shearer	52.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Judy Keats	62.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
The Tree Council	79.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Neutral, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Josephine Williams	155.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sandesh Heinicke	183.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Pamela J McFarlane	224.8	Open Space	Retain the landscape grounds of Building 48 (the treed lawns, notable trees and other trees) as part of the Unitec campus. Continue to protect as part of the educational precinct around Building 48.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.5	Zoning / Provisions	Secure the provision of open space by rezoning additional land for open space, and amending Precinct Plan 1.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Margaret Evans	39.1	Open Space	Seeks confirmation that Unitec open space not be included in total open space	Neutral, Seeks clarity relating to open space	Accept, to the extent accommodated in changes to provisions
Kerry Stuart Francis	16.4	Open Space	Seeks greater provision for open space and amenity to offset increases in height and population, enabled by the plan change	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Ann Hatherly	21.1	Open Space	Seeks greater provision for open space due to the increased building height enabled by the plan change	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Alice Mary Coventry	231.2	Open Space	Seeks greater provision for open space including the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Beverley Gay Crosby	7.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline
Anna Radford	14.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline
School of Architecture, Unitec Te Pukenga	18.5	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Alison Burt	48.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Phillippa Wilkie	49.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Gordon Wickham Ikin	50.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Greta van der Star	53.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Kim Shephard-Tjirn	64.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Paula Glen Norman	70.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
St Lukes Environmental Protection Society Inc (STEPS)	72.7	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Melina Ubeda Browne	74.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Rosemary McGlynn	81.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Joanna Waddington	83.2	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Dan Blanchon	88.2	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Christopher Casey	115.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline
Katrina Smith	131.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Neutral, Seeks amendment	Decline
Samantha Smith	133.2	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Ronald Philip Tapply	135.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Penelope Hansen	138.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Support, subject to amendments	Decline
Marnie Patten	148.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Patricia Allen	150.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Tim Strawbridge	168.4	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Diana McKergow	172.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Neutral, Seeks amendments	Decline

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Nina Patel	182.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Approve the plan change with the amendments requested	Decline
Kate Saunders	201.3	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Esther and Ross Vernon	206.4	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
Claire Reri	222.1	Open Space	Seeks identification / protection of the Sanctuary Gardens	Decline the plan change	Decline
David Ross and Wendy Beverley Allan	184.2	Open Space	Seeks more provision for green space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Lisa Paulsen	186.1	Open Space	Seeks more provision for green space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Katherine McCallum	195.1	Open Space	Seeks more provision for green space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Marnie Patten	148.2	Open Space	Seeks more provision for green space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Linda Martin	165.1	Open Space	Seeks more provision for green space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Hai-Ling Khor	229.2	Open Space	Seeks more provision for green space	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Emma Chapman	13.4	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Karine David	96.4	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Tracey Brown	188.2	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Kate Saunders	201.2	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Vivek B	11.4	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Tom Ang	19.3	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Carolyn Walker	29.3	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Rebekah Phillips	31.1	Open Space	Seeks more provision for open space	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Rohan MacMahon	37.3	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Danielle Chew	86.3	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sophie Bostwick	87.1	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Donna Schofield	101.2	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Jessica Tucker	114.5	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Jo Kleiner	116.3	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Natalie Munro	119.1	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Portia Lawrence	126.2	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Ronald Philip Tapply	135.5	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Bryce Long	140.2	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Penelope Savidan	152.1	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Tim Strawbridge	168.3	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Yolande Joe	191.2	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Philippa Wright	212.1	Open Space	Seeks more provision for open space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Phillip Anderson	156.2	Open Space	Seeks more provision for open space	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Michelle Strawbridge	192.3	Open Space	Seeks more provision for open space and inferred the retention of the Sanctuary Gardens.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Deborah Yates-Forlong	36.4	Open Space	Seeks more provision for open space and protection of the Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Salehi	9.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Kate Battersby	54.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Kate Lowe	55.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Fiona Lascelles	56.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Greer Rasmussen	58.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Linda Hill	59.2	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Susan Jane Ewen	60.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Carol Gunn	130.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Ann McShane	139.1	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified	Decline the plan change	Decline except to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.5	Open Space	Seeks more provision for open space and that the Sanctuary Gardens be identified (detailed reasoning given)	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.4	Open Space	Seeks more provision for open space including close to and suitable for school use which is zoned for Open Space.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Elizabeth Johnson	106.1	Open Space	Seeks more provision for open space to retain mature forest and trees and that the Sanctuary Gardens be identified	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Linda Martin	165.3	Open Space	Seeks more than a 10m setback to Oakley Creek	Decline the plan change, but if approved, make the amendments requested	Decline
Sport Auckland	194.1	Open Space	Seeks open space provision to include sports fields	Neutral, Seeks amendments	Decline
Christopher Casey	115.2	Open Space	Seeks provision for open space be maximised	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Aktive	151.1	Open Space	Seeks provision made for sports fields	Neutral, Seeks amendments	Decline
Liveable Communities Inc	179.1	Open Space	Seeks that all open space for passive recreation and associated trees should be retained and protected. Mechanisms include covenants or similar, and zoning of open space. Do not establish any more sport fields.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Alison Burt	48.2	Open Space	Seeks that the Knoll be retained by Unitec to ensure the protection of trees. Refer to submission for details	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jennifer Gibbs	134.1	Open Space	Seeks the protection of green space	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Tom Ang	19.5	Open Space	Seeks to retain Sanctuary Gardens	Decline the plan change, but if approved, make the amendments requested	Decline
Coral Anne Atkins	34.2	Open Space	Seeks to retain the Knoll	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

3. Open Space					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.2	Open Space	Significantly increase the amount of and improve the public open space proposed in the Precinct, so that it better enables a well-functioning urban environment and meets the needs of all future residents of the Precinct and the surrounding urban environments.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.4	Open Space	Significantly increase the amount of public open space proposed in the Precinct up to a level appropriate for the number of people living in and around the precinct.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.8	Open Space	Specify in the precinct the amount of open space including what proportions are to remain private and public open space.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.2	Open Space	Supports an increase in height of buildings provided it results in more useable open green space.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.32	Zoning / Provisions	Amend Policy (20) by deleting clause (f) in terms of minimising overflow parking on roads occurring in the vicinity of the precinct	Decline the plan change	Decline
Auckland Transport	40.13	Zoning / Provisions	Add a new standard requiring two bicycle parks per dwelling. Refer to Attachment 1 for details.	Neutral, Seeks amendments	Decline
Springleigh Residents Association	57.55	Zoning / Provisions	Amend I334.9 Special information requirements relating to Integrated Transport Assessments, and stormwater management plans, and applications for development. Refer to page 59 of the submission for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.33	Zoning / Provisions	Amend Policy (23) by removing requirements for the Integrated Transport Assessment to be based on gross floor areas and replaced with references to number of dwellings. Refer to page 54 of the submission for details.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Auckland Transport	40.7	Zoning / Provisions	Amend Policy 19 'Pedestrian and cycle access, street quality and safety'. Refer to Attachment 1 for details.	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.38	Zoning / Provisions	Amend Policy I334.3(17) as follows: <i>Require development to maintain and provide a varied and integrated network of pedestrian and cycle linkages that are of sufficient width to accommodate separate pedestrian and cycle lanes, amenity planting, stormwater management, and open space and plazas within the precinct.</i>	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.47	Zoning / Provisions	Amend Policy I334.3(18) to improve the amenity of the precinct and functionality of pedestrian and cycle linkages. Refer to Schedule 1, point 37 for details	Decline the plan change	Decline

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.39	Zoning / Provisions	Amend Policy I334.3(18) to improve the amenity of the precinct and functionality of pedestrian and cycle linkages. Refer to Schedule 1, point 63 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.40	Zoning / Provisions	Amend Policy I334.3(20) to ensure public transport is appropriately provided for. Refer to Schedule 1, point 64 -66 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.48	Zoning / Provisions	Amend Policy I334.3(20) to strengthen mitigation of adverse traffic effects and to provide certainty of the timing of development and infrastructure delivery. Refer to Schedule 1, point 40 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.41	Zoning / Provisions	Amend Policy I334.3(22) making undergrounding of the Woodward Road rail crossing a trigger for development and managing roading connections including local streets to the south. Refer to Schedule 1, point 67 -68 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.49	Zoning / Provisions	Amend Policy I334.3(22) to manage roading connections including to local streets to the south. Refer to Schedule 1, point 40 for details	Decline the plan change	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.50	Zoning / Provisions	Amend Policy I334.3(23) to clarify the number of dwellings that trigger an Integrated Transport Assessment. Refer to Schedule 1, point 41 for details	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.42	Zoning / Provisions	Amend Policy I334.3(23) to clarify the number of dwellings that trigger an Integrated Transport Assessment. Refer to Schedule 1, point 69 for details	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.37	Zoning / Provisions	Amend Policy I334.3.(16) to include walkways to provide better connectivity. Refer to Schedule 1, point 61 for details.	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.56	Zoning / Provisions	Amend Standard I334.6.8 Access. Refer to Schedule 1, point 103 for details	Decline the plan change, but if approved, make the amendments requested	Decline

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.63	Zoning / Provisions	Amend Standard I334.6.8 Access. Refer to Schedule 1, point 70	Decline the plan change	Decline
Auckland Transport	40.4	Transport	Amend the ITA to reflect agreements on intersection upgrades and expand Rule I224.9 to capture this matter.	Neutral, Seeks amendments	Decline
Auckland Transport	40.2	Transport	AT should not fund and implement a residents only parking zone - this should be managed by the applicant. Refer to Attachment for details.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.2	Transport	Consider a central location for public transport within the precinct at the lowest point, the provision of a 'bow road' for private vehicle trips through the precinct and construction of a rail spur connecting to the Western Line at Mt Albert ,	Decline the plan change, but if approved, make the amendments requested	Decline
Brigitte Lambert	157.4	Transport	Developer to meet the cost of required additional road upgrades	Neutral, Seeks amendments	Decline
Diana McKergow	172.2	Transport	Include cycle paths	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.21	Transport	Oppose the plan change request due to the [inferred] deficient Te Auaunga Precinct 2023 Transport Assessment. Refer to page 50 of the submission for further detail.	Decline the plan change	Decline
Indiana	210.1	Transport	Opposes a connection to Mark Road	Decline the plan change	Decline
Jo Kleiner	116.4	Transport	Opposes due to lack of public transport and carparks	Decline the plan change	Decline
Kerry Palmer	110.1	Transport	Opposes due to traffic	Decline the plan change	Decline
Karen Oliver	200.1	Transport	Opposes due to concerns that connections will create a rat run - prohibit access between southern and northern roads	Approve the plan change with the amendments requested	Decline
Kate Rensen	132.5	Transport	Opposes due to effects of traffic on Mark Road	Decline the plan change, but if approved, make the amendments requested	Decline
Jessica Tucker	114.3	Transport	Opposes due to effects on traffic	Decline the plan change	Decline
Evelyn McNamara	100.4	Transport	Opposes due to effects on clogged roads	Decline the plan change	Decline

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.2	Transport	Opposes due to effects on sufficient cycle and pedestrian access to the school, including during construction	Decline the plan change	Decline
Iain Oliver	203.1	Transport	Opposes due to effects on that connections will create a rat run - prohibit access between southern and northern roads	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Warren McQuoid	117.2	Transport	Opposes due to effects on that traffic	Decline the plan change	Decline
Bobby Willcox	111.2	Transport	Opposes due to effects on traffic	Decline the plan change	Decline
Kerrin Brown	177.2	Transport	Opposes due to effects on traffic and parking	Decline the plan change	Decline
Portia Lawrence	126.5	Transport	Opposes due to effects on traffic safety and parking	Decline the plan change, but if approved, make the amendments requested	Decline
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.3	Transport	Opposes due to effects on traffic safety on the roading network	Decline the plan change	Decline
Helen Fitness	89.1	Transport	Opposes due to inadequate parking	Decline the plan change	Decline
Emma John	108.3	Transport	Opposes due to increased traffic congestion	Decline the plan change	Decline
Doris Fryer	146.2	Transport	Opposes due to insufficient parking	Decline the plan change	Decline
Ronald Philip Tapply	135.2	Transport	Opposes due to more parking required	Decline the plan change	Decline
Malcolm Lay	178.2	Transport	Opposes due to no parking	Decline the plan change	Decline
Xenia Marcroft	107.3	Transport	Opposes due to traffic congestion	Decline the plan change	Decline
Berys Spratt	228.3	Transport	Opposes due to traffic congestion	Approve the plan change with the amendments requested	Decline
Sarah Bailey	85.3	Transport	Opposes due to traffic effects	Decline the plan change	Decline
Dennis Katsanos	51.3	Transport	Opposes due to traffic effects on Woodward Road and Carrington Road	Decline the plan change	Decline
Tim Farman	208.1	Transport	Opposes due to traffic issues	Decline the plan change	Decline
Jo Austad	196.1	Transport	Opposes due to traffic, especially around schools	Decline the plan change	Decline
Sonny Rahman	95.2	Transport	Opposes Mark Road being a high traffic area	change, but if approved, make the amendments requested	Decline

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Maria Cepulis	220.2	Transport	Opposes on the basis that road connections to the south will create a rat run - Seeks to prohibit access between southern and northern roads	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Bryce Long	140.5	Transport	Opposes the connection to Mark Road	Decline the plan change	Decline
Brigitte Lambert	157.5	Transport	Parking needs to be enough to meet demand	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Gael Baldock	219.4	Transport	Provide adequate parking	Decline the plan change, but if approved, make the amendments requested	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.18	Transport	Provide public parking areas, including bicycle racks, for access to Te Auaunga (the Valley).	Support, subject to amendments	Decline
Auckland Transport	40.1	Transport	Reduce the adverse traffic effects including by: (i) retaining the proposed indicative roading connections in the south of		Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.34	Zoning / Provisions	Replace Policy (26) to update zone names in respect of avoiding direct access to specific streets. Refer to page 54 of the submission for details.	Decline the plan change	Decline
Gael Baldock	219.5	Transport	Require a minimum of 60% permeable surface in overland flow paths.	Decline the plan change, but if approved, make the amendments requested	Decline
Auckland Transport	40.9	Zoning / Provisions	Retain amendments as proposed to precinct plan 1 in particular the realigned Northwestern shared path.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Auckland Transport	40.8	Zoning / Provisions	Retain amendments to Rule I334.9 [Special information requirements (and for avoidance of doubt, the Transport Policies) as proposed.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Auckland Transport	40.5	Transport	Seeks amendments to refer to the Northwestern Shared Path in the Precinct Description and that public transport will occur on the edge of the site (Carrington Road). Refer to Attachment 1 for details.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Bojan Jovanovic	153.1	Transport	Seeks clarification that roading will not be connected to roads to the south allowing rat running	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Marcus Cameron	181.2	Transport	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction and how the residents parking proposal will work and be enforced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Gordon Horsley	187.2	Transport	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction and how the residents parking proposal will work and be enforced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Karen Oliver	200.2	Transport	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Iain Oliver	203.2	Transport	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Maria Cepulis	220.3	Transport	Seeks clarity about how streets south of the precinct (including Rhodes Ave, Raetihi Crescent and Mark Road) will be affected, including during construction, and how the residents parking proposal will work and be enforced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Karen Oliver	200.4	Transport	Seeks clarity about nature and timing of upgrades to Carrington Road	Approve the plan change with the amendments requested	Decline
Marcus Cameron	181.3	Transport	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Approve the plan change with the amendments requested	Decline

4. Transport					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Gordon Horsley	187.3	Transport	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Approve the plan change with the amendments requested	Decline
Iain Oliver	203.4	Transport	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Approve the plan change with the amendments requested	Decline
Maria Cepulis	220.4	Transport	Seeks clarity about nature and timing of upgrades to Carrington Road and implications arising	Approve the plan change with the amendments requested	Decline
Marcus Cameron	181.1	Transport	Seeks clarity, including in provisions, that roads will not be connected to Carrington Road, allowing for a rat run	Approve the plan change with the amendments requested	Accept
Gordon Horsley	187.1	Transport	Seeks clarity, including in provisions, that roads will not be connected to Carrington Road, allowing for a rat run	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Mt Albert Residents Association	143.1	Transport	Seeks no through road into southern suburbs from northern part of the precinct	Approve the plan change subject to amendments	Accept, to the extent accommodated in changes to provisions
Auckland Transport	40.3	Transport	Seeks that discrepancies in the ITA traffic model be addressed through alignment with modelling for AT's Carrington Road upgrading project. Refer to Attachment 1 for details	Neutral, Seeks amendments	Accept
Jade Harris	136.1	Transport	Seeks that Mark Road not be opened	Approve the plan change with the amendments requested	Decline
Auckland Transport	40.10	Zoning / Provisions	Supports deletion of references to an internal bus node	Neutral, Seeks amendments	Accept
Auckland Transport	40.11	Zoning / Provisions	Supports proposed amendments to I334. 4 Activity Tables	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Auckland Transport	40.12	Zoning / Provisions	Supports proposed amendments to I334.6 Standards, particularly I334.6.6(3) set back standard on Carrington Road, I334.6.8(2) deletion of bus node references and I334.6.3 road run off.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Auckland Transport	40.6	Zoning / Provisions	Supports proposed precinct objectives and policies except for Policy 19.	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.21	Transport		Decline the plan change	Decline

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.19	Archaeology / Heritage	Adaptively reuse prominent character buildings on the site, in particular Building 055 (Penman House) and Building 054.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.11	Zoning/Provisions	Amend I334.8(1B) Buildings within the Height Areas identified on Precinct plan 3 – Te Auaunga Additional Height(b)(ii) to read: The degree to which buildings provide sympathetic contemporary and high quality design which enhances the precinct's built form <u>the primacy of the historic heritage building.</u>	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.2	Zoning/Provisions	Amend Objective I334.2(10)(b) to incorporate the natural and built, that includes its historic heritage and cultural values, environmental attributes of the Precinct. Refer to submission for details.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.28	Zoning / Provisions	Amend Objective I334.2(6) as follows : <u>Identified heritage values are retained through the adaptation of the scheduled buildings and identified character buildings and retention of identified trees...are</u>	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.16	Zoning / Provisions	Amend Objective I334.2(6) as follows : <u>Identified heritage values are retained through the adaptation of the scheduled buildings and identified character buildings and retention of identified trees...are recognised, protected and enhanced in the precinct.</u>	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Heritage New Zealand Pouhere Taonga	162.4	Zoning/Provisions	Amend Policy (14AA) to read: Require proposals for new high rise buildings adjacent to the former Oakley Hospital scheduled historic heritage building to provide sympathetic contemporary and high quality design which enhances the <u>precinct's built form the primacy of the historic heritage building.</u>	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.39	Zoning / Provisions	Amend Policy I334.3(11) as follows: Encourage <u>Require the retention and adaption of the heritage and character buildings, and elements identified in the precinct.</u>	Decline the plan change	Decline
Geoffrey John Beresford	124.28	Zoning / Provisions	Amend Policy I334.3(11) as follows: Encourage <u>Require the retention and adaption of the heritage and character buildings, and elements identified in the precinct.</u>	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.43	Zoning / Provisions	Amend Policy I334.3(14AA) to guide proposals for all new buildings adjacent to the scheduled Hospital building. Refer to Schedule 1, point 32 for details	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.7	Zoning/Provisions	Amend the activity status from a Restricted Discretionary to a Discretionary Activity for 1334.4.1 (A21E) Buildings within Height Area 1 identified on Precinct plan 3 - Te Auaunga Additional Height between 35m and 72m.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.1	Zoning/Provisions	Amend the Precinct Description to include references to the historic heritage values of the site. Refer to submission for details.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.13	Zoning/Provisions	Amend the Precinct Plan 3 to indicate the Scheduled historic heritage extent of place of Oakley Hospital (Schedule 14.1 ID# 01618).	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Heritage New Zealand Pouhere Taonga	162.8	Zoning/Provisions	Delete I334.5 (1B):[Notification] An application for resource consent for a restricted discretionary activity listed in Tables I334.4.1, and I334.4.3 Activity table above that complies with the I334.6.4 height standard will be considered without public or limited notification or the need to obtain written approval from affected parties unless the Council decides that special circumstances exist under section 95A(4) of the Resource Management Act 1991.	Approve the plan change with the amendments requested	Accept
Geoffrey John Beresford	124.32	Zoning / Provisions	Delete Policy I334.3(14AA) relating to proposals for new buildings adjacent to the scheduled Hospital building.	Decline the plan change, but if approved, make the amendments requested	Accept
Springleigh Residents Association	57.37	Zoning / Provisions	Delete proposed Policy (30A) relating to the adaptive re-use of the existing buildings with historic value for retail and other activities. Refer to page 54 of the submission	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Springleigh Residents Association	57.30	Zoning / Provisions	Delete proposed Policy: '(14AA) relating to the relationship of the taller buildings adjacent to the former Oakley Hospital scheduled historic heritage building. Refer to page 54 of the submission for details.		Accept
Heritage New Zealand Pouhere Taonga	162.3	Zoning/Provisions	Insert a new objective to provide direction for the protection of the historic heritage landscape of the Precinct to ensure these values are recognised, protected and enhanced.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
School of Architecture, Unitec Te Pukenga	18.4	Character / Amenity	Opposes due to effects on the character and context of Building 48. Seeks retention of this building and continued accessibility to the community and the School of Architecture.	Decline the plan change	Accept, to the extent accommodated in changes to provisions

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.17	Infrastructure	Prepare an independent historic heritage assessment including whether the proposed tower buildings are compatible with the heritage of the precinct. Request a values system to be used to assess the tower proposal. Refer to submission page 45 for further detail.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Gael Baldock	219.6	Archaeology / Heritage	Protect archaeological areas, walls buildings and land formations	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.19	Archaeology / Heritage	Provide additional information regarding accidental archaeological discovery mitigation of stone walls and effects on lava caves. Refer to submission for details.	Decline the plan change	Decline
Heritage New Zealand Pouhere Taonga	162.12	Zoning/Provisions	Request consequential changes to the assessment criteria standards if a Discretionary Activity status is applied to 1334.4.1 (A21E).	Approve the plan change with the amendments requested	Decline
Heritage New Zealand Pouhere Taonga	162.10	Zoning/Provisions	Request further analysis be undertaken [inferred in relation to proposed standard I334.6.11 Maximum tower dimension - height Area 1 and Area 2 and Table I334.6.11.1] to ensure greater appropriate standards are formulated to specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1 and 2. Refer to submission for details.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.9	Zoning/Provisions	Request further analysis be undertaken [inferred in relation to proposed standard I334.6.4 Height] to ensure greater appropriate standards are formulated to specifically manage the height interface between Oakley Hospital, its extent of place and Height Areas 1, 2, and 4. Refer to submission for details.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Heritage New Zealand Pouhere Taonga	162.5	Zoning/Provisions	Retain Proposed Policy 30A: 'Encourage the adaptive reuse of the existing buildings with historic value for [retail] and other activities.'	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.6	Zoning/Provisions	Retain the activity status Restricted Discretionary Activity for I334.4.1 (A21D) Buildings within the Height Areas identified on Precinct plan 3 - Te Auaunga Additional Height that exceed the heights specified on Precinct plan 3 - Te Auaunga Additional Height.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Heritage New Zealand Pouhere Taonga	162.15	Archaeology/Heritage	Retain the historic heritage provisions (D17 Historic Heritage Overlay) for the scheduled Oakley Hospital and its extent of place.	Approve the plan change with the amendments requested	Accept
Heritage New Zealand Pouhere Taonga	162.14	Archaeology/Heritage	Retain the historic heritage provisions (Schedule 14.1 Schedule of Historic Heritage) for the scheduled Oakley Hospital and its extent of place.	Approve the plan change with the amendments requested	Accept
Liveable Communities Inc	179.3	Archaeology / Heritage	Seeks archaeological / cultural site(s) to be protected	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Civic Trust Auckland	223.5	Archaeology / Heritage	Seeks Building 6 and Building 28 (the Mitchell Stout building) to be considered for protection. Inferred that a comprehensive assessment of the campus is required as an Historic Heritage Area (as defined in the AUP)	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions
Christopher Casey	115.1	Archaeology / Heritage	Seeks heritage protection, including of buildings 6 and 28	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

5. Historic Buildings and Archaeology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Dennis Katsanos	51.2	Archaeology / Heritage	Seeks that Penman House be preserved	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Civic Trust Auckland	223.6	Archaeology / Heritage	Seeks that the development should deliver much better heritage outcomes and at the very least involve no further 'partial demolition' of Building One.	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions
Civic Trust Auckland	223.3	Archaeology / Heritage	Supports policies that encourage the retention and adaption of heritage buildings and heritage elements on the site. Seeks a comprehensive assessment of the whole site in terms of the remaining heritage buildings and other heritage features.	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions

6. Infrastructure						
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation	
Springleigh Residents Association	57.46	Zoning / Provisions	Amend I334.6.3 Stormwater by adding a requirement that all <u>subdivision and development of the land must include stormwater design consistent with AC Future Development Strategy.</u> '	Decline the plan change	Accept, to the extent accommodated in changes to provisions	6
Springleigh Residents Association	57.45	Zoning / Provisions	Amend I334.6.3: '(1) Stormwater to clarify that a new stormwater management plan must be prepared. Refer to page 56 of the submission for details.'	Decline the plan change	Decline	6
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.15	Zoning / Provisions	Amend I334.9 Special Information Requirements Stormwater to retain requirements for Stormwater Management Plans or an amended version included to ensure management guidelines and protection of the receiving environments.	Support, subject to amendments	Decline	6
Bobby Willcox	111.3	Infrastructure	Opposes due to effects on drainage and infrastructure	Decline the plan change	Decline	6
Michael Tilley	169.1	Infrastructure	Opposes due to effects on that infrastructure won't cope	Decline the plan change	Decline	6
Jessica Tucker	114.4	Infrastructure	Opposes due to effects on the wastewater system	Decline the plan change	Decline	6
Dennis Katsanos	51.4	Infrastructure	Opposes due to inadequate infrastructure	Decline the plan change	Decline	6
Rosemary McGlynn	81.2	Infrastructure	Opposes due to inadequate infrastructure	Decline the plan change	Decline	6
Rachel Simpson	82.2	Infrastructure	Opposes due to inadequate infrastructure	Decline the plan change	Decline	6
Angela Moon	71.1	Infrastructure	Opposes due to inadequate infrastructure and services	Decline the plan change	Decline	6
Kerrin Brown	177.1	Infrastructure	Opposes due to infrastructure at capacity	Decline the plan change	Decline	6
Brett Colliver	166.1	Infrastructure	Opposes due to infrastructure not in place	Decline the plan change	Decline	6
Kerry Palmer	110.2	Infrastructure	Opposes due to infrastructure won't cope	Decline the plan change	Decline	6
Liz Sertsou	109.1	Infrastructure	Opposes due to lack of infrastructure	Decline the plan change	Decline	6
Warren McQuoid	117.3	Infrastructure	Opposes due to no infrastructure	Decline the plan change	Decline	6
Portia Lawrence	126.1	Infrastructure	Opposes due to public utilities being constrained	Decline the plan change, but if approved, make the amendments requested	Decline	6

6. Infrastructure						
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation	
Springleigh Residents Association	57.20	Infrastructure	Prepare a new Stormwater Management Plan and flood hazard management plan to be notified prior to the hearing. Stormwater design to be addressed prior to the hearing.	Decline the plan change	Decline	6
Danielle Chew	86.2	Climate Change / Weather Events	Provide a greater setback from Oakley Creek and address potential flooding	Decline the plan change, but if approved, make the amendments requested	Decline	6
St Lukes Environmental Protection Society Inc (STEPS)	72.4	Infrastructure	Retain I 334.9 Special Information Requirements - Stormwater Management or amendments to ensure appropriate management of stormwater	Approve the plan change with the amendments requested	Accept	6
Watercare Services Limited	45.2	Infrastructure	Seeks a decision that ensures water and wastewater and servicing requirements will be adequately met	Neutral, Seeks clarification / amendments	Accept, to the extent accommodated in changes to provisions	6
Paula Glen Norman	70.2	Infrastructure	Seeks adequate infrastructure	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions	6
Kerry Stuart Francis	16.2	Climate Change / Weather Events	Seeks review and update to environmental and infrastructure responses to climate change and the weather events of 2023.	Decline the plan change, but if approved, make the amendments requested	Decline	6
Fire and Emergency New Zealand	24.1	Infrastructure	Seeks sufficient provision for infrastructure, in particular water supply for fire-fighting	Neutral	Accept, to the extent accommodated in changes to provisions	6
Renee Mathews	99.3	Climate Change / Weather Events	Seeks that flooding be addressed	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in provisions	6

6. Infrastructure					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Watercare Services Limited	45.3	Zoning / Provisions	<p>Seeks the following amendments to the Precinct provisions (as set out in Attachment 1 to the submission):</p> <ul style="list-style-type: none"> •Amendment to require a bulk water supply and wastewater infrastructure capacity assessment where development beyond the previously modelled yield of 4000 DUEs is proposed. •Amendment to ensure a schedule is provided with a resource consent application which confirms the total number of additional DU Es within the Te Auaunga Precinct. •Amendments to the associated matters of discretion and assessment criteria to support the Restricted Discretionary Activity status. •Inclusion of new objective and policies to support the Restricted Discretionary Activity status. 	Neutral, Seeks clarification / amendments	Accept, to the extent accommodated in changes to provisions
					6

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Trevor Keith Crosby	5.1	Ecology	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Jennifer Ward	6.5	Ecology	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Rohan MacMahon	37.4	Ecology	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Dan Blanchon	88.1	Ecology	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change	Recommendation Pending
Karine David	96.5	Ecology	[Inferred] request that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Vivek B	11.5	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Emma Chapman	13.5	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Tom Ang	19.4	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending

7. Trees and Ecology					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Carolyn Walker	29.4	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Deborah Yates-Forlong	36.5	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Wendy Gray	22.4	Ecology	[Inferred] Seeks that native biodiversity associated with rock outcrops be re-evaluated given the presence of native lichen species on rock outcrops. [Inferred] request for native biodiversity associated with	Decline the plan change, but if approved, make the amendments requested	Recommendation Pending
Linda Hill	59.1	Trees	[Inferred] Seeks that there be no loss of trees.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Geoffrey John Beresford	124.18	Zoning / Provisions	Add new Objective I334.2(7B) relating to urban forests. Refer to Schedule 1, point 30 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.12	Zoning / Provisions	Amend Policy I334.3(27)(c) be amended as follows: 'Manage potential adverse effects from buildings at the precinct boundary by: (a) Establishing... (c) Require graduated heights... that adjoin Mixed Housing Suburban residential areas to the south of the precinct, <u>and the significant ecological areas (SEAs) both within the precinct and in Te Auaunga (the valley).'</u>	Support, subject to amendments	Decline
Geoffrey John Beresford	124.55	Zoning / Provisions	Amend Standard I334.6.7 Tree Protection . Refer to Schedule 1, points 102 for details	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.62	Zoning / Provisions	Amend Standard I334.6.7 Tree Protection and Table I334.6.7. 1 Identified Trees. Refer to Schedule 1, points 68 and 69.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.6	Ecology	Assess the environmental and social effects on the Oakley Creek and Marine Significant Ecological Areas.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Liveable Communities Inc	179.2	Trees	Complete an evaluation of trees by a qualified arborist in conjunction with notable trees listing.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Penelope Hansen	138.2	Trees	Development to be guided by a masterplan, working around notable trees and the 1000 remaining trees on the site. Seeks to identify trees, using qualified arborists, and protect trees including covenants and notable tree listings.	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions
Brigitte Lambert	157.3	Ecology	Development to be setback from Oakley Creek	Neutral, Seeks amendments	Decline
Springleigh Residents Association	57.15	Ecology	Ensure the ecological assessment fulfils the requirements of s104 and s30 of the RMA, and includes sufficient information for community submitters to engage with, an independent ecological assessment for evidence exchange, native bat detection within the precinct, and the wetland/spring in the north-west of the precinct is assessed by a hydrological engineer and ecologist. Refer to submission for further detail.	Decline the plan change	Recommendation Pending
NZ Notable Trees Trust	15.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Yolanda van den Bemd	43.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Diana Dolensky	30.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Approve the plan change and make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jenny Pullar	35.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Leonard Matthews	44.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Dean	46.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sue Shearer	52.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Judy Keats	62.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
The Tree Council	79.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Neutral, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Josephine Williams	155.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sandesh Heinicke	183.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Pamela J McFarlane	224.5	Open Space	Identify all of the significant trees to be retained within the Northern Open Space on a landscape plan.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.16	Trees	Include additional trees in Precinct Plan 2, particularly all mature trees in the following parts of the Precinct: (i) the area between the Squash Court and the Gateway 4 Accessway around Building 054 (ii) The Oak and Magnolia Trees lining the Gate 4 Accessway (iii) The flat areas surrounding Building 054 (Penman House) and sloped area behind it (iv) The Unitec Memorial Garden (v) the terraced area along the Woodward Road boundary of the precinct. Refer Schedule 2 for more details.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.20	Ecology	Investigate the source of the two springs and undertake further daylighting.	Support, subject to amendments	Decline
NZ Notable Trees Trust	15.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Diana Dolensky	30.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Approve the plan change and make the amendments requested	Decline
Jenny Pullar	35.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Approve the plan change with the amendments requested	Decline

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Dr Christine Joan Perkins	41.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Approve the plan change with the amendments requested	Decline
Garden Design Society of New Zealand	42.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Yolanda van den Bemd	43.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Leonard Matthews	44.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Tina Dean	46.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Sue Shearer	52.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Judy Keats	62.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
The Tree Council	79.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Neutral, make the amendments requested	Decline
Josephine Williams	155.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Sandesh Heinicke	183.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Pamela J McFarlane	224.11	Zoning / Provisions	Move the plan change boundary by 20m to the north and 40m to the west of Building 48 to include the notable scheduled trees and the stand of 120 year old native trees. Require a covenant to ensure the trees are retained in perpetuity.	Decline the plan change, but if approved, make the amendments requested	Decline
Caroline Botting	199.2	Trees	Oppose cutting down more mature trees	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Cameron Nicholas	202.4	Trees	Oppose removal of mature trees	Decline the plan change	Decline except to the extent accommodated in changes to provisions

7. Trees and Ecology					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Sarah Harris	141.2	Trees	Opposes due to the loss of mature trees and effects on flooding	Decline the plan change	Decline except to the extent accommodated in changes to provisions
School of Architecture, Unitec Te Pukenga	18.2	Trees	Opposes due to effects on existing trees and requests consideration of tree protection measures as detailed in the submission.	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Jill Chestnut	160.2	Ecology	Opposes due to effects on that 25 stories will impact nearby ecology and environment	Decline the plan change	Decline except to the extent accommodated in changes to provisions
John Stevenson	170.4	Ecology	Opposes due to effects on that stormwater plans must protect Wairaka springs / puna, Wairaka stream/awa, complete daylighting	Neutral, Seeks amendments	Decline except to the extent accommodated in changes to provisions
Helen Fitness	89.2	Trees	Opposes due to loss of trees	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Brigitte Lambert	157.6	Trees	Protect mature trees	Neutral, Seeks amendments	Accept, to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.19	Ecology	Protect Significant Ecological Areas within the precinct and on Te Auaunga (the valley) by applying setbacks	Support, subject to amendments	Decline
Gael Baldock	219.3	Trees	Protect trees and provide a reserve	Decline the plan change, but if approved, make the amendments requested	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.17	Ecology	Provide a pest management plan and provide associated precinct policy	Support, subject to amendments	Decline
NZ Notable Trees Trust	15.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Diana Dolensky	30.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Approve the plan change and make the amendments requested	Accept, to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Jenny Pullar	35.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Leonard Matthews	44.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Tina Dean	46.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sue Shearer	52.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Judy Keats	62.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
The Tree Council	79.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Neutral, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Josephine Williams	155.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Sandesh Heinicke	183.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Pamela J McFarlane	224.1	Trees	Provide a qualified arborist's report to evaluate and specifically identify the remaining trees and assess them against the Notable Tree criteria for scheduling in the Unitary Plan.	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
NZ Notable Trees Trust	15.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Diana Dolensky	30.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Approve the plan change and make the amendments requested	Decline except to the extent accommodated in changes to provisions
Jenny Pullar	35.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Dr Christine Joan Perkins	41.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
Garden Design Society of New Zealand	42.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Yolanda van den Bemd	43.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Leonard Matthews	44.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tina Dean	46.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sue Shearer	52.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Judy Keats	62.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
The Tree Council	79.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Neutral, make the amendments requested	Decline except to make extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Josephine Williams	155.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Sandesh Heinicke	183.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Pamela J McFarlane	224.2	Trees	Provide a tree protection/tree works methodology to ensure that there are no short or long term adverse effects upon retained trees, and ensure there is a legal process implemented as part of the Plan Change to protect all retained trees in perpetuity. Refer to submission for further detail.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.15	Trees	Provide for the retention of additional mature vegetation in the Precinct to mitigate adverse visual and stormwater effects of more intense development .	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.22	Ecology	Provide for the Te Ao Māori perspective, including by further planting of native bush/ngahere	Support, subject to amendments	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.14	Ecology	Provide further ecological assessment including zone of influence and ecological context for Oakley Creek and Marine Significant Ecological Areas, the wetland in the vicinity of the former Oakley Hospital, and site investigations. Refer to submission for details.	Decline the plan change	Decline

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Yolanda van den Bemd	43.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline
Leonard Matthews	44.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Decline the plan change, but if approved, make the amendments requested	Decline
The Tree Council	79.10	Zoning / Provisions	Request for proposed South Open Space to be vested/zoned as such in the Unitary Plan to ensure that remaining trees within these areas are legally protected.	Neutral, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.14	Trees	Retain all notable trees in Precinct Plan 2	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Geoffrey William John Hinds	28.2	Trees	Retain and protect as many trees as possible.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Open Space for Future Aucklanders Incorporated (the Society)	25.13	Trees	Retain and strengthen existing tree protection provisions.	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Karen Burge	92.3	Trees	Retain mature trees	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Wendy Gray	22.5	Trees	Retain trees and provide mitigation planting. Provide replanting plans that address the climate change and carbon issues caused by the removal and mulching of the Unitec arboretum.	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Tāne Feary	33.2	Trees	Seeks additional tree protection and associated greenspace and biodiversity planning	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Coral Anne Atkins	34.1	Trees	Seeks additional tree protection, including on the Knoll	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
John Stevenson	170.6	Ecology	Seeks amendments to protect natural heritage (springs, waterways, trees and vegetation, and geological features)	Neutral, Seeks amendments	Recommendation Pending

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
St Lukes Environmental Protection Society Inc (STEPS)	72.6	Ecology	Seeks controls on pets	Approve the plan change with the amendments requested	Decline
St Lukes Environmental Protection Society Inc (STEPS)	72.2	Trees	Seeks more mature trees retained, protected and integrated into the development.	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Nina Patel	182.2	Trees	Seeks no further loss of quality trees and greater protection and integration of more mature trees within the Precinct Plan	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Haidee Stairmand	102.1	Trees	Seeks protection of mature trees	Approve the plan change with the amendments requested	Decline except to the extent accommodated in changes to provisions
St Lukes Environmental Protection Society Inc (STEPS)	72.5	Ecology	Seeks protection of native fauna, especially birds, from the impacts of tall buildings	Approve the plan change with the amendments requested	Decline
Christopher Casey	115.6	Ecology	Seeks protection of natural ecology	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
Christopher Casey	115.5	Trees	Seeks protection of trees	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
St Lukes Environmental Protection Society Inc (STEPS)	72.1	Ecology	Seeks restoration and enhancement of biodiversity / ecology - including springs and daylighting. Use of setbacks and other responses detailed in the submission.	Approve the plan change with the amendments requested	Decline
Karen Edney	26.1	Trees	Seeks that more mature trees be retained	Approve the plan change with amendments	Accept, to the extent accommodated in changes to provisions
Yolande Joe	191.1	Trees	Seeks that notable trees be audited and updated	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Civic Trust Auckland	223.1	Trees	Seeks that remaining mature trees should be retained and protected, for example, by a covenant, and integrated into the development (including, as examples given, the Northern Open area, the Knoll Open Space and the context to the 1896 Building 48). An aboricultural report needs to be submitted to assess the remaining trees against the Notable Trees criteria for scheduling in the Unitary Plan.	Neutral, Seeks amendments.	Accept, to the extent accommodated in changes to provisions
Sarah Harris	141.3	Ecology	Seeks that the creek needs to be protected against pollution	Decline the plan change	Accept, to the extent in the provisions
St Lukes Environmental Protection Society Inc (STEPS)	72.9	Trees	Seeks that the notable trees around Building 48 remain as part of the Unitec campus and a covenant required to ensure all trees are retained in perpetuity	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
Renee Mathews	99.2	Trees	Seeks that there be no culling of large trees	Decline the plan change, but if approved, make the amendments requested	Accept, to the extent accommodated in changes to provisions
blair thorpe	27.1	Trees	Seeks that trees be retained and those removed be replaced	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions
John Stevenson	170.5	Ecology	Seeks to apply setbacks to all SEA land, protect Te Auaunga awa / valley from overshadowing, light spill and require passive surveillance, graduate building heights	Neutral, Seeks amendments	Decline
Ngati Whatua Orakei Whai Rawa Limited	105.2	Zoning / Provisions	Seeks to approve the plan change subject to removal of Trees 39, 40 and 41 from the schedule and Precinct Plan 2	Approve the plan change with the amendments requested	Accept
Paul Tudor	129.2	Trees	Seeks to retain mature trees	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions
Marnie Patten	148.4	Trees	Seeks to retain mature trees	Decline the plan change	Decline except to the extent accommodated in changes to provisions
Margie Proposch	47.1	Trees	Seeks trees be protected	Approve the plan change with the amendments requested	Accept, to the extent accommodated in changes to provisions

7. Trees and Ecology

Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Alison Burt	48.1	Trees	Seeks trees be protected	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Katherine McCallum	195.4	Trees	Trees should not be removed	Decline the plan change, but if approved, make the amendments requested	Decline except to the extent accommodated in changes to provisions

8. Precinct Name					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.1	Precinct Name	Oppose proposed name change	Support, subject to amendments	No recommendation
Moe Richardson	23.1	Precinct Name	Oppose the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Sanctuary Community Organic Garden Mahi Whenua Inc.	104.1	Precinct Name	Opposes a change in Precinct Name	Approve the plan change with the amendments requested	No recommendation
Portia Lawrence	126.6	Precinct Name	Opposes a change in Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
John Stevenson	170.1	Precinct Name	Opposes a change in Precinct Name	Neutral, Seeks amendments	No recommendation
Esther and Ross Vernon	206.1	Precinct Name	Opposes a change in Precinct Name	Decline the plan change	No recommendation
Jennifer Ward	6.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Vivek B	11.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Emma Chapman	13.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Anna Radford	14.2	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Kerry Stuart Francis	16.5	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Tom Ang	19.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change	No recommendation
Carolyn Walker	29.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Rebekah Phillips	31.3	Precinct Name	Opposes the change of Precinct Name	Approve the plan change with the amendments requested	No recommendation
Deborah Yates-Forlong	36.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation

8. Precinct Name					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Rohan MacMahon	37.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Chris Calvert	61.1	Precinct Name	Opposes the change of Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Ngati Awa, Te Tawera Hapu	32.1	Precinct Name	Opposes the change of Precinct Name - comprehensive reasoning given	Decline the plan change, but if approved, make the amendments requested	No recommendation
Trevor Keith Crosby	5.3	Precinct Name	Opposes the change of precinct name.	Decline the plan change, but if approved, make the amendments requested	No recommendation
Wendy Gray	22.1	Precinct Name	Opposes the change of Precinct Name.	Decline the plan change, but if approved, make the amendments requested	No recommendation
St Lukes Environmental Protection Society Inc (STEPS)	72.8	Precinct Name	Opposes the Precinct Name change	Approve the plan change with the amendments requested	No recommendation
Geoffrey John Beresford	124.10	Zoning / Provisions	Retain the names 'Wairaka precinct' and 'Oakley Creek' and amend precinct provisions accordingly.	Decline the plan change, but if approved, make the amendments requested	No recommendation
Te Kawerau a Maki & Te Wai O Raka Development GP Limited	66.1	Precinct Name	Seeks that the Precinct Name be Wai O Raka (comprehensive reasoning given)	Approve the plan change with the amendments requested	No recommendation
Karine David	96.1	Precinct Name	Seeks that there be no change in Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Linda Martin	165.4	Precinct Name	Seeks to retain the current Precinct Name	Decline the plan change, but if approved, make the amendments requested	No recommendation
Te Akitai Waiohau Investment Trust	12.2	Precinct Name	Supports the precinct name change	Approve the plan change without any amendments	No recommendation
Te Akitai Waiohau Waka Taua Incorporated	17.2	Precinct Name	Supports the precinct name change	Approve the plan change without any amendments	No recommendation
The Ngāti Tamaoho Settlement Trust	63.2	Precinct Name	Supports the precinct name change	Approve the plan change without any amendments	No recommendation
Waiohau Tamaki Ropu (Waiohau)	67.2	Precinct Name	Supports the Precinct Name change	Approve the plan change without any amendments	No recommendation
Ngāi Tai ki Tāmaki	142.2	Precinct Name	Supports the Precinct Name change	Approve the plan change without any amendments	No recommendation

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Kerrin Brown	177.4	Climate Change / Weather Events	Opposes due to effects of flooding	Decline the plan change	Decline
Tāne Feary	33.1	Climate Change / Weather Events	Opposes due to effects on that the proposal is lacking in climate resilience design	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.38	Provisions	Add a new policy I334.3 (10A) to manage subdivision and development. Refer to Schedule 1 point 27 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.27	Provisions	Add a new policy I334.3 (10A) to manage subdivision and development. Refer to Schedule 1 point 49 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.50	Provisions	Amend I334.5 (2) Notification to reinsert reference to Standard I344.5(1A). Refer to Schedule 1, point 97 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Springleigh Residents Association	57.54	Provisions	Amend I334.8.2. Assessment criteria: relating to retail developments, new buildings that comply with Standard I334.6.4 height, buildings within the Height Areas identified on precinct plan 3, road connections, development not otherwise listed in activity tables, and development that does not comply with Standard I334.6.14(3) Boundary setback in respect of buildings within Sub-precinct A or Standard I334.6.10 Height in relation to boundary. Refer to pages 58 and 59 of the submission for details.	Decline the plan change	Decline
Geoffrey John Beresford	124.11	Provisions	Amend I334.1 Precinct Description. Refer to Schedule 1, points 3-23 for details.	Decline the plan change, but if approved, make the amendments requested	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.2	Provisions	Amend I334.1 Precinct Description to identify where setbacks will be used and to include Te Ao Māori principles. Supports proposed paragraphs relating to managing interfaces (para. 3), open space (para. 4) and Māori capacity building and development (para 7). Refer to pages 3 & 4 of the submission for details	Support, subject to amendments	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.24	Provisions	Amend I334.1 Precinct Description. Refer to Schedule 1, points 1-7 for details.	Decline the plan change	Decline
Springleigh Residents Association	57.22	Provisions	Amend I334.1 Precinct Description: Refer to pages 52 and 53 of the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.40	Provisions	Amend I334.4 [Activity Tables] by adding to the end the following statment 'Sub-precinct C': ' <u>The zoning, Auckland-wide and overlay policies apply in the SEA Oakley Creek / Te Auaunga and Oakley Creek Inlet Marine- SEA</u> '	Decline the plan change	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.55	Provisions	Amend I334.4 Activity Tables, Refer to Schedule 1 points 47 - 61 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.48	Provisions	Amend I334.4 Activity Tables, Refer to Schedule 1 points 78 - 95 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Springleigh Residents Association	57.48	Provisions	Amend I334.6.6 Precinct boundary set back by deleting clauses(2) and (3) [Inferred] Refer to page 56 and 57 of submission for details.	Decline the plan change	Decline
Geoffrey John Beresford	124.59	Provisions	Amend I334.7.1(2) Matters of control [Controlled Activities] Subdivision, Refer to Schedule 1, point 106 for details	Decline the plan change, but if approved, make the amendments requested	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.64	Provisions	Amend I334.8.1(4) Matters for Discretion [Restricted Discretionary activities] - Development not other listed in Tables I334.4.1, I334.4.3, I 334.4.4 that is generally in accordance with the precinct plan. Refer to Schedule 1, points 129-131 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.70	Provisions	Amend I334.8.1(4) Matters for Discretion for Any development not other listed in Tables I334.4.1, I334.4.3, and I334.4.4 that is generally in accordance with the precinct plan. Refer to Schedule 1, points 81 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.65	Provisions	Amend I334.8.1(5) Matters for Discretion [Restricted Discretionary activities] Development and/or subdivision that does not comply with standards... Refer to Schedule 1, points 132- 135.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.71	Provisions	Amend I334.8.1(5) Matters for Discretion for Any development and/or subdivision that does not comply with Standards... application. Refer to Schedule 1, point 82 for details	Decline the plan change	Decline
Springleigh Residents Association	57.53	Provisions	Amend I334.8.1. Matters of discretion (Assessment - restricted discretionary activities) by deleting proposed changes relating to retail, new buildings that comply with Standard I334.6.4 Height, parking buildings, road connections. Retain references to Policy I334.3.(15A) Open Space and Policy I334.6.5 Landscaping. Refer to page 58 of the submission for details.	Decline the plan change	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Geoffrey John Beresford	124.70	Provisions	Amend I334.8.4 Assessment criteria [Restricted discretionary activities] for Any development not otherwise listed in Tables I334.4.1, I334.4.3 and I 334.44. Refer to Schedule 1, points 140-143 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.73	Provisions	Amend I334.9 Special Information Requirements regarding requirements for planting specifications. Refer to Schedule 1, point 84 for details	Decline the plan change	Decline
Geoffrey John Beresford	124.71	Provisions	Amend I334.9(3) (b) Special Information Requirements to include planting specifications. Refer to Schedule 1, point 144 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Springleigh Residents Association	57.23	Provisions	Amend Objective (6) by deleting reference to Māori sites of significance on Oakley CreekTe Auaunga land. [Inferred]. Refer to page 53 of the submission for details.	Decline the plan change	Decline
Geoffrey John Beresford	124.19	Provisions	Amend Objective 1334.2(10)(e) and (f) to clarify reference to existing communities and to remove reference to Māori cultural promotion and economic development. Refer to Schedule 1, submission point 34 for details.		Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.5	Provisions	Amend Objective I334.2(12) to include the protection of the whenua/environmental/ecological capacity from a Te Ao Māori perspective. See pages 4 and 5 for details.	Support, subject to amendments	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.4	Provisions	Amend Objective I334.2(6) by correctly describing the precinct area as the 'Wairaka Precinct land'. Refer to page 4 of the submission for details.	Support, subject to amendments	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.28	Provisions	Amend Policy (14) by deleting reference to the requirement for new buildings, structures and infrastructure, or additions to provide appropriate native landscaping. Refer to page 54 of the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.35	Provisions	Amend Policy (27) by deleting clause (b) in relation to setback from the land fronting Oakley Creek. Refer to page 54 of the submission for details.	Decline the plan change	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.54	Provisions	Amend Policy I334.3 (30A) as follows; <i>Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.</i>	Decline the plan change	Decline
Geoffrey John Beresford	124.46	Provisions	Amend Policy I334.3 (30A) as follows; <i>Encourage the adaptive re-use of the existing buildings with historic value or character value for retail and other activities.</i>	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.47	Provisions	Amend Policy I334.3(30A) to reinsert a reference to Policy I4432.3(15A). Refer to Schedule 1, point 77 for details.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.35	Provisions	Amend Policy I334.3(4) relating to the provision of activities. Refer to Schedule 1, points 21 - 24	Decline the plan change	Decline
Geoffrey John Beresford	124.23	Provisions	Amend Policy I334.3(4) relating to the provision of activities. Refer to Schedule 1, points 39-44 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.26	Provisions	Amend Policy I334.3(8) to remove the word 'of' . Refer to Schedule 1, point 48 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Springleigh Residents Association	57.52	Provisions	Amend proposed changes to 1334.7.1 Matter of control [and inferred 1334.7.2 Assessment criteria] (Assessment - controlled activities) relating to subdivision, new buildings and stormwater. Refer to page 57 and 58 of the submission.	Decline the plan change	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Open Space for Future Aucklanders Incorporated (the Society)	25.58	Provisions	Amend Standard I334.6 to retain interpretation of the standards. Refer to Schedule 1, point 64	Decline the plan change	Decline
Geoffrey John Beresford	124.51	Provisions	Amend Standard I334.6 to retain interpretation of the standards. Refer to Schedule 1, point 98 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Springleigh Residents Association	57.41	Provisions	Delete I334.5 (1) Notification, relating to controlled activities. Refer to page 55 of the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.42	Provisions	Delete I334.5 (1A) Notification relating to new buildings in Sub Precinct A. Refer to page 55 of the precinct for details.	Decline the plan change	Decline
Springleigh Residents Association	57.43	Provisions	Delete I334.5 (1B) Notification relating to restricted discretionary activities that comply with the I334.6.4 height standard. Refer to page 56 of the submission for details.	Decline the plan change	Accept
Geoffrey John Beresford	124.68	Provisions	Delete I334.8.2 Assessment criteria [Restricted discretionary activities]- multiple unspecified deletions. Refer to Schedule 1, point 138 for details	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.49	Provisions	Delete Notification I334.5 (1B) to remove provisions for restricted discretionary activities	Decline the plan change, but if approved, make the amendments requested	Accept
Open Space for Future Aucklanders Incorporated (the Society)	25.56	Provisions	Delete Notification I334.5 (1B) to remove provisions for restricted discretionary activities	Decline the plan change	Accept
Open Space for Future Aucklanders Incorporated (the Society)	25.32	Provisions	Delete Objective I334.2(12) relating to Māori economic outcomes.	Decline the plan change	Decline
Geoffrey John Beresford	124.20	Provisions	Delete Objective I334.2(12) relating to Māori economic outcomes.	Decline the plan change, but if approved, make the amendments requested	Decline
Geoffrey John Beresford	124.15	Provisions	Delete Objective I334.2(5) regarding the commercial laundry. Refer to Schedule 1, point 27 for details	Decline the plan change, but if approved, make the amendments requested	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Springleigh Residents Association	57.27	Provisions	Delete Policy (10) relating to subdivision and development in respect of the creek and marine environments. Refer to page 53 of the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.38	Provisions	Delete Policy (39) providing for a broad range of residential activities adjacent to the Oakley CreekTe Auaunga and residential neighbourhoods to the south of the precinct.	Decline the plan change	Decline
Springleigh Residents Association	57.39	Provisions	Delete Policy (40) relating to buildings providing passive surveillance of the public lands within Oakley CreekTe Auaunga Valley.' Refer to page 54 o the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.44	Provisions	Delete proposed change to I334.6 Standards (introductory statement) which lists exemptions from standards for activities in the Businsss - Mixed Use zone. Refer to page 56 of the submission for details.	Decline the plan change	Decline
Springleigh Residents Association	57.50	Provisions	Delete proposed new standard I334.6.12. Wind.	Decline the plan change	Decline
Ngā Ringa o Te Auaunga - Friends of Oakley Creek	94.16	Provisions	Protect natural heritage - awa aquifers, puna/springs and geological features such as basalt outcrops.	Support, subject to amendments	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.23	Provisions	Provide that the removal of identified trees, removal of identified character buildings, and new buildings above height limits are non-complying activities requiring public notification.	Decline the plan change	Decline
Geoffrey John Beresford	124.9	Provisions	Removal of identified trees, removal of identified character buildings and buildings above height limits are to be non-complying activities requiring public notification.	Decline the plan change, but if approved, make the amendments requested	Decline

9. Provisions					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Auckland Council	68.1	Provisions	Seeks amendments to incorporate the Medium Density Housing Standards (MDRS) in the Residential - Terrace Housing and Apartment Buildings Zone and the Residential -Mixed Housing Urban Zone, taking account of the relevant Qualifying Matters	Neutral seeking amendments	Accept
Gladstone Primary School Board of Trustees (Gladstone Primary)	20.7	Provisions	Seeks that Gladstone Primary be an affected party on future applications along Carrington Road	Decline the plan change	Decline
Fire and Emergency New Zealand	24.2	Provisions	Seeks to amend I334.9 Special Information Requirements to include reference to suitable emergency access for future development.	Neutral, Seeks amendment	Decline

10. Other Matters					
Submitter	Submission Point	Subject	Summary	Relief Sought	Recommendation
Doris Fryer	146.3	Crime	Opposes due to effects on safety and security	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Springleigh Residents Association	57.10	Cultural	Identify and incorporate Māori values, objectives and tikanga practices considered in the application into the decision and included in the precinct provisions. Refer to submission for further detail.	Decline the plan change	Decline
Kerrin Brown	177.5	Crime	Opposes due to crime	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Alexandra	173.2	Crime	Opposes due to effects on safety	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Emma John	108.1	Crime	Opposes due to increase in crime	Decline the plan change	Accept, to the extent accommodated in changes to provisions
Greta Yardley	113.1	Crime	Plan to develop Pt Chevalier for a positive community experience, including a library to build a positive/desirable community experience before intensifying with housing.	Decline the plan change, but if approved, make the amendments requested	Decline
Open Space for Future Aucklanders Incorporated (the Society)	25.20	Air quality	Require an assessment of air quality effects of taller buildings locating in proximity to the existing Taylor's laundry facility stacks and include any necessary restrictions on new building occupancy or building design required to address those effects.	Decline the plan change	Decline

APPENDIX 10

Draft recommendations on further submissions

PC94 Further Submitter Table

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
2.1	2	Leon Lu	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
2.1	2	Leon Lu			
3.1	3	Clement Richer	FS 08	The Tree Council	Support
4.1	4	Michael Thomas Browne	FS 08	The Tree Council	Support
5.1	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
5.2	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
5.2	5	Trevor Keith Crosby			
5.3	5	Trevor Keith Crosby	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
5.3	5	Trevor Keith Crosby			
5.4	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Oppose
5.4	5	Trevor Keith Crosby			
5.5	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Oppose
5.5	5	Trevor Keith Crosby			
5.6	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Oppose
5.6	5	Trevor Keith Crosby			
5.7	5	Trevor Keith Crosby	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
5.7	5	Trevor Keith Crosby			
6.1	6	Jennifer Ward	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
6.1	6	Jennifer Ward			
6.2	6	Jennifer Ward	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
6.2	6	Jennifer Ward			
6.3	6	Jennifer Ward	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
6.3	6	Jennifer Ward			
6.4	6	Jennifer Ward	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
6.4	6	Jennifer Ward			
6.5	6	Jennifer Ward	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
6.5	6	Jennifer Ward			

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
7.1	7	Beverley Gay Crosby	FS 08	The Tree Council	Support
7.2	7	Beverley Gay Crosby	FS 08	The Tree Council	Support
8.1	8	Louise Tu'u	FS 08	The Tree Council	Neither support nor oppose
9.1	9	Tina Salehi	FS 08	The Tree Council	Support
10.1	10	Samuel John Stewart	FS 08	The Tree Council	Support
11.1	11	Vivek B	FS 08	The Tree Council	Neither support nor oppose
11.2	11	Vivek B	FS 08	The Tree Council	Support
11.3	11	Vivek B	FS 08	The Tree Council	Support
11.4	11	Vivek B	FS 08	The Tree Council	Support
11.5	11	Vivek B	FS 08	The Tree Council	Support
12.1	12	Te Akitai Waiohua Investment Trust	FS 08	The Tree Council	Support
12.1	12	Te Akitai Waiohua Investment Trust	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
12.1	12	Te Akitai Waiohua Investment Trust	FS 12	Geoffrey John Beresford	Oppose
12.2	12	Te Akitai Waiohua Investment Trust	FS 08	The Tree Council	Neither support nor oppose
12.2	12	Te Akitai Waiohua Investment Trust	FS 12	Geoffrey John Beresford	Oppose
12.3	12	Te Akitai Waiohua Investment Trust	FS 08	The Tree Council	Support
12.3	12	Te Akitai Waiohua Investment Trust	FS 12	Geoffrey John Beresford	Oppose
13.1	13	Emma Chapman	FS 08	The Tree Council	Neither support nor oppose
13.2	13	Emma Chapman	FS 08	The Tree Council	Support
13.3	13	Emma Chapman	FS 08	The Tree Council	Support
13.4	13	Emma Chapman	FS 08	The Tree Council	Support
13.5	13	Emma Chapman	FS 08	The Tree Council	Support
14.1	14	Anna Radford	FS 08	The Tree Council	Support
14.2	14	Anna Radford	FS 08	The Tree Council	Neither support nor oppose
14.3	14	Anna Radford	FS 08	The Tree Council	Support
15.1	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.10	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.1	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.10	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
15.1	15	NZ Notable Trees Trust	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
15.1	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.10	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.11	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.11	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.11	15	NZ Notable Trees Trust	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
15.11	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.12	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.12	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.12	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.2	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.2	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.2	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.3	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.3	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.3	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.4	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.4	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.4	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.5	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
15.5	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.5	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.6	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.6	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.6	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.7	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.7	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.7	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.8	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.8	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.8	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
15.9	15	NZ Notable Trees Trust	FS 08	The Tree Council	Support
15.9	15	NZ Notable Trees Trust	FS 09	Open Space for Future Aucklanders Incorporated	Support
15.9	15	NZ Notable Trees Trust	FS 12	Geoffrey John Beresford	Support
16.1	16	Kerry Stuart Francis	FS 08	The Tree Council	Support
16.2	16	Kerry Stuart Francis	FS 08	The Tree Council	Support
16.3	16	Kerry Stuart Francis	FS 08	The Tree Council	Support
16.4	16	Kerry Stuart Francis	FS 08	The Tree Council	Support
16.5	16	Kerry Stuart Francis	FS 08	The Tree Council	Support
17.1	17	Te Akitai Waiohua Waka Taua Incorporated	FS 08	The Tree Council	Support
17.1	17	Te Akitai Waiohua Waka Taua Incorporated	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
17.1	17	Te Akitai Waiohua Waka Taua Incorporated	FS 12	Geoffrey John Beresford	Oppose
17.2	17	Te Akitai Waiohua Waka Taua Incorporated	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
17.2	17	Te Akitai Waiohua Waka Taua Incorporated	FS 12	Geoffrey John Beresford	Oppose
17.3	17	Te Akitai Waiohua Waka Taua Incorporated	FS 08	The Tree Council	Neither support nor oppose
17.3	17	Te Akitai Waiohua Waka Taua Incorporated	FS 12	Geoffrey John Beresford	Oppose
18.1	18	School of Architecture, Unitec Te Pukenga	FS 08	The Tree Council	Support
18.1	18	School of Architecture, Unitec Te Pukenga	FS 09	Open Space for Future Aucklanders Incorporated	Support
18.1	18	School of Architecture, Unitec Te Pukenga	FS 12	Geoffrey John Beresford	Oppose
18.2	18	School of Architecture, Unitec Te Pukenga	FS 08	The Tree Council	Support
18.2	18	School of Architecture, Unitec Te Pukenga	FS 09	Open Space for Future Aucklanders Incorporated	Support
18.2	18	School of Architecture, Unitec Te Pukenga	FS 12	Geoffrey John Beresford	Oppose
18.3	18	School of Architecture, Unitec Te Pukenga	FS 08	The Tree Council	Support
18.3	18	School of Architecture, Unitec Te Pukenga	FS 09	Open Space for Future Aucklanders Incorporated	Support
18.3	18	School of Architecture, Unitec Te Pukenga	FS 12	Geoffrey John Beresford	Oppose
18.4	18	School of Architecture, Unitec Te Pukenga	FS 08	The Tree Council	Support
18.4	18	School of Architecture, Unitec Te Pukenga	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
18.4	18	School of Architecture, Unitec Te Pukenga	FS 12	Geoffrey John Beresford	Oppose
18.5	18	School of Architecture, Unitec Te Pukenga	FS 08	The Tree Council	Support
18.5	18	School of Architecture, Unitec Te Pukenga	FS 12	Geoffrey John Beresford	Oppose
19.1	19	Tom Ang	FS 08	The Tree Council	Neither support nor oppose
19.2	19	Tom Ang	FS 08	The Tree Council	Support
19.3	19	Tom Ang	FS 08	The Tree Council	Support
19.4	19	Tom Ang	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
19.5	19	Tom Ang	FS 08	The Tree Council	Support
20.1	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Support
20.1	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.1	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 12	Geoffrey John Beresford	Support
20.2	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Neither support nor oppose
20.2	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.3	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Neither support nor oppose
20.3	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.4	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Support
20.4	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.5	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Support
20.5	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.6	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Support
20.6	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 09	Open Space for Future Aucklanders Incorporated	Support
20.7	20	Gladstone Primary School Board of Trustees (Gladstone Primary)	FS 08	The Tree Council	Support
21.1	21	Ann Hatherly	FS 08	The Tree Council	Support
21.2	21	Ann Hatherly	FS 08	The Tree Council	Support
21.3	21	Ann Hatherly	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
22.1	22	Wendy Gray	FS 08	The Tree Council	Neither support nor oppose
22.2	22	Wendy Gray	FS 08	The Tree Council	Support
22.3	22	Wendy Gray	FS 08	The Tree Council	Support
22.4	22	Wendy Gray	FS 08	The Tree Council	Support
22.5	22	Wendy Gray	FS 08	The Tree Council	Support
22.6	22	Wendy Gray	FS 08	The Tree Council	Neither support nor oppose
23.1	23	Moe Richardson	FS 08	The Tree Council	Neither support nor oppose
23.2	23	Moe Richardson	FS 08	The Tree Council	Support
24.1	24	Fire and Emergency New Zealand	FS 08	The Tree Council	Support
24.1	24	Fire and Emergency New Zealand	FS 09	Open Space for Future Aucklanders Incorporated	Support
24.1	24	Fire and Emergency New Zealand	FS 12	Geoffrey John Beresford	Support
24.2	24	Fire and Emergency New Zealand	FS 08	The Tree Council	Support
24.2	24	Fire and Emergency New Zealand	FS 09	Open Space for Future Aucklanders Incorporated	Support
24.2	24	Fire and Emergency New Zealand	FS 12	Geoffrey John Beresford	Support
25.1	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.10	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.10	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.1	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.1	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
25.1	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.10	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.11	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.11	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.11	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.11	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
25.11	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.12	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.12	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.12	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.12	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.13	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.13	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.13	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.14	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.14	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.14	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.15	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.15	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.15	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.16	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.16	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.16	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.17	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.17	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.17	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.17	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.18	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.18	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.18	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.18	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.19	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.19	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.19	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.2	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.20	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.2	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.2	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.20	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.2	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
25.2	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.20	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 05	Auckland Transport	Oppose
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 05	Auckland Transport	Oppose
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.21	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.22	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.22	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.22	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.23	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.23	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.23	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.23	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.24	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.24	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.24	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.25	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.25	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.26	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.26	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.26	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.27	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.27	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.28	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.28	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.28	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
25.28	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.29	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.29	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.29	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.29	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.3	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.30	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.30	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.3	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.3	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.30	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.31	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.31	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.32	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.32	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.33	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.33	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.33	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.34	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.34	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.34	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.35	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.35	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.36	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.36	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.37	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.37	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.38	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.38	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.39	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.39	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.4	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.40	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.40	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.4	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.40	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.4	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.40	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.41	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.41	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.41	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.41	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.42	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.42	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.42	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.43	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.43	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.43	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.44	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.44	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.44	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.45	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.45	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.45	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.46	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.46	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.47	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.47	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.47	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.48	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.48	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 05	Auckland Transport	Oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.48	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.48	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.49	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.49	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.49	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.5	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.50	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.50	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 05	Auckland Transport	Support
25.5	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.50	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.5	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.50	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.51	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.51	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.51	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.52	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.52	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.52	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.52	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.53	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.53	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.53	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.54	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.54	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.54	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.55	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.55	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.55	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.56	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.56	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.57	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.57	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.58	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.58	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.59	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.59	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.6	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.60	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.6	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.60	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.6	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.6	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.60	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.61	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.61	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.62	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.62	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.62	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.63	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.63	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 05	Auckland Transport	Oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.63	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.64	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.64	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.65	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.65	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.66	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.66	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.67	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.67	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.67	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.68	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.68	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.68	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.69	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.69	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.7	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.70	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.7	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.7	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.7	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.70	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.71	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.71	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.72	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.72	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.73	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.73	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.74	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.74	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.74	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.74	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.75	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
25.75	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
25.75	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.75	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.76	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.76	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Support
25.76	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.77	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.77	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.8	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.8	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.8	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
25.9	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 01	Springleigh Residents' Association	Support
25.9	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 08	The Tree Council	Neither support nor oppose
25.9	25	Open Space for Future Aucklanders Incorporated (the Society)	FS 12	Geoffrey John Beresford	Support
26.1	26	Karen Edney	FS 08	The Tree Council	Support
27.1	27	blair thorpe	FS 08	The Tree Council	Support
28.1	28	Geoffrey William John Hinds	FS 08	The Tree Council	Support
28.2	28	Geoffrey William John Hinds	FS 08	The Tree Council	Support
29.1	29	Carolyn Walker	FS 08	The Tree Council	Neither support nor oppose
29.2	29	Carolyn Walker	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
29.3	29	Carolyn Walker	FS 08	The Tree Council	Support
29.4	29	Carolyn Walker	FS 08	The Tree Council	Support
29.5	29	Carolyn Walker	FS 08	The Tree Council	Support
30.1	30	Diana Dolensky	FS 08	The Tree Council	Support
30.10	30	Diana Dolensky	FS 08	The Tree Council	Support
30.11	30	Diana Dolensky	FS 08	The Tree Council	Support
30.12	30	Diana Dolensky	FS 08	The Tree Council	Support
30.2	30	Diana Dolensky	FS 08	The Tree Council	Support
30.3	30	Diana Dolensky	FS 08	The Tree Council	Support
30.4	30	Diana Dolensky	FS 08	The Tree Council	Support
30.5	30	Diana Dolensky	FS 08	The Tree Council	Support
30.6	30	Diana Dolensky	FS 08	The Tree Council	Support
30.7	30	Diana Dolensky	FS 08	The Tree Council	Support
30.8	30	Diana Dolensky	FS 08	The Tree Council	Support
30.9	30	Diana Dolensky	FS 08	The Tree Council	Support
31.1	31	Rebekah Phillips	FS 08	The Tree Council	Support
31.2	31	Rebekah Phillips	FS 08	The Tree Council	Support
31.3	31	Rebekah Phillips	FS 08	The Tree Council	Neither support nor oppose
32.1	32	Ngati Awa, Te Tawera Hapu	FS 08	The Tree Council	Neither support nor oppose
32.1	32	Ngati Awa, Te Tawera Hapu	FS 09	Open Space for Future Aucklanders Incorporated	Support
32.2	32	Ngati Awa, Te Tawera Hapu	FS 08	The Tree Council	Support
33.1	33	Tāne Feary	FS 08	The Tree Council	Support
33.2	33	Tāne Feary	FS 08	The Tree Council	Support
34.1	34	Coral Anne Atkins	FS 08	The Tree Council	Support
34.2	34	Coral Anne Atkins	FS 08	The Tree Council	Support
35.1	35	Jenny Pullar	FS 08	The Tree Council	Support
35.10	35	Jenny Pullar	FS 08	The Tree Council	Support
35.11	35	Jenny Pullar	FS 08	The Tree Council	Support
35.12	35	Jenny Pullar	FS 08	The Tree Council	Support
35.2	35	Jenny Pullar	FS 08	The Tree Council	Support
35.3	35	Jenny Pullar	FS 08	The Tree Council	Support
35.4	35	Jenny Pullar	FS 08	The Tree Council	Support
35.5	35	Jenny Pullar	FS 08	The Tree Council	Support
35.6	35	Jenny Pullar	FS 08	The Tree Council	Support
35.7	35	Jenny Pullar	FS 08	The Tree Council	Support
35.8	35	Jenny Pullar	FS 08	The Tree Council	Support
35.9	35	Jenny Pullar	FS 08	The Tree Council	Support
36.1	36	Deborah Yates-Forlong	FS 08	The Tree Council	Neither support nor oppose
36.2	36	Deborah Yates-Forlong	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
36.3	36	Deborah Yates-Forlong	FS 08	The Tree Council	Support
36.4	36	Deborah Yates-Forlong	FS 08	The Tree Council	Support
36.5	36	Deborah Yates-Forlong	FS 08	The Tree Council	Support
37.1	37	Rohan MacMahon	FS 08	The Tree Council	Neither support nor oppose
37.2	37	Rohan MacMahon	FS 08	The Tree Council	Support
37.3	37	Rohan MacMahon	FS 08	The Tree Council	Support
37.4	37	Rohan MacMahon	FS 08	The Tree Council	Support
37.5	37	Rohan MacMahon	FS 08	The Tree Council	Support
			FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
38.1	38	Jennifer Diane Goldsack			
38.1	38	Jennifer Diane Goldsack	FS 08	The Tree Council	Support
38.2	38	Jennifer Diane Goldsack	FS 08	The Tree Council	Neither support nor oppose
39.1	39	Margaret Evans	FS 08	The Tree Council	Support
			FS 09	Open Space for Future Aucklanders Incorporated	Support
39.1	39	Margaret Evans			
			FS 06	Gladstone Primary School Board of Trustees	Oppose
40.10	40	Auckland Transport			
40.1	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
40.10	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 09	Open Space for Future Aucklanders Incorporated	Oppose
40.10	40	Auckland Transport			
			FS 12	Geoffrey John Beresford	Oppose
40.1	40	Auckland Transport			
			FS 12	Geoffrey John Beresford	Oppose
40.10	40	Auckland Transport			
40.11	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Oppose
40.11	40	Auckland Transport			
			FS 06	Gladstone Primary School Board of Trustees	Oppose
40.12	40	Auckland Transport			
40.12	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 09	Open Space for Future Aucklanders Incorporated	Oppose
40.12	40	Auckland Transport			

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
40.12	40	Auckland Transport	FS 12	Geoffrey John Beresford	Oppose
40.13	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
40.13	40	Auckland Transport	FS 12	Geoffrey John Beresford	Support
40.2	40	Auckland Transport	FS 06	Gladstone Primary School Board of Trustees	Support
40.2	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
40.2	40	Auckland Transport	FS 09	Open Space for Future Aucklanders Incorporated	Support
40.2	40	Auckland Transport	FS 12	Geoffrey John Beresford	Support
40.3	40	Auckland Transport	FS 06	Gladstone Primary School Board of Trustees	Support
40.3	40	Auckland Transport	FS 08	The Tree Council	Support
40.3	40	Auckland Transport	FS 09	Open Space for Future Aucklanders Incorporated	Support
40.3	40	Auckland Transport	FS 12	Geoffrey John Beresford	Support
40.4	40	Auckland Transport	FS 06	Gladstone Primary School Board of Trustees	Support
40.4	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
40.4	40	Auckland Transport	FS 09	Open Space for Future Aucklanders Incorporated	Support
40.4	40	Auckland Transport	FS 12	Geoffrey John Beresford	Support
40.5	40	Auckland Transport	FS 06	Gladstone Primary School Board of Trustees	Oppose
40.5	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
40.5	40	Auckland Transport	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
40.5	40	Auckland Transport	FS 12	Geoffrey John Beresford	Oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
40.6	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 06	Gladstone Primary School Board of Trustees	Support
40.7	40	Auckland Transport			
40.7	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 09	Open Space for Future Aucklanders Incorporated	Support
40.7	40	Auckland Transport			
40.7	40	Auckland Transport	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Support
			FS 12	Geoffrey John Beresford	Support
40.7	40	Auckland Transport			
40.7	40	Auckland Transport	FS 12	Geoffrey John Beresford	Support
40.8	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Oppose
40.8	40	Auckland Transport			
40.9	40	Auckland Transport	FS 08	The Tree Council	Neither support nor oppose
41.1	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.10	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.11	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.12	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.2	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.3	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.4	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.5	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.6	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.7	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.8	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
41.9	41	Dr Christine Joan Perkins	FS 08	The Tree Council	Support
42.1	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.10	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
			FS 09	Open Space for Future Aucklanders Incorporated	Support
42.1	42	Garden Design Society of New Zealand			
42.11	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.12	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
42.2	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.2	42	Garden Design Society of New Zealand	FS 09	Open Space for Future Aucklanders Incorporated	Support
42.3	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.4	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.5	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.6	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.7	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.8	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
42.9	42	Garden Design Society of New Zealand	FS 08	The Tree Council	Support
43.1	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.10	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.11	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.12	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.2	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.3	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.4	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.5	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.6	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.7	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.8	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
43.9	43	Yolanda van den Bemd	FS 08	The Tree Council	Support
44.1	44	Leonard Matthews	FS 08	The Tree Council	Support
44.10	44	Leonard Matthews	FS 08	The Tree Council	Support
44.11	44	Leonard Matthews	FS 08	The Tree Council	Support
44.12	44	Leonard Matthews	FS 08	The Tree Council	Support
44.2	44	Leonard Matthews	FS 08	The Tree Council	Support
44.3	44	Leonard Matthews	FS 08	The Tree Council	Support
44.4	44	Leonard Matthews	FS 08	The Tree Council	Support
44.5	44	Leonard Matthews	FS 08	The Tree Council	Support
44.6	44	Leonard Matthews	FS 08	The Tree Council	Support
44.7	44	Leonard Matthews	FS 08	The Tree Council	Support
44.8	44	Leonard Matthews	FS 08	The Tree Council	Support
44.9	44	Leonard Matthews	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
45.1	45	Watercare Services Limited	FS 08	The Tree Council	Support
45.1	45	Watercare Services Limited	FS 09	Open Space for Future Aucklanders Incorporated	Support
45.1	45	Watercare Services Limited	FS 12	Geoffrey John Beresford	Support
45.2	45	Watercare Services Limited	FS 08	The Tree Council	Support
45.2	45	Watercare Services Limited	FS 09	Open Space for Future Aucklanders Incorporated	Support
45.2	45	Watercare Services Limited	FS 12	Geoffrey John Beresford	Support
45.3	45	Watercare Services Limited	FS 05	Auckland Transport	Support (Second point of 45.3)
45.3	45	Watercare Services Limited	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
45.3	45	Watercare Services Limited	FS 08	The Tree Council	Neither support nor oppose
45.3	45	Watercare Services Limited	FS 09	Open Space for Future Aucklanders Incorporated	Support
45.3	45	Watercare Services Limited	FS 12	Geoffrey John Beresford	Support
46.1	46	Tina Dean	FS 08	The Tree Council	Support
46.10	46	Tina Dean	FS 08	The Tree Council	Support
46.11	46	Tina Dean	FS 08	The Tree Council	Support
46.12	46	Tina Dean	FS 08	The Tree Council	Support
46.2	46	Tina Dean	FS 08	The Tree Council	Support
46.3	46	Tina Dean	FS 08	The Tree Council	Support
46.4	46	Tina Dean	FS 08	The Tree Council	Support
46.5	46	Tina Dean	FS 08	The Tree Council	Support
46.6	46	Tina Dean	FS 08	The Tree Council	Support
46.7	46	Tina Dean	FS 08	The Tree Council	Support
46.8	46	Tina Dean	FS 08	The Tree Council	Support
46.9	46	Tina Dean	FS 08	The Tree Council	Support
47.1	47	Margie Proposch	FS 08	The Tree Council	Support
48.1	48	Alison Burt	FS 08	The Tree Council	Support
48.2	48	Alison Burt	FS 08	The Tree Council	Support
48.3	48	Alison Burt	FS 08	The Tree Council	Support
49.1	49	Phillippa Wilkie	FS 08	The Tree Council	Support
50.1	50	Gordon Wickham Ikin	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
			FS 01	Springleigh Residents' Association	Support
51.1	51	Dennis Katsanos			
51.1	51	Dennis Katsanos	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
51.1	51	Dennis Katsanos			
			FS 01	Springleigh Residents' Association	Support
51.2	51	Dennis Katsanos			
51.2	51	Dennis Katsanos	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
51.2	51	Dennis Katsanos			
			FS 01	Springleigh Residents' Association	Support
51.3	51	Dennis Katsanos			
51.3	51	Dennis Katsanos	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
51.3	51	Dennis Katsanos			
			FS 01	Springleigh Residents' Association	Support
51.4	51	Dennis Katsanos			
51.4	51	Dennis Katsanos	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
51.4	51	Dennis Katsanos			
52.1	52	Sue Shearer	FS 08	The Tree Council	Support
52.10	52	Sue Shearer	FS 08	The Tree Council	Support
52.11	52	Sue Shearer	FS 08	The Tree Council	Support
52.12	52	Sue Shearer	FS 08	The Tree Council	Support
52.2	52	Sue Shearer	FS 08	The Tree Council	Support
52.3	52	Sue Shearer	FS 08	The Tree Council	Support
52.4	52	Sue Shearer	FS 08	The Tree Council	Support
52.5	52	Sue Shearer	FS 08	The Tree Council	Support
52.6	52	Sue Shearer	FS 08	The Tree Council	Support
52.7	52	Sue Shearer	FS 08	The Tree Council	Support
52.8	52	Sue Shearer	FS 08	The Tree Council	Support
52.9	52	Sue Shearer	FS 08	The Tree Council	Support
53.1	53	Greta van der Star	FS 08	The Tree Council	Support
54.1	54	Kate Battersby	FS 08	The Tree Council	Support
55.1	55	Kate Lowe	FS 08	The Tree Council	Support
56.1	56	Fiona Lascelles	FS 08	The Tree Council	Support
57.10	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
57.1	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.1	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Support
57.1	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.10	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.11	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.11	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.12	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.12	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.13	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.13	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.14	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.14	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.15	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.15	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.16	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.16	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.17	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.17	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.18	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.18	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.19	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.19	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.2	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
57.20	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.2	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.20	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.21	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.21	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.22	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.22	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.23	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.23	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.24	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.25	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.26	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.27	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.27	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.28	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.29	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.3	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.30	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.3	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Support
57.3	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.31	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.32	57	Springleigh Residents Association	FS 05	Auckland Transport	Support in part
57.32	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
57.32	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.33	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.34	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.35	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.35	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Support
57.35	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.36	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.36	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Oppose in part
57.36	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Oppose
57.37	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.37	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Oppose in part
57.37	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Oppose
57.38	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.38	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Support
57.38	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.39	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.39	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.4	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.40	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.40	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.41	57	Springleigh Residents Association	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
57.41	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.42	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.42	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.43	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.43	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.44	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.44	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.45	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.45	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.46	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.46	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.47	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.47	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.48	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.48	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.49	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.49	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.5	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.50	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.50	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.51	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.51	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.52	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
57.52	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.53	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.53	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.54	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.54	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.55	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.55	57	Springleigh Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Support
57.55	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.6	57	Springleigh Residents Association	FS 08	The Tree Council	Support
57.6	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.7	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.7	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.8	57	Springleigh Residents Association	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
57.8	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.8	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
57.9	57	Springleigh Residents Association	FS 08	The Tree Council	Neither support nor oppose
57.9	57	Springleigh Residents Association	FS 12	Geoffrey John Beresford	Support
58.1	58	Greer Rasmussen	FS 08	The Tree Council	Support
59.1	59	Linda Hill	FS 08	The Tree Council	Support
59.2	59	Linda Hill	FS 08	The Tree Council	Support
60.1	60	Susan Jane Ewen	FS 08	The Tree Council	Support
61.1	61	Chris Calvert	FS 08	The Tree Council	Neither support nor oppose
61.1	61	Chris Calvert	FS 12	Geoffrey John Beresford	Support
61.2	61	Chris Calvert	FS 08	The Tree Council	Support
61.3	61	Chris Calvert	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
61.3	61	Chris Calvert	FS 12	Geoffrey John Beresford	Support
62.1	62	Judy Keats	FS 08	The Tree Council	Support
62.10	62	Judy Keats	FS 08	The Tree Council	Support
62.11	62	Judy Keats	FS 08	The Tree Council	Support
62.12	62	Judy Keats	FS 08	The Tree Council	Support
62.2	62	Judy Keats	FS 08	The Tree Council	Support
62.3	62	Judy Keats	FS 08	The Tree Council	Support
62.4	62	Judy Keats	FS 08	The Tree Council	Support
62.5	62	Judy Keats	FS 08	The Tree Council	Support
62.6	62	Judy Keats	FS 08	The Tree Council	Support
62.7	62	Judy Keats	FS 08	The Tree Council	Support
62.8	62	Judy Keats	FS 08	The Tree Council	Support
62.9	62	Judy Keats	FS 08	The Tree Council	Support
63.1	63	The Ngāti Tamaoho Settlement Trust	FS 08	The Tree Council	Support
63.1	63	The Ngāti Tamaoho Settlement Trust	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
63.1	63	The Ngāti Tamaoho Settlement Trust	FS 12	Geoffrey John Beresford	Oppose
63.2	63	The Ngāti Tamaoho Settlement Trust	FS 08	The Tree Council	Neither support nor oppose
63.2	63	The Ngāti Tamaoho Settlement Trust	FS 12	Geoffrey John Beresford	Oppose
63.3	63	The Ngāti Tamaoho Settlement Trust	FS 08	The Tree Council	Neither support nor oppose
63.3	63	The Ngāti Tamaoho Settlement Trust	FS 12	Geoffrey John Beresford	Oppose
64.1	64	Kim Shephard-Tjirn	FS 08	The Tree Council	Support
65.1	65	Te Whatu Ora Health New Zealand Waitemata	FS 08	The Tree Council	Oppose
65.1	65	Te Whatu Ora Health New Zealand Waitemata	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
65.1	65	Te Whatu Ora Health New Zealand Waitemata	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Support
65.1	65	Te Whatu Ora Health New Zealand Waitemata	FS 12	Geoffrey John Beresford	Oppose
66.1	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
66.1	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 12	Geoffrey John Beresford	Oppose
66.2	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 08	The Tree Council	Neither support nor oppose
66.2	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 12	Geoffrey John Beresford	Oppose
66.3	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 08	The Tree Council	Neither support nor oppose
66.3	66	Te Kawerau a Maki & Te Wai O Raka Development GP Limited	FS 12	Geoffrey John Beresford	Oppose
67.1	67	Waiohua Tamaki Ropu (Waiohua)	FS 08	The Tree Council	Support
67.1	67	Waiohua Tamaki Ropu (Waiohua)	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
67.1	67	Waiohua Tamaki Ropu (Waiohua)	FS 12	Geoffrey John Beresford	Support
67.2	67	Waiohua Tamaki Ropu (Waiohua)	FS 08	The Tree Council	Neither support nor oppose
67.2	67	Waiohua Tamaki Ropu (Waiohua)	FS 12	Geoffrey John Beresford	Support
67.3	67	Waiohua Tamaki Ropu (Waiohua)	FS 08	The Tree Council	Neither support nor oppose
67.3	67	Waiohua Tamaki Ropu (Waiohua)	FS 12	Geoffrey John Beresford	Support
68.1	68	Auckland Council	FS 01	Springleigh Residents' Association	Oppose
68.1	68	Auckland Council	FS 08	The Tree Council	Oppose
68.1	68	Auckland Council	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
68.1	68	Auckland Council	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Support
68.1	68	Auckland Council	FS 12	Geoffrey John Beresford	Oppose
70.1	70	Paula Glen Norman	FS 08	The Tree Council	Support
70.2	70	Paula Glen Norman	FS 08	The Tree Council	Support
70.2	70	Paula Glen Norman	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
71.1	71	Angela Moon	FS 08	The Tree Council	Neither support nor oppose
72.10	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Neither support nor oppose
72.1	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.1	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.1	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.2	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.2	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.2	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.3	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.3	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.3	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.4	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.4	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.4	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.5	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.5	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.5	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.6	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.6	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
72.7	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.7	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.7	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.8	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Neither support nor oppose
72.8	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
72.9	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 08	The Tree Council	Support
72.9	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 09	Open Space for Future Aucklanders Incorporated	Support
72.9	72	St Lukes Environmental Protection Society Inc (STEPS)	FS 12	Geoffrey John Beresford	Support with amendments
73.1	73	Malcolm Wong	FS 08	The Tree Council	Neither support nor oppose
74.1	74	Melina Ubada Browne	FS 08	The Tree Council	Support
75.1	75	Pia Jaaskelainen	FS 08	The Tree Council	Neither support nor oppose
76.1	76	Kirsten Millen	FS 08	The Tree Council	Neither support nor oppose
76.2	76	Kirsten Millen	FS 08	The Tree Council	Neither support nor oppose
77.1	77	Lucianne Holt	FS 08	The Tree Council	Neither support nor oppose
77.2	77	Lucianne Holt	FS 08	The Tree Council	Neither support nor oppose
77.3	77	Lucianne Holt	FS 08	The Tree Council	Support
78.1	78	Toni Farrow	FS 08	The Tree Council	Neither support nor oppose
79.1	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.10	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.1	79	The Tree Council	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
79.1	79	The Tree Council	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
79.10	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.11	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.11	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.12	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.12	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.2	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.2	79	The Tree Council	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Oppose
79.2	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.3	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.3	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.4	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.4	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.5	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.5	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.6	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.6	79	The Tree Council	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
79.7	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.7	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.8	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.8	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
79.9	79	The Tree Council	FS 09	Open Space for Future Aucklanders Incorporated	Support
79.9	79	The Tree Council	FS 12	Geoffrey John Beresford	Support
80.1	80	Annabel Firth	FS 08	The Tree Council	Neither support nor oppose
81.1	81	Rosemary McGlynn	FS 08	The Tree Council	Support
81.2	81	Rosemary McGlynn	FS 08	The Tree Council	Neither support nor oppose
82.1	82	Rachel Simpson	FS 08	The Tree Council	Neither support nor oppose
82.1	82	Rachel Simpson	FS 12	Geoffrey John Beresford	Support
82.2	82	Rachel Simpson	FS 08	The Tree Council	Neither support nor oppose
82.2	82	Rachel Simpson	FS 12	Geoffrey John Beresford	Support
83.1	83	Joanna Waddington	FS 08	The Tree Council	Neither support nor oppose
83.1	83	Joanna Waddington	FS 12	Geoffrey John Beresford	Support
83.2	83	Joanna Waddington	FS 08	The Tree Council	Support
84.1	84	Roberta Schmulian	FS 08	The Tree Council	Neither support nor oppose
84.2	84	Roberta Schmulian	FS 08	The Tree Council	Support
84.3	84	Roberta Schmulian	FS 08	The Tree Council	Support
85.1	85	Sarah Bailey	FS 08	The Tree Council	Support
85.2	85	Sarah Bailey	FS 08	The Tree Council	Neither support nor oppose
85.3	85	Sarah Bailey	FS 08	The Tree Council	Neither support nor oppose
86.1	86	Danielle Chew	FS 08	The Tree Council	Neither support nor oppose
86.2	86	Danielle Chew	FS 08	The Tree Council	Support
86.3	86	Danielle Chew	FS 08	The Tree Council	Support
86.4	86	Danielle Chew	FS 08	The Tree Council	Neither support nor oppose
87.1	87	Sophie Bostwick	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
87.2	87	Sophie Bostwick	FS 08	The Tree Council	Neither support nor oppose
87.3	87	Sophie Bostwick	FS 08	The Tree Council	Neither support nor oppose
88.1	88	Dan Blanchon	FS 08	The Tree Council	Neither support nor oppose
88.1	88	Dan Blanchon	FS 12	Geoffrey John Beresford	Support
88.2	88	Dan Blanchon	FS 08	The Tree Council	Support
88.3	88	Dan Blanchon	FS 08	The Tree Council	Support
89.1	89	Helen Fitness	FS 08	The Tree Council	Neither support nor oppose
89.2	89	Helen Fitness	FS 08	The Tree Council	Support
89.3	89	Helen Fitness	FS 08	The Tree Council	Neither support nor oppose
90.1	90	Simone Connell	FS 08	The Tree Council	Support
91.1	91	Lesley Mitchell	FS 08	The Tree Council	Support
92.1	92	Karen Burge	FS 08	The Tree Council	Support
92.1	92	Karen Burge	FS 12	Geoffrey John Beresford	Support
92.2	92	Karen Burge	FS 08	The Tree Council	Neither support nor oppose
92.2	92	Karen Burge	FS 12	Geoffrey John Beresford	Support
92.3	92	Karen Burge	FS 08	The Tree Council	Support
92.3	92	Karen Burge	FS 12	Geoffrey John Beresford	Support
92.4	92	Karen Burge	FS 08	The Tree Council	Support
92.4	92	Karen Burge	FS 12	Geoffrey John Beresford	Support
93.1	93	Weicheng Huang	FS 08	The Tree Council	Neither support nor oppose
94.1	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.10	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.1	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.10	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.10	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
94.1	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
94.10	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.11	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.11	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.11	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
94.11	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.12	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.12	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.12	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.13	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.13	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.13	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.14	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.14	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.14	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.15	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.15	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.15	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.16	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
94.16	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.16	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.17	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.17	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.17	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.18	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.18	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.18	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.19	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.19	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.19	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.2	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.20	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.2	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.20	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.2	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.20	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.21	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
94.21	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.21	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.22	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.22	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.22	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.3	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.3	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.3	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.4	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.4	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.4	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.5	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.5	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Neither support nor oppose
94.5	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.6	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.6	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.6	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Oppose
94.7	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
94.7	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.7	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
94.7	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.8	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.8	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.8	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
94.8	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
94.9	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 01	Springleigh Residents' Association	Support
94.9	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 08	The Tree Council	Support
94.9	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
94.9	94	Ngā Ringa o Te Auaunga - Friends of Oakley Creek	FS 12	Geoffrey John Beresford	Support
95.1	95	Sonny Rahman	FS 08	The Tree Council	Neither support nor oppose
95.2	95	Sonny Rahman	FS 08	The Tree Council	Neither support nor oppose
96.1	96	Karine David	FS 08	The Tree Council	Neither support nor oppose
96.2	96	Karine David	FS 08	The Tree Council	Neither support nor oppose
96.3	96	Karine David	FS 08	The Tree Council	Support
96.4	96	Karine David	FS 08	The Tree Council	Support
96.5	96	Karine David	FS 08	The Tree Council	Neither support nor oppose
97.1	97	Sara Remnerth	FS 08	The Tree Council	Neither support nor oppose
97.2	97	Sara Remnerth	FS 08	The Tree Council	Support
98.1	98	Talia Browne Goodger	FS 08	The Tree Council	Support
99.1	99	Renee Mathews	FS 08	The Tree Council	Neither support nor oppose
99.2	99	Renee Mathews	FS 08	The Tree Council	Support
99.3	99	Renee Mathews	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
100.1	100	Evelyn McNamara	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
100.1	100	Evelyn McNamara			
100.2	100	Evelyn McNamara	FS 08	The Tree Council	Neither support nor oppose
100.3	100	Evelyn McNamara	FS 08	The Tree Council	Support
100.4	100	Evelyn McNamara	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
100.4	100	Evelyn McNamara			
101.1	101	Donna Schofield	FS 08	The Tree Council	Neither support nor oppose
101.2	101	Donna Schofield	FS 08	The Tree Council	Support
101.3	101	Donna Schofield	FS 08	The Tree Council	Neither support nor oppose
101.4	101	Donna Schofield	FS 08	The Tree Council	Support
102.1	102	Haidee Stairmand	FS 08	The Tree Council	Support
103.1	103	Alice van der Wende	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.			
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 02	Yolanda van den Bemd	Support
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 03	Tina Salehi	Support
			FS 04	Gardens4Health, Diabetes Foundation Aotearoa	Support
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.			
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 08	The Tree Council	Neither support nor oppose
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 10	Trevor Keith Crosby	Support
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 13	Beverley Gay Crosby	Support
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 14	Judy Keats	Oppose
104.1	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 15	Karine David	Support
			FS 01	Springleigh Residents' Association	Support
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.			
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 02	Yolanda van den Bemd	Support
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 03	Tina Salehi	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 04	Gardens4Health, Diabetes Foundation Aotearoa	Support
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 08	The Tree Council	Neither support nor oppose
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 10	Trevor Keith Crosby	Support
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 13	Beverley Gay Crosby	Support
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 14	Judy Keats	Oppose
104.2	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 15	Karine David	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 01	Springleigh Residents' Association	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 02	Yolanda van den Bemd	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 03	Tina Salehi	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 04	Gardens4Health, Diabetes Foundation Aotearoa	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 08	The Tree Council	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 09	Open Space for Future Aucklanders Incorporated	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 10	Trevor Keith Crosby	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 13	Beverley Gay Crosby	Support
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 14	Judy Keats	Oppose
104.3	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 15	Karine David	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 01	Springleigh Residents' Association	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 02	Yolanda van den Bemd	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 03	Tina Salehi	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 04	Gardens4Health, Diabetes Foundation Aotearoa	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 08	The Tree Council	Neither support nor oppose
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 10	Trevor Keith Crosby	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 13	Beverley Gay Crosby	Support
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 14	Judy Keats	Oppose
104.4	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 15	Karine David	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 01	Springleigh Residents' Association	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 02	Yolanda van den Bemd	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 03	Tina Salehi	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 04	Gardens4Health, Diabetes Foundation Aotearoa	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 08	The Tree Council	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 09	Open Space for Future Aucklanders Incorporated	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 10	Trevor Keith Crosby	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 13	Beverley Gay Crosby	Support
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 14	Judy Keats	Oppose
104.5	104	Sanctuary Community Organic Garden Mahi Whenua Inc.	FS 15	Karine David	Support
105.1	105	Ngati Whatua Orakei Whai Rawa Limited	FS 06	Gladstone Primary School Board of Trustees	Oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
105.1	105	Ngati Whatua Orakei Whai Rawa Limited	FS 08	The Tree Council	Neither support nor oppose
105.1	105	Ngati Whatua Orakei Whai Rawa Limited	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Support
105.1	105	Ngati Whatua Orakei Whai Rawa Limited	FS 12	Geoffrey John Beresford	Oppose
105.2	105	Ngati Whatua Orakei Whai Rawa Limited	FS 06	Gladstone Primary School Board of Trustees	Oppose
105.2	105	Ngati Whatua Orakei Whai Rawa Limited	FS 08	The Tree Council	Oppose
105.2	105	Ngati Whatua Orakei Whai Rawa Limited	FS 12	Geoffrey John Beresford	Support
106.1	106	Elizabeth Johnson	FS 08	The Tree Council	Support
107.1	107	Xenia Marcroft	FS 08	The Tree Council	Support
107.2	107	Xenia Marcroft	FS 08	The Tree Council	Neither support nor oppose
107.3	107	Xenia Marcroft	FS 08	The Tree Council	Neither support nor oppose
108.1	108	Emma John	FS 08	The Tree Council	Neither support nor oppose
108.2	108	Emma John	FS 08	The Tree Council	Neither support nor oppose
108.3	108	Emma John	FS 08	The Tree Council	Neither support nor oppose
109.1	109	Liz Sertsou	FS 08	The Tree Council	Neither support nor oppose
109.2	109	Liz Sertsou	FS 08	The Tree Council	Neither support nor oppose
109.3	109	Liz Sertsou	FS 08	The Tree Council	Support
110.1	110	Kerry Palmer	FS 08	The Tree Council	Neither support nor oppose
110.2	110	Kerry Palmer	FS 08	The Tree Council	Neither support nor oppose
111.1	111	Bobby Willcox	FS 08	The Tree Council	Neither support nor oppose
111.2	111	Bobby Willcox	FS 08	The Tree Council	Neither support nor oppose
111.3	111	Bobby Willcox	FS 08	The Tree Council	Neither support nor oppose
112.1	112	Ockham Group Limited	FS 08	The Tree Council	Neither support nor oppose
112.1	112	Ockham Group Limited	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
112.1	112	Ockham Group Limited	FS 12	Geoffrey John Beresford	Oppose
112.2	112	Ockham Group Limited	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
112.2	112	Ockham Group Limited	FS 12	Geoffrey John Beresford	Oppose
113.1	113	Greta Yardley	FS 08	The Tree Council	Support
113.2	113	Greta Yardley	FS 08	The Tree Council	Neither support nor oppose
113.3	113	Greta Yardley	FS 08	The Tree Council	Support
113.4	113	Greta Yardley	FS 08	The Tree Council	Neither support nor oppose
114.1	114	Jessica Tucker	FS 08	The Tree Council	Neither support nor oppose
114.2	114	Jessica Tucker	FS 08	The Tree Council	Neither support nor oppose
114.3	114	Jessica Tucker	FS 08	The Tree Council	Neither support nor oppose
114.4	114	Jessica Tucker	FS 08	The Tree Council	Neither support nor oppose
114.5	114	Jessica Tucker	FS 08	The Tree Council	Support
115.1	115	Christopher Casey	FS 08	The Tree Council	Support
115.2	115	Christopher Casey	FS 08	The Tree Council	Support
115.3	115	Christopher Casey	FS 08	The Tree Council	Support
115.4	115	Christopher Casey	FS 08	The Tree Council	Neither support nor oppose
115.5	115	Christopher Casey	FS 08	The Tree Council	Support
115.6	115	Christopher Casey	FS 08	The Tree Council	Support
116.1	116	Jo Kleiner	FS 08	The Tree Council	Neither support nor oppose
116.2	116	Jo Kleiner	FS 08	The Tree Council	Neither support nor oppose
116.3	116	Jo Kleiner	FS 08	The Tree Council	Support
116.4	116	Jo Kleiner	FS 08	The Tree Council	Neither support nor oppose
117.1	117	Warren McQuoid	FS 08	The Tree Council	Neither support nor oppose
117.2	117	Warren McQuoid	FS 08	The Tree Council	Neither support nor oppose
117.3	117	Warren McQuoid	FS 08	The Tree Council	Neither support nor oppose
118.1	118	Campbell Hodgetts	FS 08	The Tree Council	Neither support nor oppose
118.1	118	Campbell Hodgetts	FS 12	Geoffrey John Beresford	Support
118.2	118	Campbell Hodgetts	FS 08	The Tree Council	Neither support nor oppose
118.2	118	Campbell Hodgetts	FS 12	Geoffrey John Beresford	Support
118.3	118	Campbell Hodgetts	FS 08	The Tree Council	Neither support nor oppose
118.3	118	Campbell Hodgetts	FS 12	Geoffrey John Beresford	Support
119.1	119	Natalie Munro	FS 08	The Tree Council	Support
119.1	119	Natalie Munro	FS 12	Geoffrey John Beresford	Support
119.2	119	Natalie Munro	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
119.2	119	Natalie Munro	FS 12	Geoffrey John Beresford	Support
119.3	119	Natalie Munro	FS 08	The Tree Council	Neither support nor oppose
119.3	119	Natalie Munro	FS 12	Geoffrey John Beresford	Support
119.4	119	Natalie Munro	FS 08	The Tree Council	Neither support nor oppose
119.4	119	Natalie Munro	FS 12	Geoffrey John Beresford	Support
119.5	119	Natalie Munro	FS 08	The Tree Council	Neither support nor oppose
119.5	119	Natalie Munro	FS 12	Geoffrey John Beresford	Support
120.1	120	Marutūāhu Rōpū	FS 08	The Tree Council	Neither support nor oppose
120.1	120	Marutūāhu Rōpū	FS 12	Geoffrey John Beresford	Oppose
120.2	120	Marutūāhu Rōpū	FS 08	The Tree Council	Oppose
120.2	120	Marutūāhu Rōpū	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
120.2	120	Marutūāhu Rōpū	FS 12	Geoffrey John Beresford	Oppose
121.1	121	Claire Sutton	FS 08	The Tree Council	Neither support nor oppose
122.1	122	Christina Miskimmons	FS 08	The Tree Council	Neither support nor oppose
123.1	123	Julia Halpin	FS 08	The Tree Council	Support
124.1	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.10	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.1	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.1	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.10	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.11	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.11	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.11	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.12	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.12	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.13	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.13	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.13	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.14	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.14	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.15	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.15	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.15	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.16	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.16	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.17	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.17	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.18	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.18	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.18	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.18	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.19	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.19	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.19	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.2	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.20	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.2	124	Geoffrey John Beresford	FS 05	Auckland Transport	Oppose
124.2	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.20	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.21	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.21	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.21	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.22	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.22	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.23	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.23	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.23	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.24	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.24	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.25	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.25	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.26	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.26	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.27	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.27	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.28	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.28	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.29	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.29	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.3	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.30	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.3	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.30	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.3	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.31	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.31	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.31	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
124.32	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.32	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.32	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
124.33	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.33	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.33	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
124.34	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.34	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.35	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.35	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.36	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.36	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.36	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.37	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.37	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.37	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.38	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.38	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.38	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.39	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.39	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.4	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.40	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.40	124	Geoffrey John Beresford	FS 05	Auckland Transport	Oppose
124.40	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.4	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.41	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.41	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.41	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.41	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.42	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.42	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.43	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.43	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.44	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.44	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.45	124	Geoffrey John Beresford			
124.45	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.46	124	Geoffrey John Beresford			
124.46	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.47	124	Geoffrey John Beresford			
124.47	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.48	124	Geoffrey John Beresford			
			FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.48	124	Geoffrey John Beresford			
124.48	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 09	Open Space for Future Aucklanders Incorporated	Support
124.48	124	Geoffrey John Beresford			
			FS 01	Springleigh Residents' Association	Support
124.49	124	Geoffrey John Beresford			
124.49	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.5	124	Geoffrey John Beresford			
			FS 01	Springleigh Residents' Association	Support
124.50	124	Geoffrey John Beresford			
124.5	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.50	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.51	124	Geoffrey John Beresford			
124.51	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.52	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.52	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.53	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.53	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.54	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.54	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.55	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.55	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
124.56	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.56	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.57	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.57	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.58	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.58	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.59	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.59	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.6	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.60	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.6	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.60	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.61	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.61	124	Geoffrey John Beresford	FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.61	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.62	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.62	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.63	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.63	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.63	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.64	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.64	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.65	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.65	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.65	124	Geoffrey John Beresford	FS 09	Open Space for Future Aucklanders Incorporated	Support
124.66	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.66	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.67	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support
124.67	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.68	124	Geoffrey John Beresford	FS 01	Springleigh Residents' Association	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
124.68	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.69	124	Geoffrey John Beresford			
124.69	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.7	124	Geoffrey John Beresford			
			FS 01	Springleigh Residents' Association	Support
124.70	124	Geoffrey John Beresford			
			FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.7	124	Geoffrey John Beresford			
124.70	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
124.7	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
			FS 01	Springleigh Residents' Association	Support
124.71	124	Geoffrey John Beresford			
124.71	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.72	124	Geoffrey John Beresford			
124.72	124	Geoffrey John Beresford	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
124.8	124	Geoffrey John Beresford			
			FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.8	124	Geoffrey John Beresford			
124.8	124	Geoffrey John Beresford	FS 08	The Tree Council	Support
			FS 01	Springleigh Residents' Association	Support
124.9	124	Geoffrey John Beresford			
			FS 07	Health New Zealand Te Whatu Ora –Waitematā (Te Whatu Ora)	Oppose
124.9	124	Geoffrey John Beresford			
124.9	124	Geoffrey John Beresford	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
125.1	125	Helen Gilligan-Reid	FS 08	The Tree Council	Support
125.2	125	Helen Gilligan-Reid	FS 08	The Tree Council	Neither support nor oppose
126.1	126	Portia Lawre	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
126.1	126	Portia Lawrence			
126.2	126	Portia Lawre	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
126.2	126	Portia Lawrence			
126.3	126	Portia Lawre	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
126.3	126	Portia Lawrence			
126.4	126	Portia Lawre	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
126.4	126	Portia Lawrence			
126.5	126	Portia Lawre	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
126.5	126	Portia Lawrence			
126.6	126	Portia Lawre	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
126.6	126	Portia Lawrence			
127.1	127	Colin Robert Symonds	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
127.1	127	Colin Robert Symonds			
128.1	128	Judy Dale	FS 08	The Tree Council	Support
129.1	129	Paul Tudor	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
129.1	129	Paul Tudor			
129.2	129	Paul Tudor	FS 08	The Tree Council	Support
130.1	130	Carol Gunn	FS 08	The Tree Council	Support
131.1	131	Katrina Smith	FS 08	The Tree Council	Support
132.1	132	Kate Rensen	FS 08	The Tree Council	Neither support nor oppose
132.2	132	Kate Rensen	FS 08	The Tree Council	Support
132.3	132	Kate Rensen	FS 08	The Tree Council	Neither support nor oppose
132.4	132	Kate Rensen	FS 08	The Tree Council	Neither support nor oppose
132.5	132	Kate Rensen	FS 08	The Tree Council	Neither support nor oppose
132.6	132	Kate Rensen	FS 08	The Tree Council	Neither support nor oppose
133.1	133	Samantha Smith	FS 08	The Tree Council	Neither support nor oppose
133.2	133	Samantha Smith	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
133.3	133	Samantha Smith	FS 08	The Tree Council	Neither support nor oppose
134.1	134	Jennifer Gibbs	FS 08	The Tree Council	Support
134.2	134	Jennifer Gibbs	FS 08	The Tree Council	Neither support nor oppose
135.1	135	Ronald Philip Tapply	FS 08	The Tree Council	Support
135.1	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
135.2	135	Ronald Philip Tapply	FS 08	The Tree Council	Neither support nor oppose
135.2	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
135.3	135	Ronald Philip Tapply	FS 08	The Tree Council	Neither support nor oppose
135.3	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
135.4	135	Ronald Philip Tapply	FS 08	The Tree Council	Neither support nor oppose
135.4	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
135.5	135	Ronald Philip Tapply	FS 08	The Tree Council	Support
135.5	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
135.6	135	Ronald Philip Tapply	FS 08	The Tree Council	Neither support nor oppose
135.6	135	Ronald Philip Tapply	FS 12	Geoffrey John Beresford	Support
136.1	136	Jade Harris	FS 08	The Tree Council	Neither support nor oppose
137.1	137	Rachel Neal	FS 08	The Tree Council	Neither support nor oppose
138.1	138	Penelope Hansen	FS 08	The Tree Council	Neither support nor oppose
138.2	138	Penelope Hansen	FS 08	The Tree Council	Support
138.3	138	Penelope Hansen	FS 08	The Tree Council	Support
139.1	139	Ann McShane	FS 08	The Tree Council	Support
140.1	140	Bryce Long	FS 08	The Tree Council	Neither support nor oppose
140.2	140	Bryce Long	FS 08	The Tree Council	Support
140.3	140	Bryce Long	FS 08	The Tree Council	Neither support nor oppose
140.4	140	Bryce Long	FS 08	The Tree Council	Neither support nor oppose
140.5	140	Bryce Long	FS 08	The Tree Council	Neither support nor oppose
141.1	141	Sarah Harris	FS 08	The Tree Council	Neither support nor oppose
141.2	141	Sarah Harris	FS 08	The Tree Council	Support
141.3	141	Sarah Harris	FS 08	The Tree Council	Support
142.1	142	Ngāi Tai ki Tāmaki	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
142.1	142	Ngāi Tai ki Tāmaki	FS 09	Open Space for Future Aucklanders Incorporated	Oppose
142.1	142	Ngāi Tai ki Tāmaki	FS 12	Geoffrey John Beresford	Oppose
142.2	142	Ngāi Tai ki Tāmaki	FS 08	The Tree Council	Neither support nor oppose
142.3	142	Ngāi Tai ki Tāmaki	FS 08	The Tree Council	Neither support nor oppose
143.1	143	Mt Albert Residents Association	FS 01	Springleigh Residents' Association	Support
143.1	143	Mt Albert Residents Association	FS 08	The Tree Council	Neither support nor oppose
143.1	143	Mt Albert Residents Association	FS 09	Open Space for Future Aucklanders Incorporated	Oppose in part
144.1	144	Timothy James Gibbs	FS 08	The Tree Council	Support
144.2	144	Timothy James Gibbs	FS 08	The Tree Council	Neither support nor oppose
145.1	145	Tim Buchanan	FS 08	The Tree Council	Neither support nor oppose
146.1	146	Doris Fryer	FS 08	The Tree Council	Neither support nor oppose
146.2	146	Doris Fryer	FS 08	The Tree Council	Neither support nor oppose
146.3	146	Doris Fryer	FS 08	The Tree Council	Neither support nor oppose
147.1	147	Alice Wong	FS 08	The Tree Council	Neither support nor oppose
147.2	147	Alice Wong	FS 08	The Tree Council	Neither support nor oppose
148.1	148	Marnie Patten	FS 08	The Tree Council	Neither support nor oppose
148.2	148	Marnie Patten	FS 08	The Tree Council	Support
148.3	148	Marnie Patten	FS 08	The Tree Council	Support
148.4	148	Marnie Patten	FS 08	The Tree Council	Support
148.5	148	Marnie Patten	FS 08	The Tree Council	Neither support nor oppose
149.1	149	Scott Whitten	FS 08	The Tree Council	Neither support nor oppose
150.1	150	Patricia Allen	FS 08	The Tree Council	Support
151.1	151	Aktive	FS 08	The Tree Council	Neither support nor oppose
152.1	152	Penelope Savidan	FS 08	The Tree Council	Support
153.1	153	Bojan Jovanovic	FS 08	The Tree Council	Neither support nor oppose
154.1	154	Helen Ruth Scott	FS 08	The Tree Council	Neither support nor oppose
155.1	155	Josephine Williams	FS 08	The Tree Council	Support
155.10	155	Josephine Williams	FS 08	The Tree Council	Support
155.11	155	Josephine Williams	FS 08	The Tree Council	Support
155.12	155	Josephine Williams	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
155.2	155	Josephine Williams	FS 08	The Tree Council	Support
155.3	155	Josephine Williams	FS 08	The Tree Council	Support
155.4	155	Josephine Williams	FS 08	The Tree Council	Support
155.5	155	Josephine Williams	FS 08	The Tree Council	Support
155.6	155	Josephine Williams	FS 08	The Tree Council	Support
155.7	155	Josephine Williams	FS 08	The Tree Council	Neither support nor oppose
155.8	155	Josephine Williams	FS 08	The Tree Council	Support
155.9	155	Josephine Williams	FS 08	The Tree Council	Neither support nor oppose
156.1	156	Phillip Anderson	FS 08	The Tree Council	Neither support nor oppose
156.2	156	Phillip Anderson	FS 08	The Tree Council	Support
156.3	156	Phillip Anderson	FS 08	The Tree Council	Neither support nor oppose
157.1	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.1	157	Brigitte Lambert			
157.2	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.2	157	Brigitte Lambert			
157.3	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.3	157	Brigitte Lambert			
157.4	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.4	157	Brigitte Lambert			
157.5	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.5	157	Brigitte Lambert			
157.6	157	Brigitte Lambert	FS 08	The Tree Council	Support
			FS 12	Geoffrey John Beresford	Support
157.6	157	Brigitte Lambert			
157.7	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.7	157	Brigitte Lambert			
157.8	157	Brigitte Lambert	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
157.8	157	Brigitte Lambert			
158.1	158	Cameron Michael Owens	FS 08	The Tree Council	Neither support nor oppose
159.1	159	Rachel Mulhern	FS 08	The Tree Council	Neither support nor oppose
160.1	160	Jill Chestnut	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
160.2	160	Jill Chestnut	FS 08	The Tree Council	Neither support nor oppose
161.1	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
161.2	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
161.3	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
161.4	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
161.5	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
161.6	161	Te Auaunga Precinct Residents and Apartment Dwellers Association (TAPRADA)	FS 08	The Tree Council	Neither support nor oppose
162.10	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.1	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Support
162.1	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.1	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Oppose
162.10	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.11	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.11	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.11	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.12	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.12	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.13	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.13	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
162.14	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.14	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.15	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.15	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.2	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Support
162.2	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.2	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Oppose
162.3	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Support
162.3	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.3	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Oppose
162.4	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.4	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.4	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Oppose
162.5	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.5	162	Heritage New Zealand Pouhere Taonga	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
162.5	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.6	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.6	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.7	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.7	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
162.8	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.8	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
162.9	162	Heritage New Zealand Pouhere Taonga	FS 08	The Tree Council	Neither support nor oppose
162.9	162	Heritage New Zealand Pouhere Taonga	FS 12	Geoffrey John Beresford	Support
163.1	163	Rochelle Taylor	FS 08	The Tree Council	Support
164.1	164	Rochelle Sewell	FS 08	The Tree Council	Neither support nor oppose
164.1	164	Rochelle Sewell	FS 12	Geoffrey John Beresford	Support
164.2	164	Rochelle Sewell	FS 08	The Tree Council	Support
164.2	164	Rochelle Sewell	FS 12	Geoffrey John Beresford	Support
164.3	164	Rochelle Sewell	FS 08	The Tree Council	Support
165.1	165	Linda Martin	FS 08	The Tree Council	Support
165.2	165	Linda Martin	FS 08	The Tree Council	Neither support nor oppose
165.3	165	Linda Martin	FS 08	The Tree Council	Neither support nor oppose
165.4	165	Linda Martin	FS 08	The Tree Council	Neither support nor oppose
165.5	165	Linda Martin	FS 08	The Tree Council	Neither support nor oppose
166.1	166	Brett Colliver	FS 08	The Tree Council	Neither support nor oppose
167.1	167	Stuart Duncan	FS 08	The Tree Council	Neither support nor oppose
168.1	168	Tim Strawbridge	FS 08	The Tree Council	Neither support nor oppose
168.1	168	Tim Strawbridge	FS 12	Geoffrey John Beresford	Support
168.2	168	Tim Strawbridge	FS 08	The Tree Council	Neither support nor oppose
168.2	168	Tim Strawbridge	FS 12	Geoffrey John Beresford	Support
168.3	168	Tim Strawbridge	FS 08	The Tree Council	Support
168.3	168	Tim Strawbridge	FS 12	Geoffrey John Beresford	Support
168.4	168	Tim Strawbridge	FS 08	The Tree Council	Support
168.4	168	Tim Strawbridge	FS 12	Geoffrey John Beresford	Support
168.5	168	Tim Strawbridge	FS 08	The Tree Council	Neither support nor oppose
168.5	168	Tim Strawbridge	FS 12	Geoffrey John Beresford	Support
169.1	169	Michael Tilley	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
170.1	170	John Stevenson	FS 08	The Tree Council	Neither support nor oppose
170.2	170	John Stevenson	FS 08	The Tree Council	Neither support nor oppose
170.3	170	John Stevenson	FS 08	The Tree Council	Support
170.4	170	John Stevenson	FS 08	The Tree Council	Support
170.5	170	John Stevenson	FS 08	The Tree Council	Support
170.6	170	John Stevenson	FS 08	The Tree Council	Support
171.1	171	Philippa Martin	FS 08	The Tree Council	Neither support nor oppose
171.2	171	Philippa Martin	FS 08	The Tree Council	Support
172.1	172	Diana McKergow	FS 08	The Tree Council	Support
172.2	172	Diana McKergow	FS 08	The Tree Council	Neither support nor oppose
173.1	173	Alexandra	FS 08	The Tree Council	Neither support nor oppose
173.2	173	Alexandra	FS 08	The Tree Council	Neither support nor oppose
174.1	174	Evie Mackay	FS 08	The Tree Council	Neither support nor oppose
175.1	175	Morgan O'Hanlon	FS 08	The Tree Council	Neither support nor oppose
175.2	175	Morgan O'Hanlon	FS 08	The Tree Council	Support
176.1	176	Matt	FS 08	The Tree Council	Neither support nor oppose
177.1	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
177.2	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
177.3	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
177.4	177	Kerrin Brown	FS 08	The Tree Council	Support
177.5	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
177.6	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
177.7	177	Kerrin Brown	FS 08	The Tree Council	Neither support nor oppose
178.1	178	Malcolm Lay	FS 08	The Tree Council	Neither support nor oppose
178.2	178	Malcolm Lay	FS 08	The Tree Council	Neither support nor oppose
178.3	178	Malcolm Lay	FS 08	The Tree Council	Support
179.1	179	Liveable Communities Inc	FS 08	The Tree Council	Support
			FS 09	Open Space for Future Aucklanders Incorporated	Support in part
179.1	179	Liveable Communities Inc			
179.2	179	Liveable Communities Inc	FS 08	The Tree Council	Support
			FS 09	Open Space for Future Aucklanders Incorporated	Support
179.2	179	Liveable Communities Inc			
179.3	179	Liveable Communities Inc	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
179.3	179	Liveable Communities Inc	FS 09	Open Space for Future Aucklanders Incorporated	Support
179.4	179	Liveable Communities Inc	FS 08	The Tree Council	Support
179.4	179	Liveable Communities Inc	FS 09	Open Space for Future Aucklanders Incorporated	Support
180.1	180	Jo Tilley	FS 08	The Tree Council	Neither support nor oppose
181.1	181	Marcus Cameron	FS 08	The Tree Council	Neither support nor oppose
181.2	181	Marcus Cameron	FS 05	Auckland Transport	Oppose
181.2	181	Marcus Cameron	FS 08	The Tree Council	Neither support nor oppose
181.3	181	Marcus Cameron	FS 08	The Tree Council	Neither support nor oppose
181.4	181	Marcus Cameron	FS 08	The Tree Council	Support
182.1	182	Nina Patel	FS 08	The Tree Council	Support
182.2	182	Nina Patel	FS 08	The Tree Council	Support
182.3	182	Nina Patel	FS 08	The Tree Council	Support
182.4	182	Nina Patel	FS 08	The Tree Council	Support
183.1	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.10	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.11	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.12	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.2	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.3	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.4	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.5	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.6	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.7	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.8	183	Sandesh Heinicke	FS 08	The Tree Council	Support
183.9	183	Sandesh Heinicke	FS 08	The Tree Council	Support
184.1	184	David Ross and Wendy Beverley Allan	FS 08	The Tree Council	Neither support nor oppose
184.2	184	David Ross and Wendy Beverley Allan	FS 08	The Tree Council	Support
185.1	185	Louise Punt	FS 08	The Tree Council	Neither support nor oppose
186.1	186	Lisa Paulsen	FS 08	The Tree Council	Support
186.2	186	Lisa Paulsen	FS 08	The Tree Council	Neither support nor oppose
186.2	186	Lisa Paulsen	FS 09	Open Space for Future Aucklanders Incorporated	Support
186.3	186	Lisa Paulsen	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
186.4	186	Lisa Paulsen	FS 08	The Tree Council	Neither support nor oppose
186.5	186	Lisa Paulsen	FS 08	The Tree Council	Neither support nor oppose
187.1	187	Gordon Horsley	FS 08	The Tree Council	Neither support nor oppose
187.2	187	Gordon Horsley	FS 05	Auckland Transport	Oppose
187.2	187	Gordon Horsley	FS 08	The Tree Council	Neither support nor oppose
187.3	187	Gordon Horsley	FS 08	The Tree Council	Neither support nor oppose
187.4	187	Gordon Horsley	FS 08	The Tree Council	Support
188.1	188	Tracey Brown	FS 08	The Tree Council	Neither support nor oppose
188.2	188	Tracey Brown	FS 08	The Tree Council	Support
188.3	188	Tracey Brown	FS 08	The Tree Council	Neither support nor oppose
189.1	189	Anna Gillan	FS 08	The Tree Council	Support
190.1	190	Alexandra Dare	FS 08	The Tree Council	Support
191.1	191	Yolande Joe	FS 08	The Tree Council	Support
191.2	191	Yolande Joe	FS 08	The Tree Council	Support
191.3	191	Yolande Joe	FS 08	The Tree Council	Neither support nor oppose
192.1	192	Michelle Strawbridge	FS 08	The Tree Council	Neither support nor oppose
192.2	192	Michelle Strawbridge	FS 08	The Tree Council	Neither support nor oppose
192.3	192	Michelle Strawbridge	FS 08	The Tree Council	Support
192.4	192	Michelle Strawbridge	FS 08	The Tree Council	Neither support nor oppose
193.1	193	Julia Helen Woodward	FS 08	The Tree Council	Support
194.1	194	Sport Auckland	FS 08	The Tree Council	Neither support nor oppose
195.1	195	Katherine McCallum	FS 08	The Tree Council	Support
195.2	195	Katherine McCallum	FS 08	The Tree Council	Neither support nor oppose
195.3	195	Katherine McCallum	FS 08	The Tree Council	Neither support nor oppose
195.4	195	Katherine McCallum	FS 08	The Tree Council	Support
196.1	196	Jo Austad	FS 08	The Tree Council	Neither support nor oppose
196.2	196	Jo Austad	FS 08	The Tree Council	Support
197.1	197	Sarah Mavor	FS 08	The Tree Council	Support
197.2	197	Sarah Mavor	FS 08	The Tree Council	Neither support nor oppose
198.1	198	Bridget Judd	FS 08	The Tree Council	Support
199.1	199	Caroline Botting	FS 08	The Tree Council	Neither support nor oppose
199.2	199	Caroline Botting	FS 08	The Tree Council	Support
200.1	200	Karen Oliver	FS 08	The Tree Council	Neither support nor oppose
200.2	200	Karen Oliver	FS 05	Auckland Transport	Oppose
200.2	200	Karen Oliver	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
200.3	200	Karen Oliver	FS 08	The Tree Council	Neither support nor oppose
200.4	200	Karen Oliver	FS 08	The Tree Council	Neither support nor oppose
201.1	201	Kate Saunders	FS 08	The Tree Council	Neither support nor oppose
201.2	201	Kate Saunders	FS 08	The Tree Council	Support
201.3	201	Kate Saunders	FS 08	The Tree Council	Support
202.1	202	Cameron Nicholas	FS 08	The Tree Council	Neither support nor oppose
202.2	202	Cameron Nicholas	FS 08	The Tree Council	Neither support nor oppose
202.3	202	Cameron Nicholas	FS 08	The Tree Council	Neither support nor oppose
202.4	202	Cameron Nicholas	FS 08	The Tree Council	Support
202.5	202	Cameron Nicholas	FS 08	The Tree Council	Support
			FS 01	Springleigh Residents' Association	Support
203.1	203	Iain Oliver			
203.1	203	Iain Oliver	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
203.2	203	Iain Oliver			
203.2	203	Iain Oliver	FS 05	Auckland Transport	Oppose
203.2	203	Iain Oliver	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
203.3	203	Iain Oliver			
203.3	203	Iain Oliver	FS 08	The Tree Council	Neither support nor oppose
			FS 01	Springleigh Residents' Association	Support
203.4	203	Iain Oliver			
203.4	203	Iain Oliver	FS 08	The Tree Council	Neither support nor oppose
204.1	204	Elizabeth Hill	FS 08	The Tree Council	Neither support nor oppose
205.1	205	Rebecca Mora	FS 08	The Tree Council	Neither support nor oppose
206.1	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
206.1	206	Esther and Ross Vernon			
206.2	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose
			FS 12	Geoffrey John Beresford	Support
206.2	206	Esther and Ross Vernon			
206.3	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
206.3	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
206.4	206	Esther and Ross Vernon	FS 08	The Tree Council	Support
206.4	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
206.5	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose
206.5	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
206.6	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose
206.6	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
206.7	206	Esther and Ross Vernon	FS 08	The Tree Council	Neither support nor oppose
206.7	206	Esther and Ross Vernon	FS 09	Open Space for Future Aucklanders Incorporated	Support
206.7	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
206.8	206	Esther and Ross Vernon	FS 08	The Tree Council	Support
206.8	206	Esther and Ross Vernon	FS 12	Geoffrey John Beresford	Support
207.1	207	Joanna Spratt	FS 08	The Tree Council	Support
207.1	207	Joanna Spratt	FS 09	Open Space for Future Aucklanders Incorporated	Support
207.1	207	Joanna Spratt	FS 12	Geoffrey John Beresford	Support
207.2	207	Joanna Spratt	FS 08	The Tree Council	Neither support nor oppose
208.1	208	Tim Farman	FS 08	The Tree Council	Neither support nor oppose
209.1	209	Eileen Su	FS 08	The Tree Council	Neither support nor oppose
210.1	210	Indiana	FS 08	The Tree Council	Neither support nor oppose
211.1	211	Anke Blundell	FS 08	The Tree Council	Support
212.1	212	Philippa Wright	FS 08	The Tree Council	Support
212.2	212	Philippa Wright	FS 08	The Tree Council	Neither support nor oppose
212.3	212	Philippa Wright	FS 08	The Tree Council	Neither support nor oppose
213.1	213	Amy Johns	FS 08	The Tree Council	Support
213.2	213	Amy Johns	FS 08	The Tree Council	Neither support nor oppose
214.1	214	Fabricia Foster	FS 08	The Tree Council	Support
215.1	215	Lyndsey Francis	FS 08	The Tree Council	Neither support nor oppose
216.1	216	Amanda They	FS 08	The Tree Council	Support

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
217.1	217	Dianne Smyth	FS 08	The Tree Council	Neither support nor oppose
218.1	218	Damian Vaughan	FS 08	The Tree Council	Neither support nor oppose
219.1	219	Gael Baldock	FS 08	The Tree Council	Neither support nor oppose
219.2	219	Gael Baldock	FS 08	The Tree Council	Neither support nor oppose
219.3	219	Gael Baldock	FS 08	The Tree Council	Support
219.4	219	Gael Baldock	FS 08	The Tree Council	Neither support nor oppose
219.5	219	Gael Baldock	FS 08	The Tree Council	Support
219.6	219	Gael Baldock	FS 08	The Tree Council	Support
220.1	220	Maria Cepulis	FS 08	The Tree Council	Neither support nor oppose
220.2	220	Maria Cepulis	FS 08	The Tree Council	Neither support nor oppose
220.3	220	Maria Cepulis	FS 05	Auckland Transport	Oppose
220.3	220	Maria Cepulis	FS 08	The Tree Council	Neither support nor oppose
220.4	220	Maria Cepulis	FS 08	The Tree Council	Neither support nor oppose
220.5	220	Maria Cepulis	FS 08	The Tree Council	Support
221.1	221	Abbe Vaughan	FS 08	The Tree Council	Support
222.1	222	Claire Reri	FS 08	The Tree Council	Support
223.1	223	Civic Trust Auckland	FS 08	The Tree Council	Support
223.1	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support
223.1	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
223.2	223	Civic Trust Auckland	FS 08	The Tree Council	Support
223.2	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support
223.2	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
223.3	223	Civic Trust Auckland	FS 08	The Tree Council	Support
223.3	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
223.3	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
223.4	223	Civic Trust Auckland	FS 08	The Tree Council	Neither support nor oppose
223.4	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support in part

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
223.4	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
223.5	223	Civic Trust Auckland	FS 08	The Tree Council	Neither support nor oppose
223.5	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
223.5	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
223.6	223	Civic Trust Auckland	FS 08	The Tree Council	Neither support nor oppose
223.6	223	Civic Trust Auckland	FS 09	Open Space for Future Aucklanders Incorporated	Support in part
223.6	223	Civic Trust Auckland	FS 12	Geoffrey John Beresford	Support
224.1	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.10	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.11	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.12	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.2	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.3	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.4	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.5	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.6	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.7	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.8	224	Pamela J McFarlane	FS 08	The Tree Council	Support
224.9	224	Pamela J McFarlane	FS 08	The Tree Council	Support
225.1	225	Rebecca Lawson	FS 08	The Tree Council	Neither support nor oppose
226.1	226	Waterview School	FS 06	Gladstone Primary School Board of Trustees	Support
226.1	226	Waterview School	FS 08	The Tree Council	Neither support nor oppose
226.1	226	Waterview School	FS 09	Open Space for Future Aucklanders Incorporated	Support
226.1	226	Waterview School	FS 12	Geoffrey John Beresford	Support
227.1	227	Private Name	FS 08	The Tree Council	Support
228.1	228	Berys Spratt	FS 08	The Tree Council	Support
228.2	228	Berys Spratt	FS 08	The Tree Council	Neither support nor oppose
228.3	228	Berys Spratt	FS 08	The Tree Council	Neither support nor oppose

Sub#/Point	Sub Number	Submitter Name	FS	Further Submitter name	Support or Oppose
229.1	229	Hai-Ling Khor	FS 08	The Tree Council	Neither support nor oppose
229.2	229	Hai-Ling Khor	FS 08	The Tree Council	Support
230.1	230	Ministry of Education	FS 06	Gladstone Primary School Board of Trustees	Support
230.1	230	Ministry of Education	FS 08	The Tree Council	Neither support nor oppose
230.1	230	Ministry of Education	FS 09	Open Space for Future Aucklanders Incorporated	Support
230.1	230	Ministry of Education	FS 11	Tūāpapa Kura Kainga – Ministry of Housing and Urban Development	Support
230.1	230	Ministry of Education	FS 12	Geoffrey John Beresford	Support
231.1	231	Alice Mary Coventry	FS 08	The Tree Council	Neither support nor oppose
231.2	231	Alice Mary Coventry	FS 08	The Tree Council	Support

